

# ELSINORE MARKET

## N MAIN STREET LAKE ELSINORE CALIFORNIA

Architect/Designer



1927 Harbor Blvd.  
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Consultant

Project Name

ELSINORE  
MARKET

### PROJECT DATA

BUILDING ADDRESS : 218-230 N MAIN STREET  
LAKE ELSINORE, CA 91530

BUILDING OWNER : RAJNI SANATHRA  
DEVELOPER : CHC BUILDER

PROPOSED PROJECT : THE PROJECT PROPOSED IN THIS APPLICATION IS A 7,500 S.F. NEW CONSTRUCTION FOR A GROCERY STORE ON APPROXIMATELY GROSS AREA OF 20,938 S.F. LOT, LOCATED WITHIN DOWNTOWN ELSINORE SPECIFIC PLAN, NORTHERLY OF HEALED AVENUE, SOUTHERLY OF FRANKLIN STREET AND EASTERLY OF MAIN STREET, NEW BUILDING INCLUDES; 400 S.F. KITCHEN / DELI RESTAURANT (FOR TAKE OUT FOOD ONLY), WAREHOUSE, WALKING FREEZERS, WALKING COOLER, BREAK ROOM, REST ROOMS, STAFF BREAK ROOM AND OFFICES. BUILDING DESIGN IS MIXTURE OF MODERN AND LOCAL ARCHITECTURE PER DOWNTOWN ELSINORE SPECIFIC PLAN DESIGN GUIDE LINE, USING BRICKS ON FACADE AND STUCCO AS SPECIFIED ON ELEVATIONS, ALONG WITH MOLDING AND CORNICES SURROUNDING THE BUILDING AS SHOWN IN ELEVATIONS, WITH MINIMUM OF 15'-0" BUILDING SETBACK ON THE FRONT AT MAIN STREET AND 4'-6" DEDICATION/SETBACK ON THE BACK AT THE ALLEY AS REQUIRED BY PLANNING DIVISION. BUILDING HEIGHT VARIES FROM 28' TO 35'. TOTAL OF 25 PARKING SPACES IS PROVIDED AS REQUIRED PER SQUARE FOOTAGE IN FRONT OF THE BUILDING INCLUDING ACCESSIBLE VAN WITH LANDSCAPING ON THE FRONT AND PARKING AREA ALONG WITH VERTICAL LANDSCAPE AT THE FRONT FACING MAIN ST., THE BUILDING CONSTRUCTION WILL CONSIST OF 12 INCH REINFORCED CMU WALLS THROUGHOUT EXTERIOR WALLS AND OPEN WEB STEEL JOIST CEILING, COMBINATION OF 8 INCH CMU INTERIOR WALLS, METAL STUDS, RATED AND NONE RATED WALLS FOR OFFICE AREA, CMU WALLS ARE REINFORCED AND GROUTED PER STRUCTURAL ENGINEER DRAWINGS AND SPECIFICATIONS. THE FLOOR SLAB THICKNESS VARIES FROM 6" TO 8". TRANSFORMER AND GENERATOR PER ELECTRICAL ENGINEER WILL BE INSTALLED ON THE ROOF SURROUNDED BY PARAPET WALLS. THERE ARE 3 FIRE HYDRANT WITHIN CLOSE PROXIMITY (LESS THAN 400 FT) OF THE SITE, IF REQUIRED / PER FIRE DEPARTMENT AN EXTRA FIRE HYDRANT WILL BE PROVIDED PER FIRE PROTECTION ENGINEER DRAWINGS. PRELIMINARY WATER QUALITY MANAGEMENT PLAN (WQMP) ALONG WITH GRADING PLAN, SECTION AND DETAILS ARE PROVIDED BY CIVIL ENGINEER ON THE BOARD. AIR QUALITY ANALYSIS, BIOLOGICAL RESOURCES/MSHCP CONSISTENCY ANALYSIS, GREEN HOUSE GAS ANALYSIS, NOISE STUDY, AND TRAFFIC IMPACT STUDY HAVE BEEN PROVIDED SEPARATELY BY OUR CONSULTANT TO ENGINEERING DEPARTMENT AND APPROVED ACCORDINGLY.

### SITE DATA

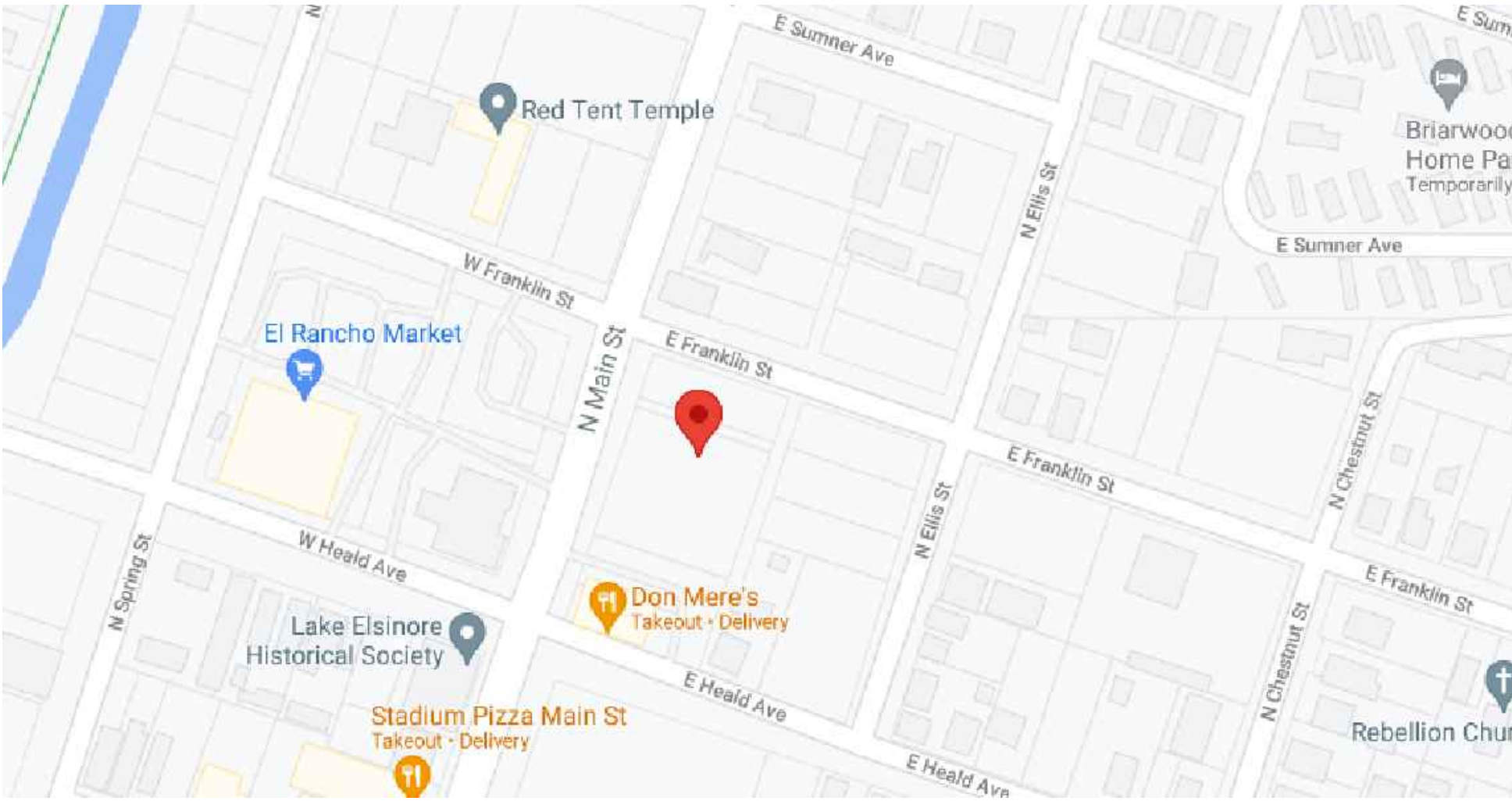
|   |   |                                |  |
|---|---|--------------------------------|--|
| SCOPE OF WORK:  | DESIGN AND CONSTRUCTION OF NEW GROCERY STORE BUILDING IN DOWNTOWN LAKE ELSINORE | BUILDING AREA :                | 7,917 SQ. FT. , 39 % OF THE LOT AREA   |
|   |   | PAVED AREA :                   | 10,437 SQ.FT. , 49 % OF THE LOT AREA   |
| NUMBER OF FLOORS WITHIN SCOPE OF WORK:                            | 1 FLOOR FOR THE ENTIRE BUILDING.  | TOTAL GROUND LANDSCAPED AREA : | 2,450 SQ. FT. , 12 % OF THE LOT AREA   |
|   |   | VERTICAL LANDSCAPE APROX. :    | 158 SQ. FT. , .8%  |
| GROSS LOT AREA  | 20,938 S.F.   | LEGAL DESCRIPTION :            | PORTION OF LOT 3, LOT 4 & 5 BLOCK A OF JONES ADDITION TO ELSINORE LAKE ELSINORE , CALIFORNIA |
| DEDICATION AT ALLEY   | 644 SF  | ZONING :                       | MIXED USED LAND USE DESIGNATION WITHIN THE DOWNTOWN ELSINORE SPECIFIC PLAN                   |
| NET LOT AREA AFTER DEDICATION AT ALLEY                            | 20,294 SF   | ASSESSOR PARCEL NUMBER :       | APN: 373-025-026   |
| ADJUST GROSS BUILDING FLOOR AREA UNDER ROOF                       | 7,917 SF  | HOURS OF OPERATION AND         | HOURS OF OPERATION IS FROM 8AM TO 9PM  |
| GROSS INTERIOR OCCUPIABLE BUILDING AREA, INCLUDING INTERIOR WALLS | 7,500 S.F., INCLUDES 400 S.F. KITCHEN / DELI TAKE OUT FOOD RESTAURANT           | NUMBER OF EMPLOYEE :           | NUMBER OF EMPLOYEES ARE MAXIMUM 12   |
| BUILDING HEIGHT:  | BUILDING HEIGHT 28', TOWER 35'  |                                |  |
| OCCUPANCY   | B, M  |                                |  |
| AUTOMATIC SPRINKLER:  | BUILDING TO BE FULLY SPRINKLED  |                                |  |
| CONSTRUCTION TYPE:  | V-B CONSTRUCTION  |                                |  |
| PARKING PROVIDED:   | 25 PROVIDED INCLUDING ACCESSIBLE VAN  |                                |  |
| FLOOR AREA RATIO : (FAR)  | TOTAL BUILDING AREA, 7,917 S.F. / TOTAL LOT AREA 20,294 S.F. = .39 FAR - .39    |                                |  |

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### CONSULTANTS :

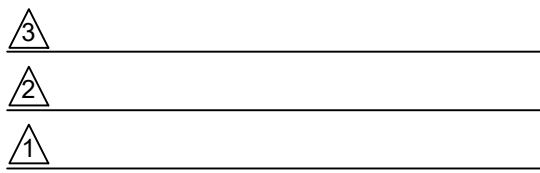
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|----------------------|---|--------------------|---|
| ARCHITECT/DESIGNER : | DEBOR<br>1927 Harbor Blvd. Blvd Suite 103<br>Costa Mesa, CA 92627<br>310-902-1980             | SURVEY ENGINEER :  | TKIM Engineers<br>300 W 6TH St. suite 303<br>Los Angeles, CA 90020<br>213 487 3636      |
| STRUCTURAL ENGINEER: | Smart Structural Design INC.<br>6314 Van Nuys Suite 201<br>Van Nuys, CA 91402<br>818-904-3468 | GRADING ENGINEER : | Nick Kazemi INC.<br>4966 Topanga CYN Blvd<br>Woodland Hills, CA 91364<br>818-999-9890   |
| MEP ENGINEER :       | BF Consulting Design<br>12200 Stagg st.<br>North Hollywood, CA 91605<br>818-795-3487          | KITCHEN :          | Space Concepts and Design<br>14530 Hamlin St. # B<br>Van Nuys, CA 91411<br>213-384-8131 |
| BUILDER/DEVELOPER :  | CHC<br>8721 W. Sunset Blvd. Suite P-8<br>West Hollywood, CA 90069<br>310-734-7170             | SOIL ENGINEER :    | GEO Concepts INC.<br>14428 Hamlin St. # 200<br>Van Nuys, CA 91401<br>818-994-8895       |



Issue, Date & Description

|                                 |            |
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| Planning Division Review        | 11-17-2021 |

Revision Date



CAD File 218-230 N MAIN-1

Project No.

Description

TITLE  
Scale N.T.S

Sheet No.

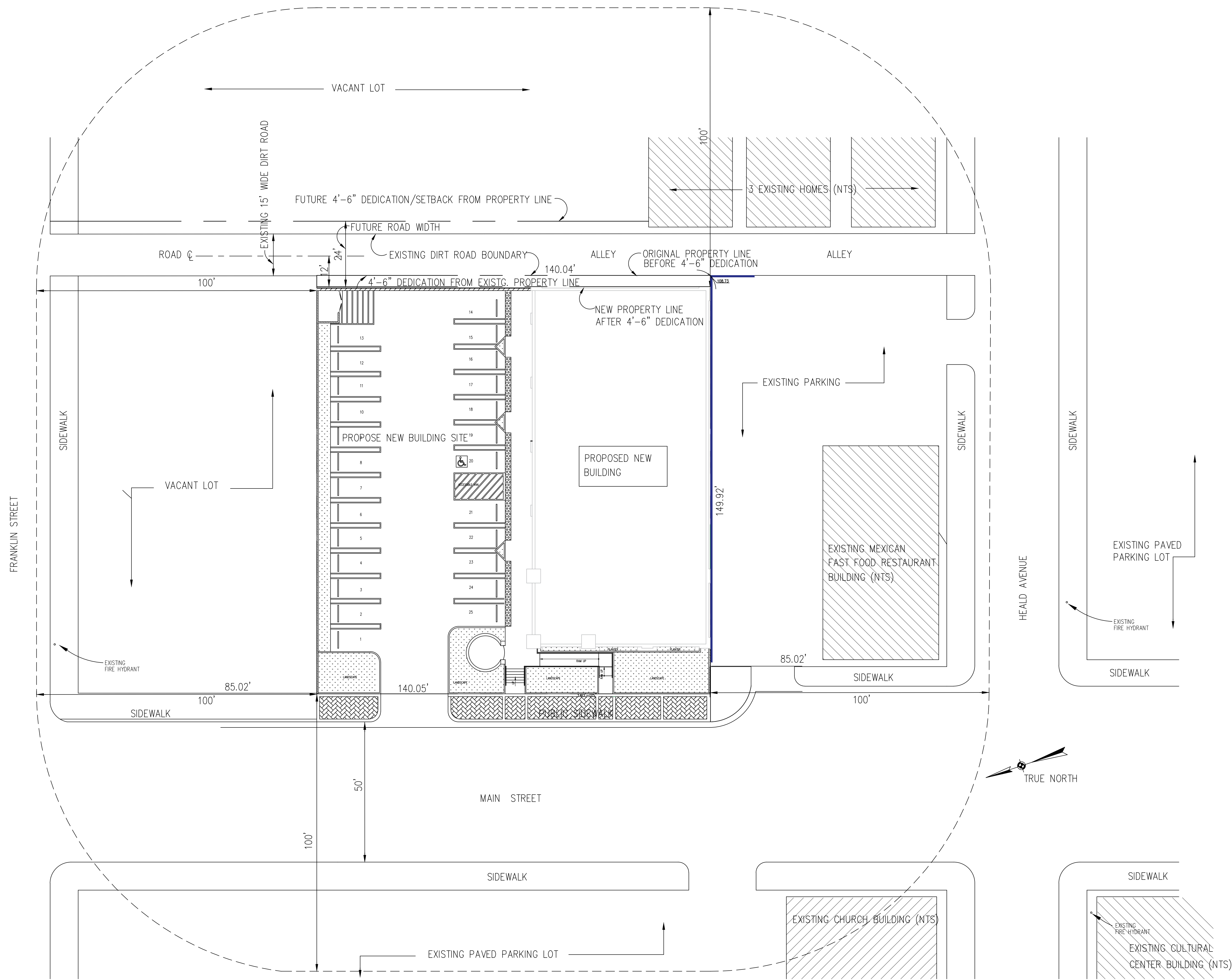
PROJECT DATA

SHEET INDEX

VICINITY MAP

T-1





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3  
2  
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CAD File

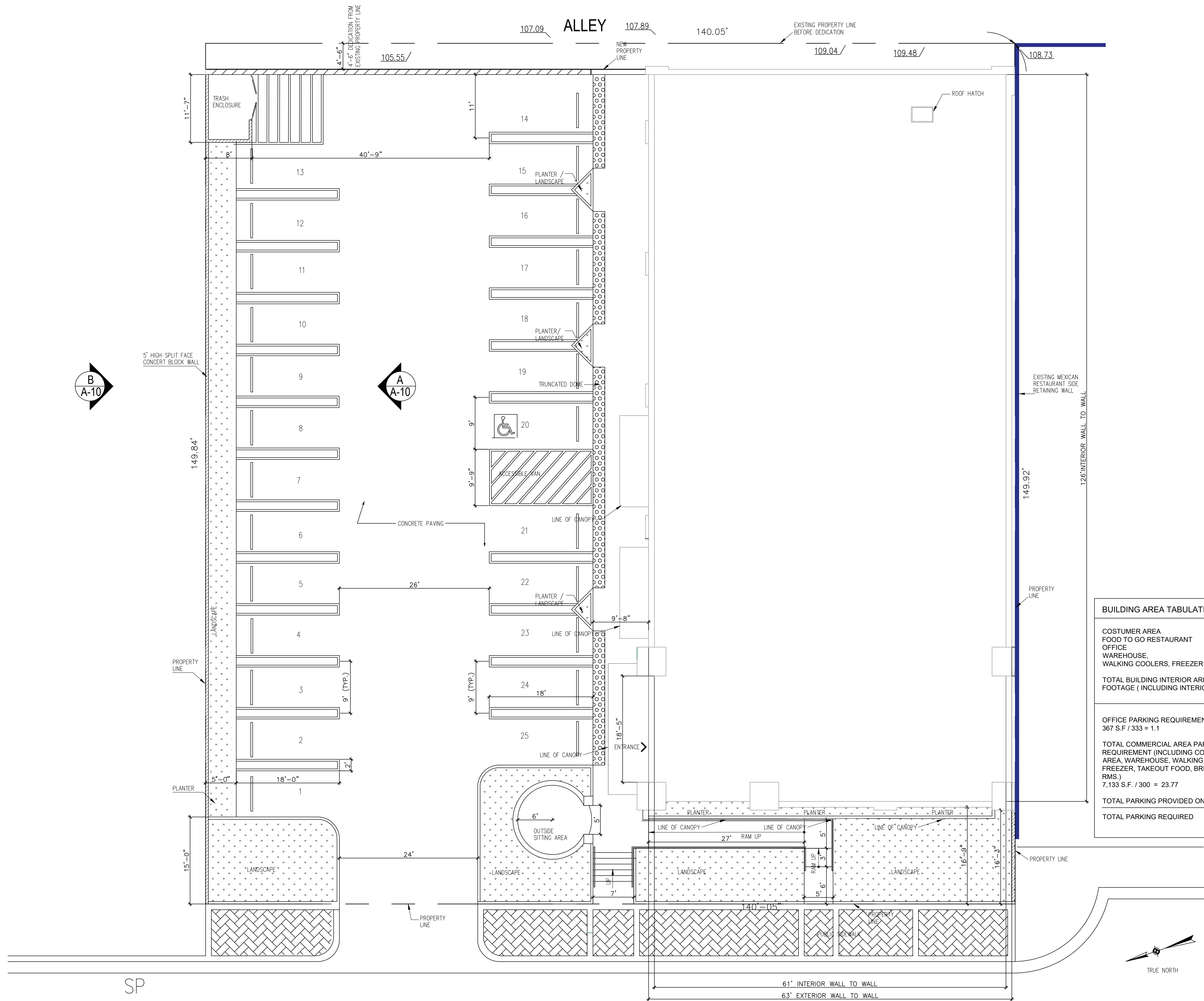
Project No.

Description

General Site Plan land use  
Scale 1/16"=1'-0"

Sheet No.

# G-1



| BUILDING AREA TABULATION   |                   |
|--|-------------------|
| COSTUMER AREA  | 5,842 S.F.        |
| FOOD TO GO RESTAURANT  | 400 S.F.          |
| OFFICE   | 367 S.F.          |
| WAREHOUSE,   | 551 S.F.          |
| WALKING COOLERS, FREEZER   | 340 S.F.          |
| TOTAL BUILDING INTERIOR AREA SQUARE FOOTAGE ( INCLUDING INTERIOR WALLS)  | 7,500 S.F.        |
| OFFICE PARKING REQUIREMENT<br>367 S.F. / 333 = 1.1   | 1 PARKING SPACE   |
| TOTAL COMMERCIAL AREA PARKING REQUIREMENT (INCLUDING COSTUMER AREA, WAREHOUSE, WALKING COOLER, FREEZER, TAKEOUT FOOD, BREAK RM. REST RMS.)<br>7,133 S.F. / 300 = 23.77 | 24 PARKING SPACES |
| TOTAL PARKING PROVIDED ON THE SITE   | 25 PARKING SPACES |
| TOTAL PARKING REQUIRED   | 25 PARKING SPACES |

Architect/Designer



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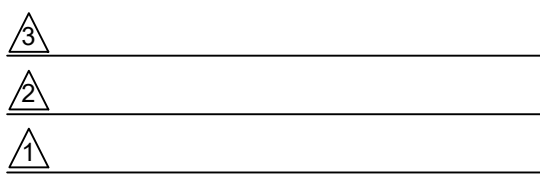
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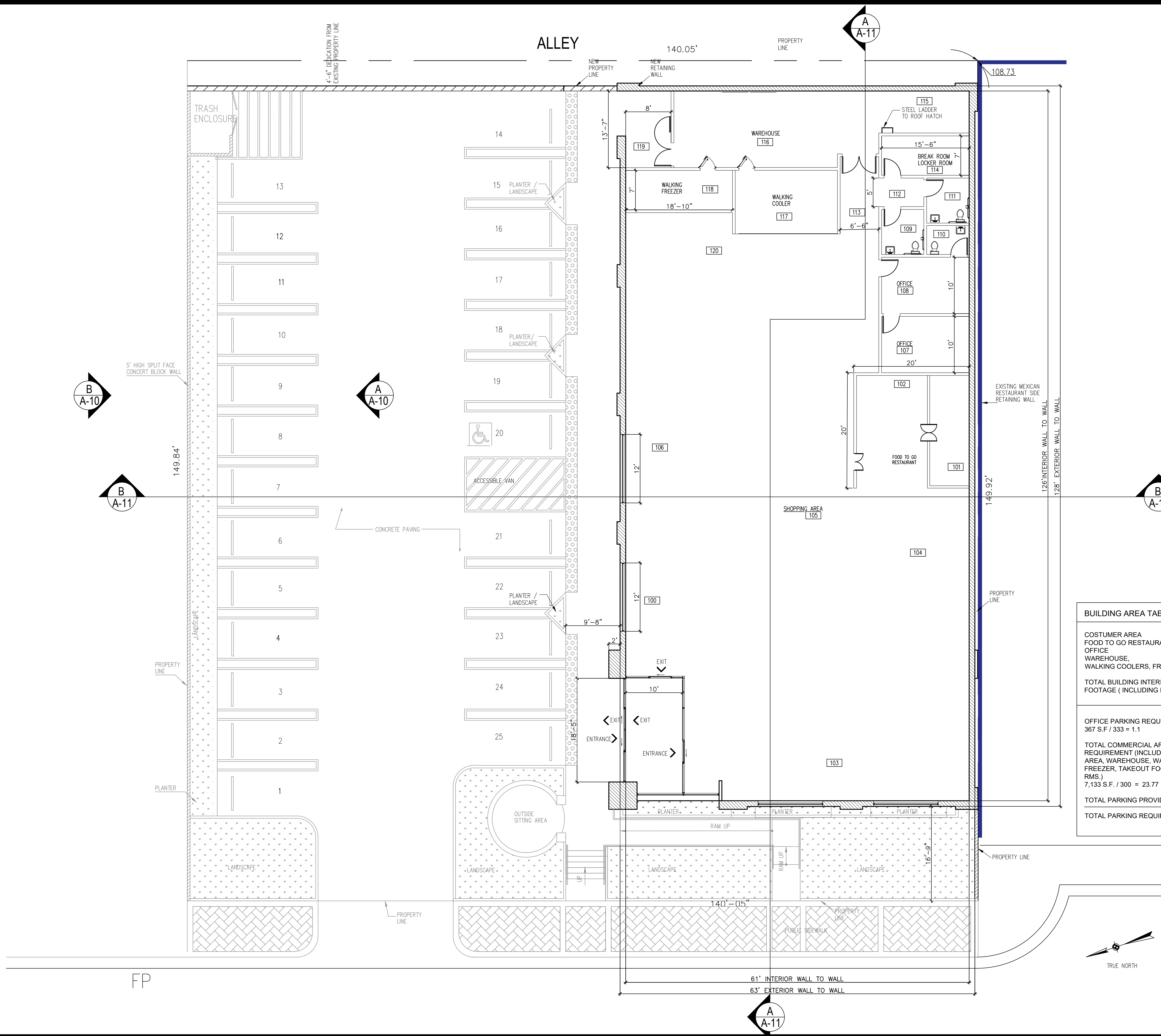
Description

SITE PLAN  
Scale 1/8"=1'-0"

Sheet No.

A-1





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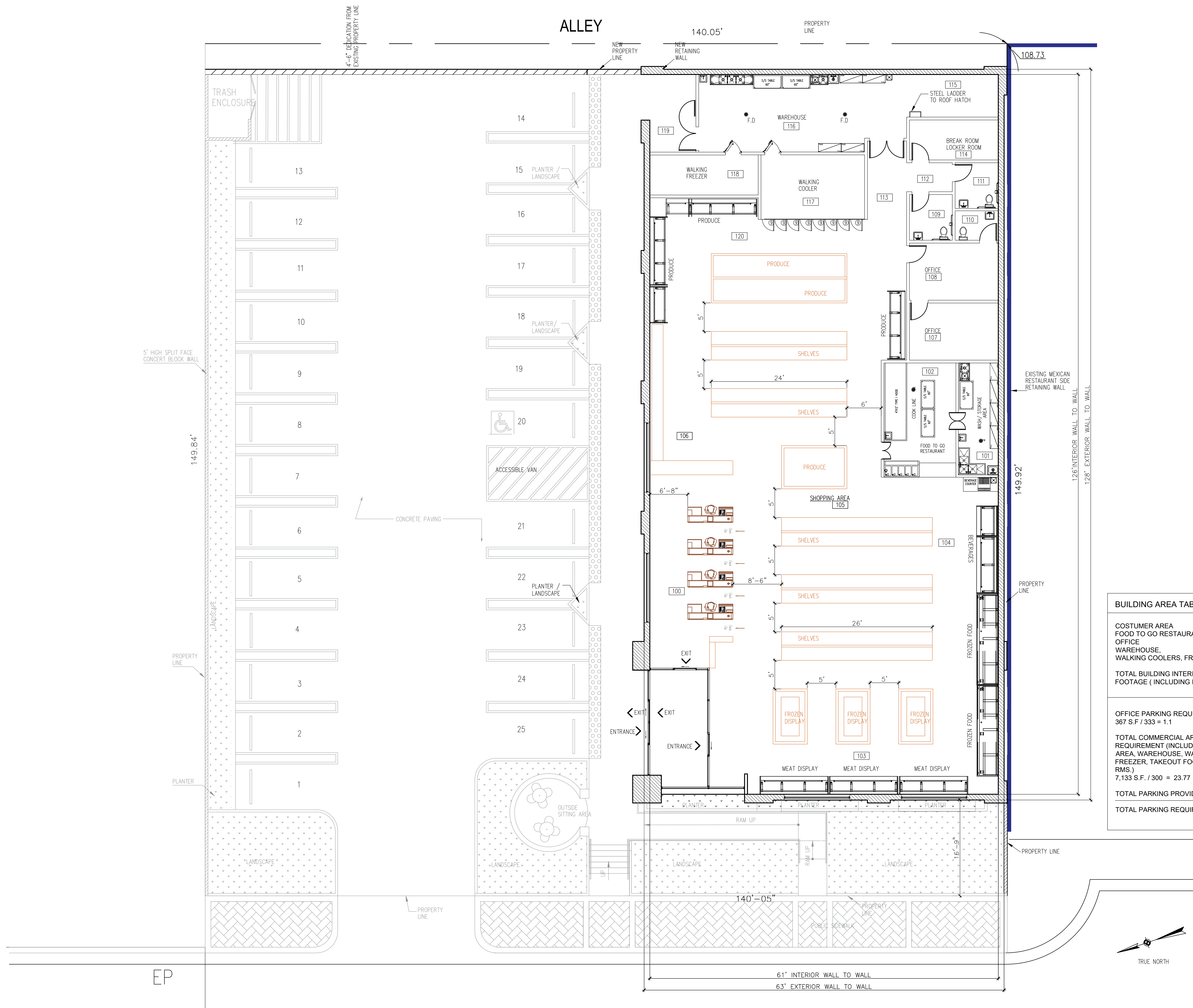
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FLOOR PLAN  
Scale 1/8"=1'-0"

Sheet No.

# A-2





| BUILDING AREA TABULATION   |                   |
|--|-------------------|
| CUSTOMER AREA  | 5,842 S.F.        |
| FOOD TO GO RESTAURANT  | 400 S.F.          |
| OFFICE   | 367 S.F.          |
| WAREHOUSE  | 551 S.F.          |
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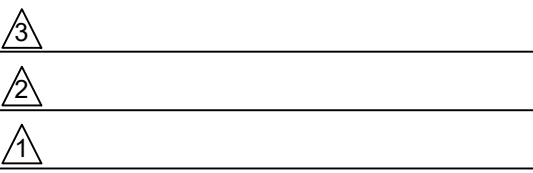
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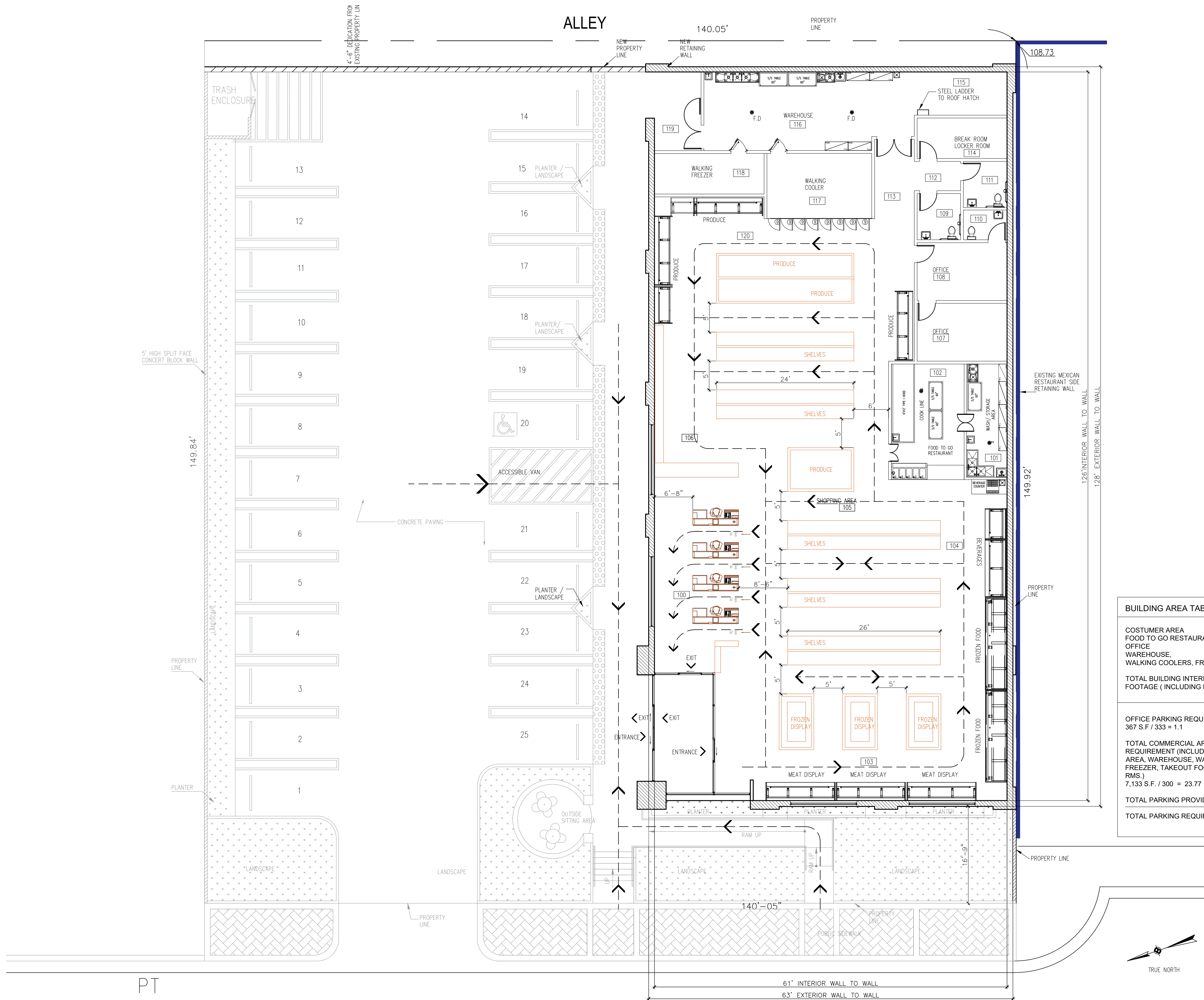
Project No.

Description

### EQUIPMENT PLAN

Scale 1/8"=1'-0"

Sheet No.



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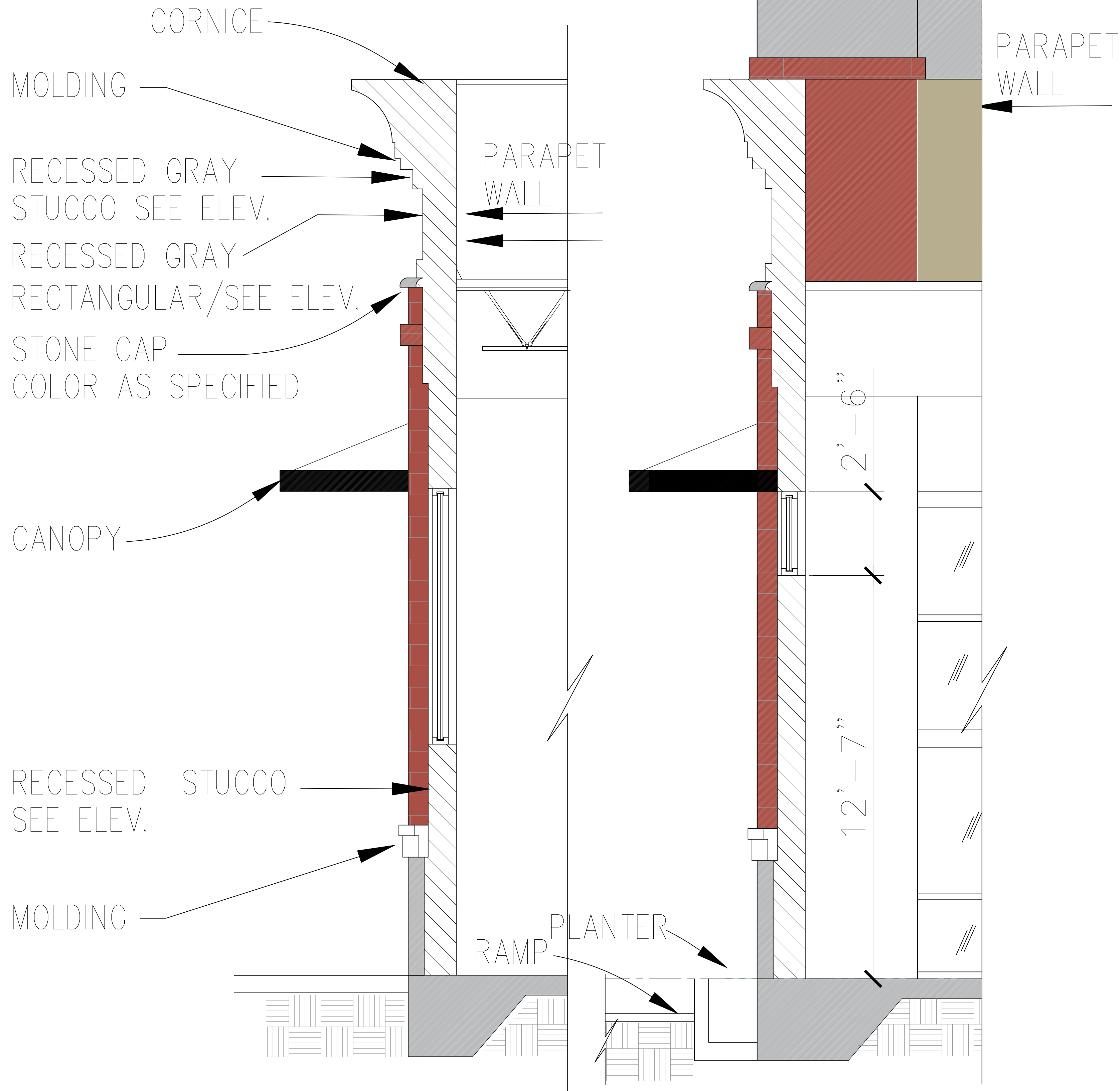
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PATH OF TRAVEL FLOOR PLAN  
Scale 1/8"=1'-0"

Sheet No.

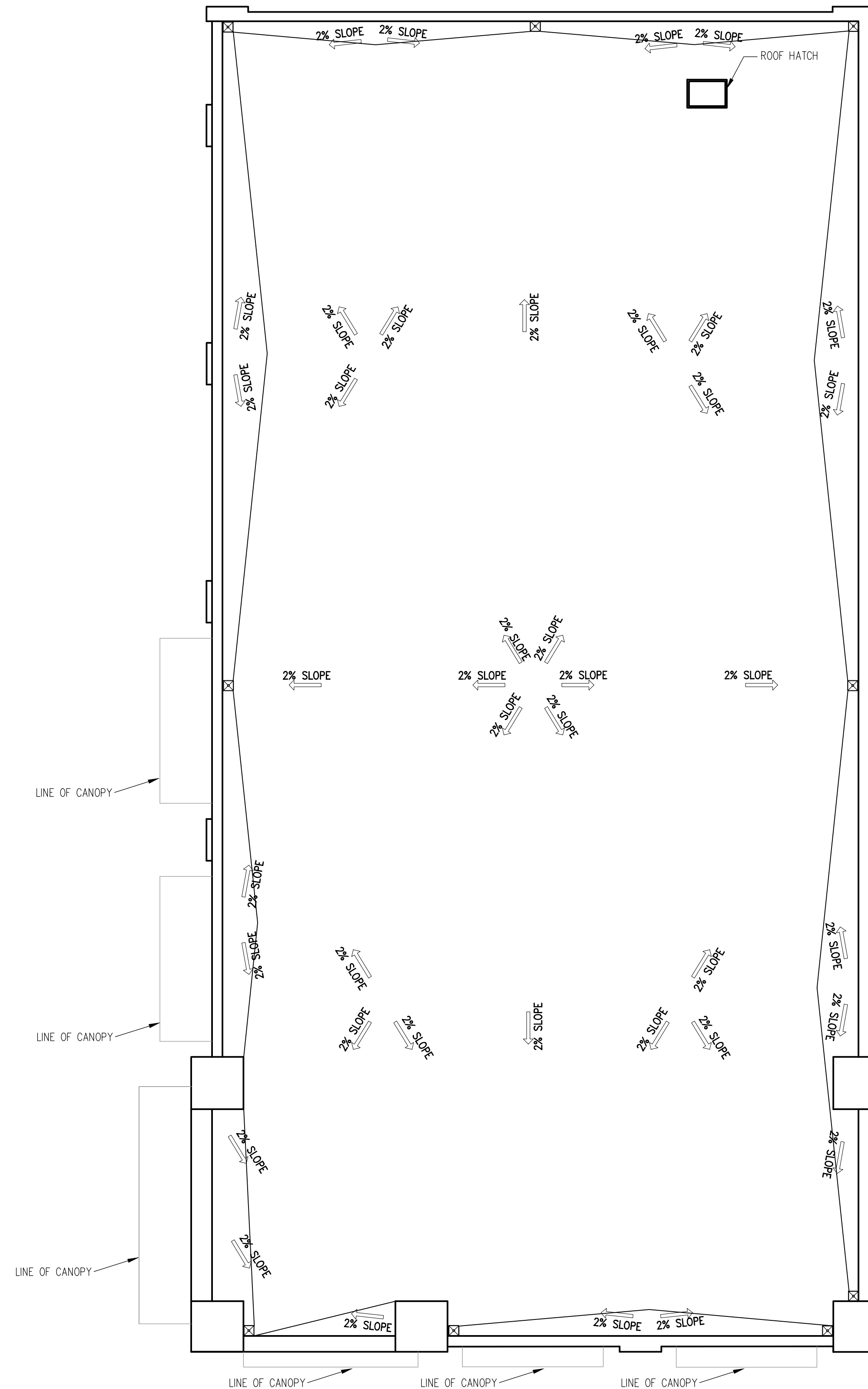
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TYPICAL WALL SECTIONS

Scale : 1/2"=1'-0"



ROOF PLAN

Architect/Designer



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ROOF PLAN  
Scale 1/8"=1'-0"

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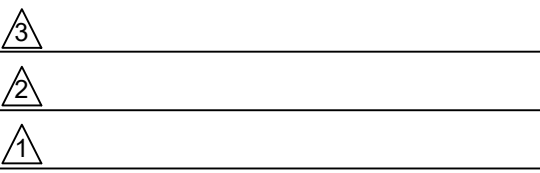
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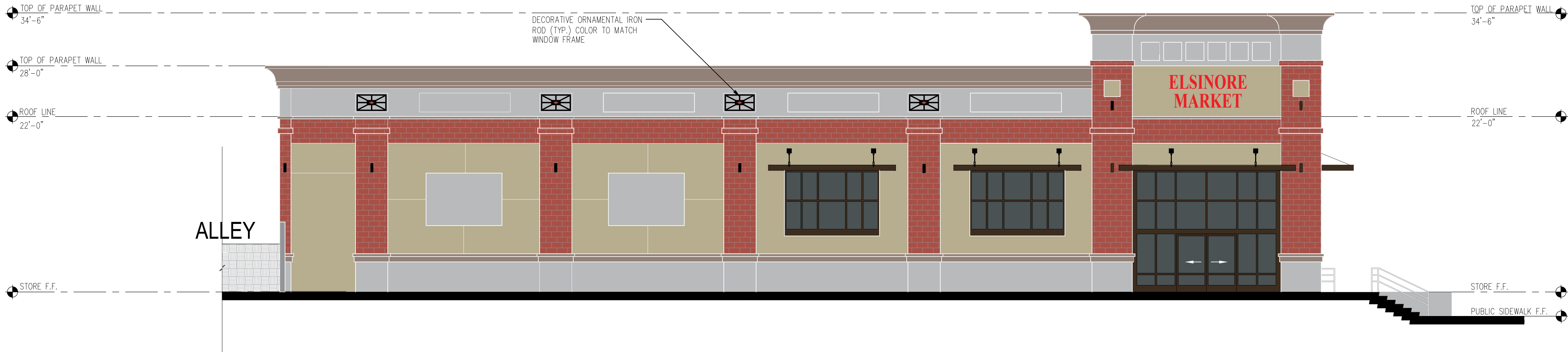
Project No.

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ELEVATION  
Scale 1/8"=1'-0"

Sheet No.

A-6



NORTH ELEVATION ( FRONT )



WEST ELEVATION ( MAIN STREET )





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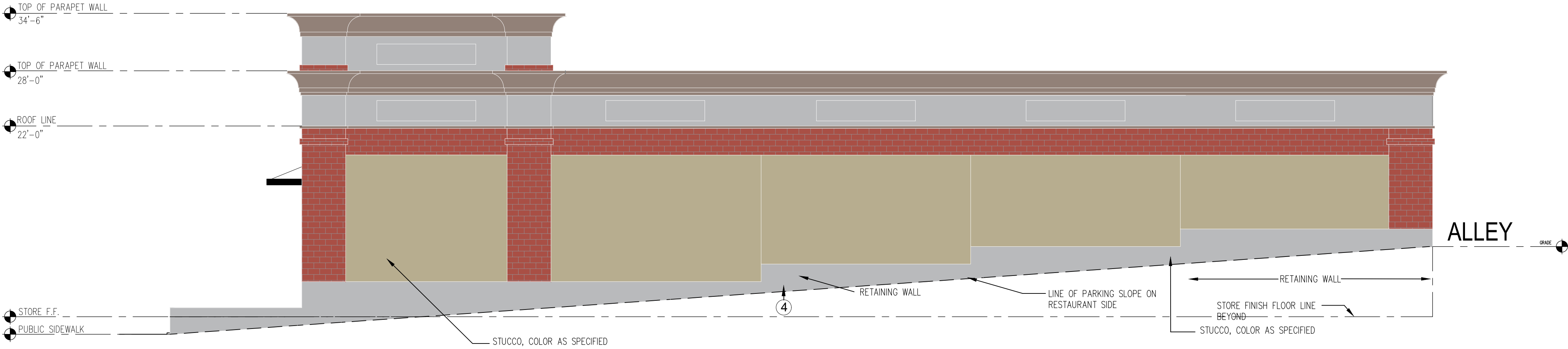
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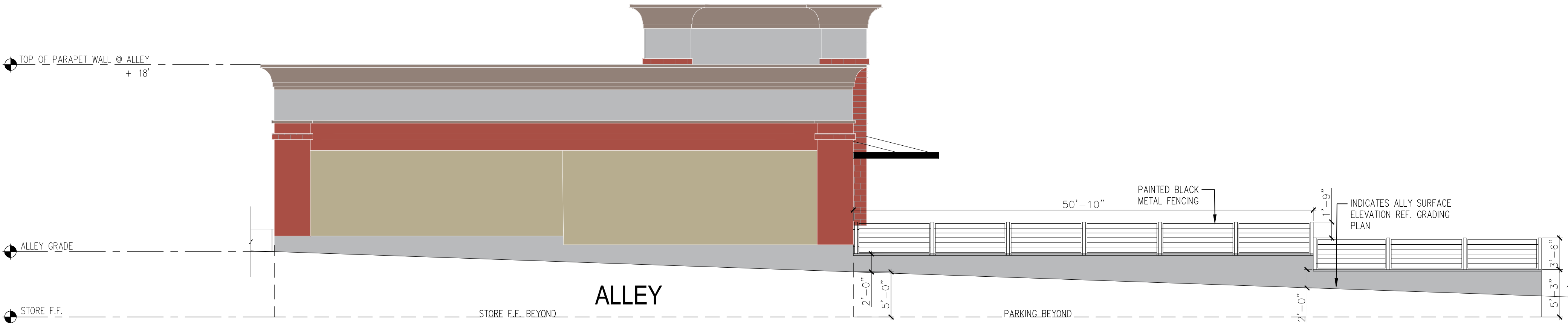
ELEVATION  
Scale 1/8"=1'-0"

Sheet No.

A-7



SOUTH ELEVATION ( BACK )



EAST ELEVATION ( ALLY )



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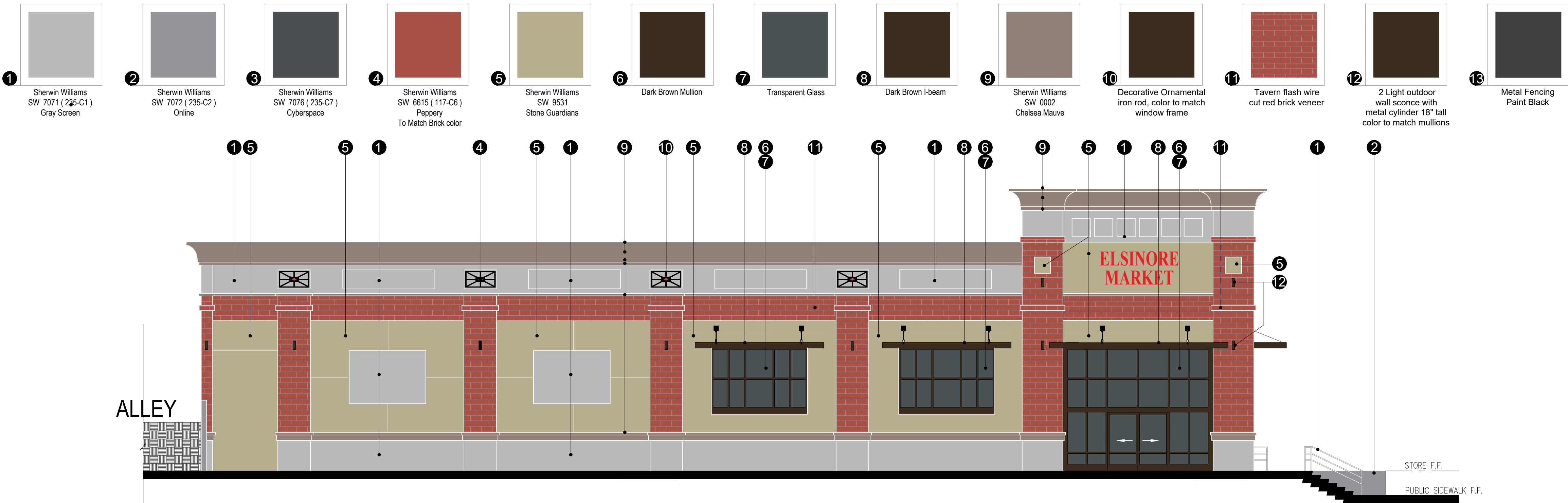
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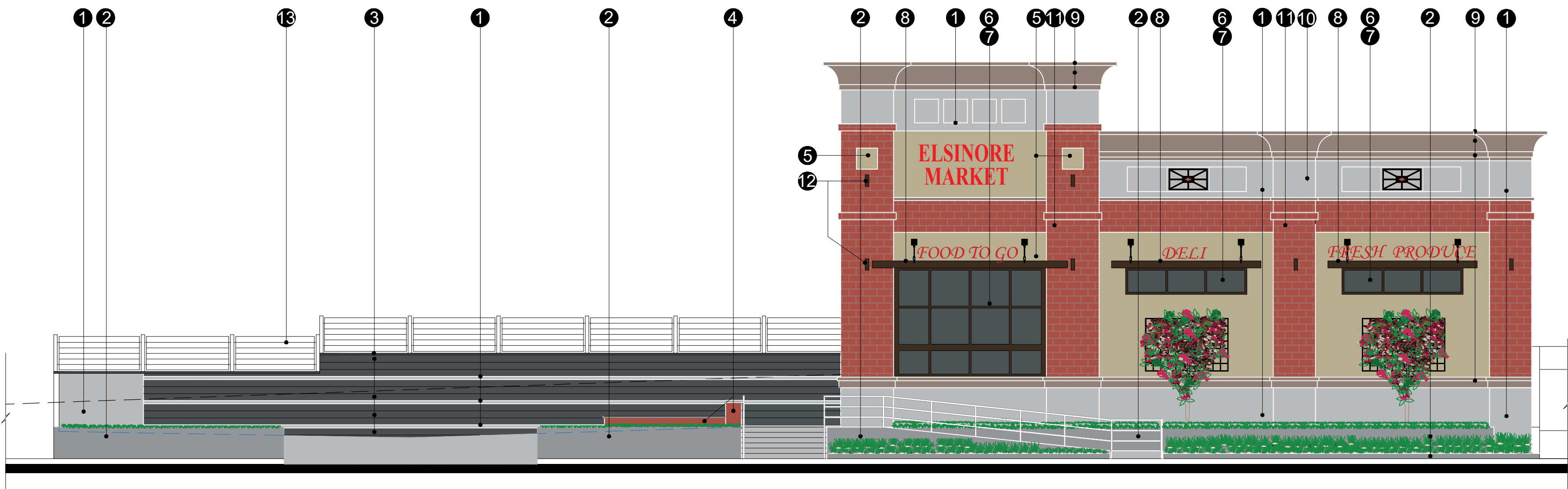
Description

ELEVATION  
Scale 1/8"=1'-0"

Sheet No.



NORTH ELEVATION ( FRONT )



WEST ELEVATION ( MAIN STREET )







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Consultant

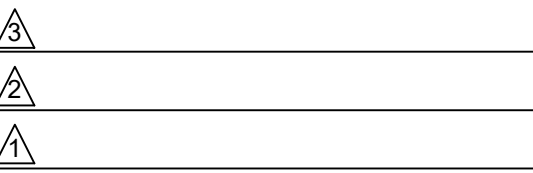
Project Name

ELSINORE  
MARKET

Issue, Date & Description

|                                 |            |
|---------------------------------|------------|
| Planning Revision corrections   | 08-28-2023 |
| Planning Revision corrections   | 07-08-2023 |
| Design Revision per corrections | 02-14-2023 |
| Planning Review Meeting         | 12-14-2022 |
| Planning Division Review        | 10-03-2022 |
| Planning Division Review        | 11-17-2021 |

△ Revision Date



CAD File 218-230 N MAIN-1

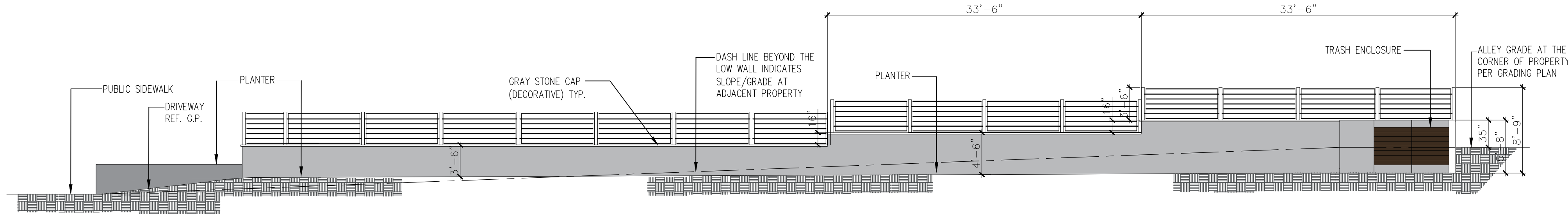
Project No.

Description

ELEVATION  
Scale 1/8"=1'-0"

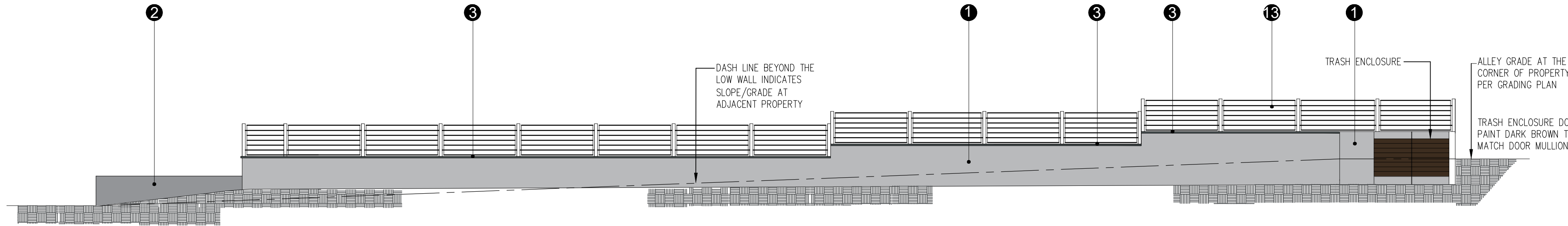
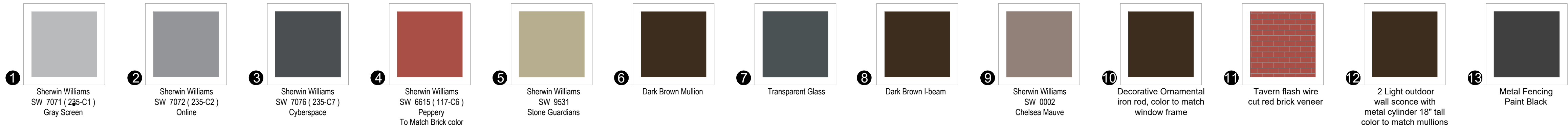
Sheet No.

A-10



LOW WALL ELEVATION PARKING SIDE

A



LOW WALL ELEVATION PARKING SIDE

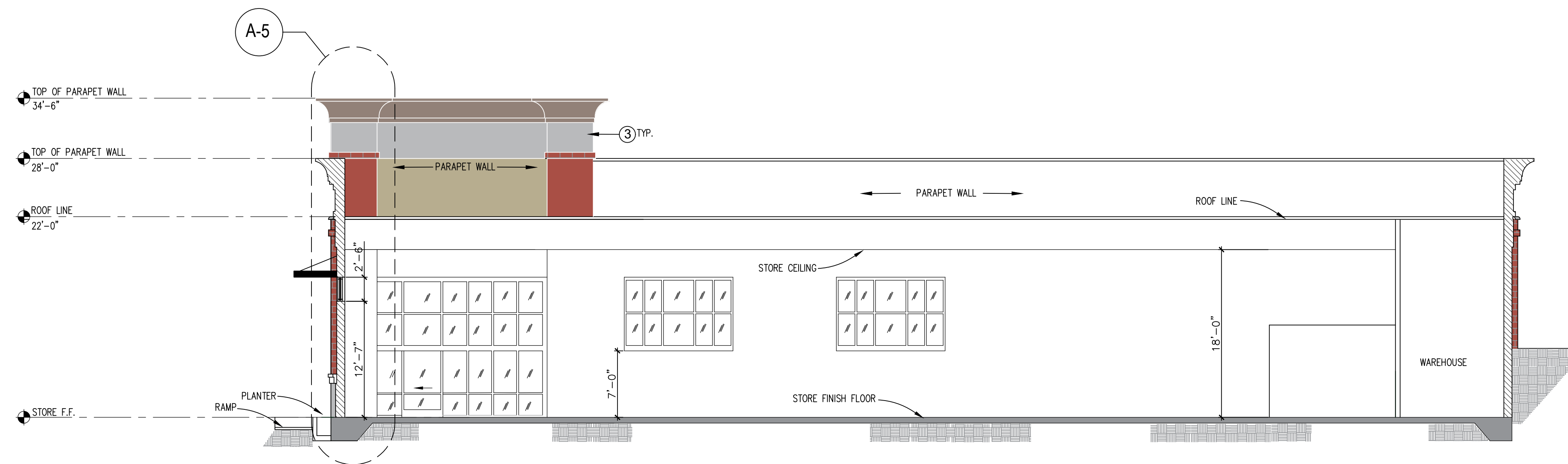
A



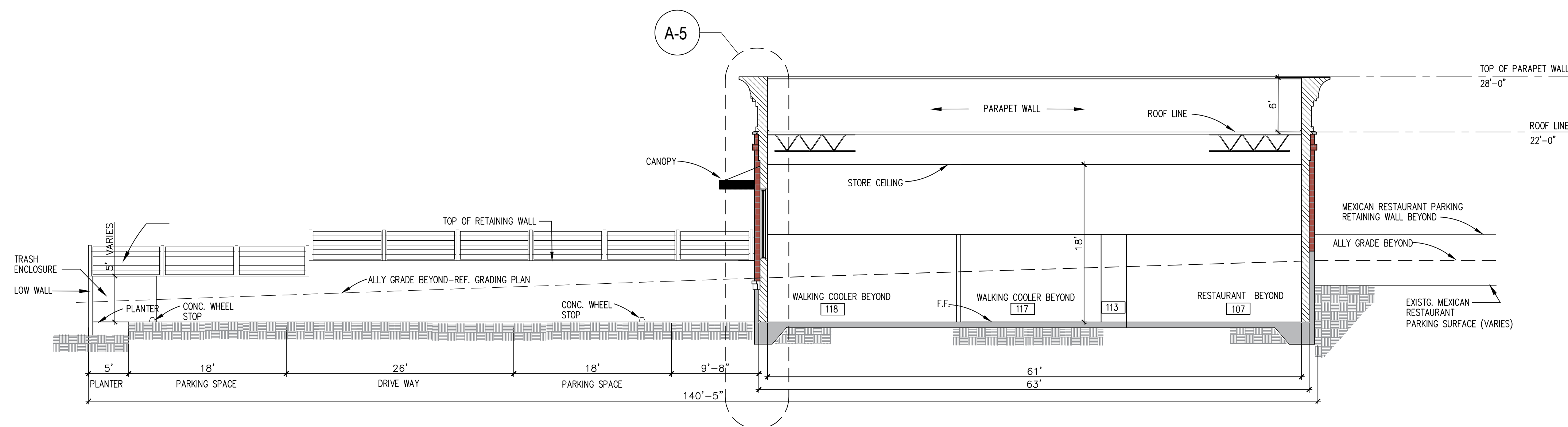
LOW WALL ELEVATION ( FROM ADJACENT VACANT PROPERTY )

B





SECTION A



SECTION B

Architect/Designer



1927 Harbor Blvd.  
Suite 103  
Costa Mesa, CA 92627  
Ph 310.902.1980  
WWW.DEBOR.US

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Consultant

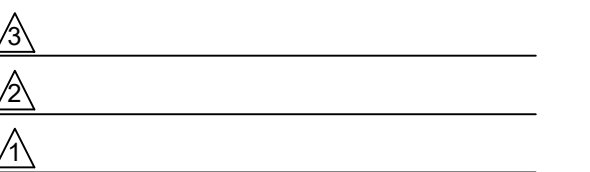
Project Name

ELSINORE  
MARKET

Issue, Date & Description

|                                 |            |
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| Planning Revision corrections   | 08-28-2023 |
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Revision Date



CAD File 218-230 N MAIN-1

Project No.

Description

SECTIONS





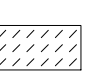

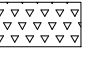
Scale 1/8"=1'-0"

Sheet No.

A-11



PLANTING LEGEND

| Symbol  | Botanical Name/Common Name  | Quantity | Size    | WUCOLS | Remarks |
|---|---|----------|---------|--------|---------|
|  | TREE  |          |         |        |         |
|   | Geijera Parviflora/ Australian Willow                               | 6        | 36" box | M      |         |
|  | Lagerstroemia indica 'Watermelon Red' / Watermelon Red Crape Myrtle | 7        | 24" box | M      |         |
| SHRUBS  |   |          |         |        |         |
|  | Aloe striata / Coral Aloe @ 18" o.c.                                | 63       | 5g      | L      |         |
|  | Carissa macrocarpa / Natal plum @ 30" o.c.                          | 47       | 5g      | M      |         |
|  | Correa 'Dusky bells'/ Red Australian fuchsia 677 sf @ 24" o.c.      | 169      | 5g      | L      |         |
| VINE  |   |          |         |        |         |
|  | Bougainvillea 'Barbara Kurst' / Red bougainvillea @ 60" o.c.        | 3        | 15g     | L      |         |
| GROUND COVER  |   |          |         |        |         |
|  | Myoporum parvifolium / Myoporum 889 sf @ 12" o.c. = 889 plants      | 18       | flat    | L      |         |

PROPOSED PLANT MATERIAL

TREE/VINE



Geijera Parviflora / Australian willow



Lagerstroemia indica 'Watermelon Red' / Watermelon Red Crape Myrtle

SHRUBS/GROUNDCOVERS



Aloe striata / Coral aloe



Carissa macrocarpa / Natal plum



Correa 'Dusky Bells' / Red Australian fuchsia



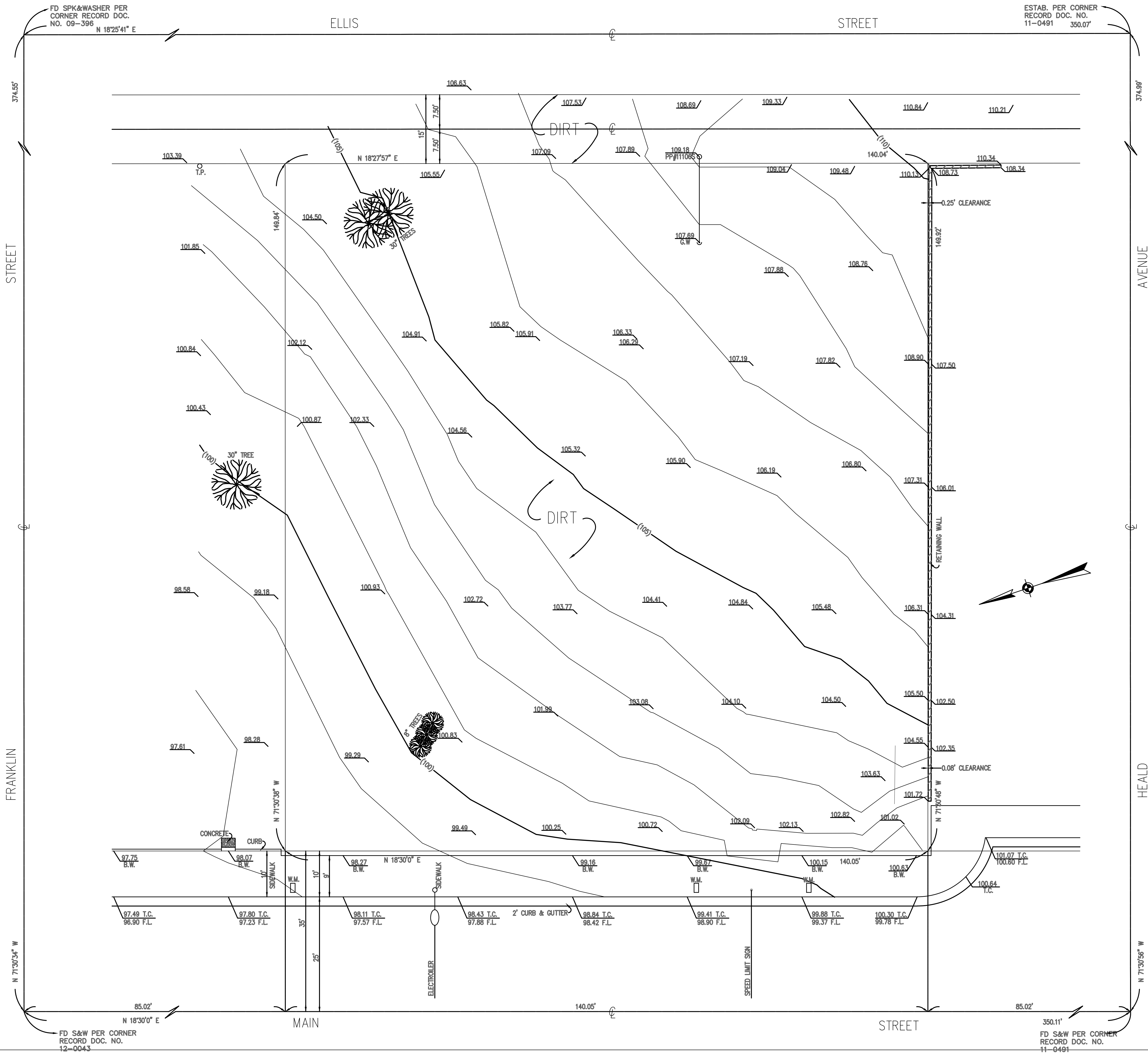
Bougainvillea 'Barbara Kurst' / Red Bougainvillea



Myoporum parvifolium / Myoporum







LEGAL DESCRIPTION

PARCEL 1:  
THE SOUTHERLY RECTANGULAR 40 FEET OF LOT 3 AND ALL OF LOT 4, BLOCK "A" OF JONES ADDITION TO ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 4, PAGE 177 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

PARCEL 2:  
LOT 5 IN BLOCK "A" OF JONES ADDITION TO ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 4, PAGE 177 OF MAPS, RECORDS OF SAN DIEGO, CALIFORNIA.

BASIS OF BEARING:

THE BEARING N 18°30'00" E OF THE CENTERLINE OF MAIN STREET ON THE MAP OF POR. RANCHO LA LAGUNA (POR. SEC. 8 T6SR4W) RECORDED IN BOOK 373 PAGE 02 OF MAP, IN THE OFFICE OF THE RIVERSIDE COUNTY RECORDER WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK

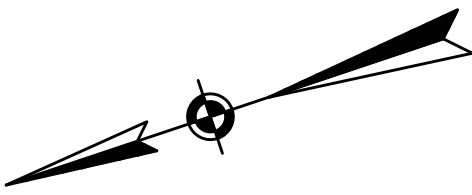
T.B.M. ELEV. 100.00 FT  
TOP OF FIRE HYDRANT LOCATED AT THE SOUTH EAST CORNER OF MAIN STREET AND FRANKLIN STREET.

AREA:

NET AREA: 20,989 S.F. (0.4818 ACRES)

LEGENDS:

- |         |                  |
|---------|------------------|
| CL      | CENTERLINE       |
| TC      | TOP OF CURB      |
| FL      | FLOWLINE         |
| BW      | BACK OF WALL     |
| PP      | POWER POLE       |
| TP      | TELEPHONE POLE   |
| WM      | WATER METER      |
| -(100)- | EXISTING CONTOUR |
| GW      | GUY WIRE         |



SCALE: 1"=10'



TOPOGRAPHIC SURVEY  
PORTION OF LOT 3 AND  
ALL OF LOT 4 AND 5  
OF BLOCK A  
IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, CA

TKIM ENGINEERS  
3000 W 6TH ST. STE 303  
LOS ANGELES, CA. 90020  
TEL. (213) 487-3636

JULY 1, 2019  
SCALE: 1"=10'  
2019-015

|                  |                           |
|------------------|---------------------------|
| Checked by<br>NK | Drawing No.<br><b>C-0</b> |
| Print Date       | 3-16-20                   |



GENERAL SPECIFICATIONS AND NOTES

- SPECIFICATIONS SHALL HAVE PRECEDENCE OVER DRAWINGS.
- THE STAMPED SET OF PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- ALL RECOMMENDATIONS AND CONDITIONS OF THE APPROVED SOILS AND/OR GEOLOGICAL REPORT AND THE DEPARTMENT'S APPROVAL LETTERS SHALL BE PART OF THE PLANS AND SHALL BE AT THE JOB SITE AT ALL TIMES.
- NO WORK SHALL BE STARTED IN OR ABOUT A GRADING PROJECT WITHOUT FIRST NOTIFYING THE GRADING INSPECTOR.
- NO GRADING WORK, INCLUDING IMPORT AND EXPORT, SHALL BE DONE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. ON ANY DAY AND NO WORK SHALL BE DONE ON SUNDAY AT ANY TIME, EXCEPT IN EMERGENCIES AS PROVIDED IN SECTION 91.700(f) OF THE BUILDING CODE. A HAUL ROUTE SATISFACTORY TO THE GRADING DIVISION OR APPROVED BY THE BOARD OF BUILDING AND SAFETY COMMISSIONERS SHALL BE SHOWN ON THE PLANS. THE TRAFFIC BUREAU OF THE LOS ANGELES POLICE DEPARTMENT SHALL BE NOTIFIED PRIOR TO THE START OF THE HAULING. (213) 485-3106.
- OWNER SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMP TO CONTROL DUST CAUSED BY GRADING AND CONSTRUCTION. OWNER SHALL, AT ALL TIMES, PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
- IF THE GRADING JOB EXTENDS OVER A PERIOD OF TIME EXCEEDING SIX MONTHS, THE DEPARTMENT MAY REQUIRE PLANTING OF THOSE PORTIONS OF THE JOB WHERE ALL OTHER GRADING REQUIREMENTS HAVE BEEN MET IN ORDER TO PREVENT DUST AND EROSION.
- HIGHWAY EQUIPMENT SHALL BE KEPT IN GOOD OPERATING CONDITION AND MUFFLED AS REQUIRED BY LAW.
- EXCEPT IN EMERGENCY CASES, THE REPAIR OF CONSTRUCTION EQUIPMENTS OR THE DELIVERY OF CONSTRUCTION MATERIALS IS NOT PERMITTED BEFORE 8:00 A.M. OR AFTER 6:00 P.M. ON SATURDAY NOR AT ANY TIMES ON SUNDAY.
- THE FILL MATERIALS IN EACH TRUCKLOAD SHALL BE KEPT LOW ENOUGH TO PREVENT SPILLAGE AND SHALL BE SUFFICIENTLY WET DOWN TO PREVENT DUST.
- NO PERSON SHALL, WHEN HAULING ANY EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE, ALLOW SUCH MATERIALS TO BLOW OR SPILL OVER AND UPON THE PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE OR ADJACENT PRIVATE PROPERTY.
- NO PERSON SHALL, WHEN EXCAVATING, COMPACTING, HAULING OR MOVING EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, OR ANY OTHER SIMILAR SUBSTANCE, CAUSE, ALLOW OR PERMIT SUCH MATERIALS TO DROP, BE DEPOSITED, OR FALL FROM THE BODY, TIRES, OR WHEELS OF ANY VEHICLE SO USED UPON ANY PUBLIC STREET OR ALLEY WITHOUT IMMEDIATELY AND PERMANENTLY REMOVING THE SAME THEREFROM.
- PERMISSION SHALL BE SECURED FROM THE DEPARTMENT OF PUBLIC WORKS IF THE TRUCKS ARE LOADED IN THE STREET.
- THE LOADING OR DUMPING OF EXCESS SOIL SHALL BE APPROVED BY THE GRADING INSPECTOR PRIOR TO STARTING EXCAVATION.
- BRUSHING AND SCARIFYING OF SLOPES SHALL PROCEED ONLY AS FAR AS PERIODICALLY CLEARED BY THE GRADING INSPECTOR.
- PRIOR TO PLACING FILL, SLOPES SHALL BE PROPERLY PREPARED BY BRUSHING AND HAULING AND BENCHING.
- LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A GRADED SLOPE.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE.
- ALL LOOSE MATERIALS SHALL BE REMOVED OR COMPACTED PER APPROVED PLAN.
- IF AT ANY STAGE OF WORK ON AN EXCAVATION OR FILL THE DEPARTMENT DETERMINES THAT FURTHER WORK AS AUTHORIZED BY AN EXISTING PERMIT IS LIKELY TO DANGER ANY PROPERTY OR PUBLIC WAY, THE DEPARTMENT MAY REQUIRE AS A CONDITION TO ALLOW THE WORK TO CONTINUE, THAT PLANS FOR SUCH WORK BE AMENDED TO INCLUDE ADEQUATE SAFETY PRECAUTIONS.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM THE BEGINNING TO COMPLETION OF GRADING OPERATIONS.
- THE ENGINEERING GEOLOGIST, SOILS ENGINEER AND CIVIL ENGINEER SHALL COMPLY WITH RGA P/BC 2008-068 AND SHALL PROVIDE THE DEPARTMENT WITH A GRADING CERTIFICATION UPON COMPLETION OF THE JOB.
- AN AS-GRADED PLAN AT A SCALE OF 1" = 40' (OR OTHER SCALES DEEMED APPROPRIATE BY THE DEPARTMENT) PREPARED BY THE TRACT CIVIL ENGINEER SHALL BE SUBMITTED WITH THE REQUIRED GRADING CERTIFICATIONS TO THE DEPARTMENT UPON JOB COMPLETION.
- THE PERMITTEE SHALL PROVIDE SUPERVISORY CONTROL DURING THE GRADING OPERATION TO INSURE COMPLIANCE WITH APPROVED PLANS AND WITH THE MUNICIPAL CODE. WHEN NECESSARY, THE PERMITTEE SHALL AVAIL HIMSELF OF GEOLOGICAL AND FOUNDATION ENGINEERING SERVICES AND THE SERVICES OF A GRADING DEPUTY INSPECTOR TO IMPLEMENT HIS SUPERVISORY CONTROL.
- TEMPORARY EROSION CONTROL SHALL BE INSTALLED BETWEEN OCTOBER 1ST. AND APRIL 15TH. (DEPARTMENT OF PUBLIC WORKS' APPROVAL IS REQUIRED.)
- GRADING WHICH INVOLVES REMOVAL OF LATERAL SUPPORT OF PUBLIC WAYS REQUIRES DEPARTMENT OF PUBLIC WORKS APPROVAL.
- THE EXCAVATED SITE MATERIALS ARE CONSIDERED TO BE SATISFACTORY FOR REUSE IN THE COMPACTED FILL AREAS AND AS WALL BACK-FILL. ROCKS LARGER THAN 6 INCHES IN DIAMETER, HOWEVER, SHOULD NOT BE USED AS WALL BACK-FILL.
- FILL MATERIAL, APPROVED BY THE SOIL ENGINEER, SHOULD BE PLACED IN CONTROLLED LAYERS. EACH LAYER SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM LABORATORY UNIT WEIGHT AS DETERMINED BY ASTM DESIGNATION D 1557/78 FOR THE MATERIAL USED.
- THE FILL MATERIAL SHALL BE PLACED IN LAYERS WHICH, WHEN COMPACTED, SHALL NOT EXCEED 6 INCHES PER LAYER. EACH LAYER SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO INSURE UNIFORMITY OF MATERIAL IN EACH LAYER.
- WHEN MOISTURE CONTENT OF THE FILL MATERIAL IS TOO LOW TO OBTAIN ADEQUATE COMPACTION, WATER SHALL BE ADDED AND THOROUGHLY DISPERSED UNTIL THE MOISTURE CONTENT IS NEAR OPTIMUM.
- WHEN THE MOISTURE CONTENT OF THE FILL MATERIAL IS TOO HIGH TO OBTAIN ADEQUATE COMPACTION, THE FILL MATERIAL SHALL BE AERATED BY BLADING OR OTHER SATISFACTORY METHODS UNTIL NEAR OPTIMUM MOISTURE CONTENT IS ACHIEVED.
- INSPECTION AND FIELD DENSITY TESTS SHOULD BE CONDUCTED BY THE SOIL ENGINEER DURING GRADING WORK TO ASSURE THAT ADEQUATE COMPACTION IS ATTAINED. WHERE COMPACTION OF LESS THAN 90 PERCENT IS INDICATED, ADDITIONAL COMPACTION EFFORT SHOULD BE MADE WITH ADJUSTMENT OF THE MOISTURE CONTENT OR LAYER THICKNESS, AS NECESSARY, UNTIL AT LEAST 90 PERCENT COMPACTION IS OBTAINED.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

INSPECTIONS OF EXCAVATION AND FILLS.

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE GRADING INSPECTOR WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS.

- INITIAL INSPECTION  
WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT BEFORE GRADING OR BRUSHING IS STARTED.
- TOE INSPECTION  
AFTER THE NATURAL GROUND IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE ANY FILL IS PLACED.
- EXCAVATION INSPECTION  
AFTER THE EXCAVATION IS STARTED, BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN FEET.
- FILL INSPECTION  
AFTER THE FILL EMPLACEMENT IS STARTED, BUT BEFORE THE VERTICAL HEIGHT OF THE LIFT EXCEEDS TEN FEET.
- DRAINAGE DEVICE INSPECTION  
AFTER FORMS AND PIPE ARE IN PLACE, BUT BEFORE ANY CONCRETE IS PLACED.
- ROUGH GRADING  
WHEN ALL ROUGH GRADING HAS BEEN COMPLETED. THIS INSPECTION MAY BE CALLED FOR AT THE COMPLETION OF THE ROUGH GRADING WITHOUT THE NECESSITY OF THE DEPARTMENT HAVING PREVIOUSLY REVIEWED AND APPROVED THE REPORTS.
- FINAL  
WHEN ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES, HAS BEEN COMPLETED AND THE AS-GRADED PLAN AND REQUIRED REPORTS HAVE BEEN SUBMITTED.

SPECIAL (CONTINUOUS) INSPECTION

CONTINUOUS INSPECTION BY A REGISTERED DEPUTY GRADING INSPECTOR SHALL BE PROVIDED FOR THE FOLLOWING CONDITIONS

- A CONTINUOUS GRADING AREA EXCEEDING 60,000 SQUARE FEET.
- AN EXCAVATED OR FILLED SLOPE STEEPER THAN 1:50 HORIZONTAL TO ONE VERTICAL.
- AN EXCAVATED SLOPE EXCEEDING 40 FEET IN HEIGHT AND THE TOP OF WHICH IS WITHIN 20 FEET OF A PROPERTY LINE COTERMINOUS WITH IMPROVED PRIVATE PROPERTY OR A PUBLIC WAY.
- FOUNDATION EXCAVATIONS BELOW A ONE HORIZONTAL TO ONE VERTICAL PLANE INWARD AND DOWN FROM THE PROPERTY LINE.
- SPECIAL CASES WHERE THE WORK, IN THE OPINION OF THE BUILDING OFFICIAL, INVOLVES UNUSUAL HAZARDS OR CONDITIONS. FOR EXAMPLE, ALL SHORING, UNDERPINNING, AND SLOT CUTTING WORK REQUIRES THE PRESENCE OF A DEPUTY GRADING INSPECTOR.

NOTE:

- ALL GRADED SLOPES SHALL BE PLANTED AND SPRINKLERED.
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE. UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL PROCEDURES TO BE INSTALLED BETWEEN OCTOBER 1ST AND APRIL 15TH, (DEPARTMENT OF PUBLIC WORKS' APPROVAL IS REQUIRED.)

f. EARTHWORK QUANTITIES:

| CONTOUR | CUT SF | FILL SF |
|---------|--------|---------|
| 109     | 168    | 0       |
| 108     | 945    | 0       |
| 107     | 2269   | 0       |
| 106     | 4491   | 0       |
| 105     | 7408   | 0       |
| 104     | 9917   | 0       |
| 103     | 807    | 2011    |
| 102     | 0      | 1254    |
| 101     | 0      | 2362    |
| 100     | 0      | 1312    |
| 99      | 0      | 389     |
| TOTAL   | 26005  | 7328    |

CUT = 26005 X 1/27= 963 C.Y.  
FILL = 7328 X 1/27 = 271 C.Y.  
SHRINKAGE = 271 X 0.15= 40 C.Y.  
R&R = 11400X 5= 57000 C.F.= 2111 C.Y.  
SHRINKAGE = 2111X 0.15= 316 C.Y.  
EXPORT = 963-271-40-316= 336 C.Y.

h. TEMPORARY EXCAVATION

FOLLOW GUIDE LINES OF THE SOIL ENGINEER FOR EXCAVATION AND CONSTRUCTION OF THE RETAINING WALLS.

ATTACHMENT "A" NOTES

- Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
- Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name \_\_\_\_\_  
(Owner or authorized agent of the owner)

Signature \_\_\_\_\_ Date \_\_\_\_\_  
(Owner or authorized agent of the owner)

LEGAL DESCRIPTION

PARCEL 1:  
THE SOUTHERLY RECTANGULAR 40 FEET OF LOT 3 AND ALL OF LOT 4, BLOCK "A" OF JONES ADDITION TO ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 4, PAGE 177 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

PARCEL 2:  
LOT 5 IN BLOCK "A" OF JONES ADDITION TO ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 4, PAGE 177 OF MAPS, RECORDS OF SAN DIEGO, CALIFORNIA.

BENCHMARK

T.B.M. \_\_\_\_\_ ELEV. 100.00 FT

TOP OF FIRE HYDRANT LOCATED AT THE SOUTH EAST CORNER OF MAIN STREET AND FRANKLIN STREET.

Prepared by:  
**NICK KAZEM, INC.**

CIVIL ENGINEERS AND LAND SURVEYORS

4966 TOPANGA CYN. BLVD.  
WOODLAND HILLS, CA 91364  
PHONE: 818-999-9890 FAX: 818-999-9896

Soil Engineer:  
**GEO CONCEPTS, INC.**

14428 HAMLIN STREET  
#200  
VAN NUYS, CA 91401  
PHONE: 818-994-8895  
WWW.GEOCONCEPTSINC.COM

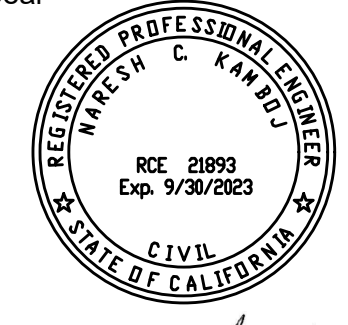
Prepared for: OWNER

CALIFORNIA  
HOME  
CENTER

PHONE: 818-758-6500  
Project Address:  
218-230 N. MAIN ST.  
LAKE ELSINORE, CA 92530

Drawing Title

TITLE  
SHEET  
GENERAL  
NOTES

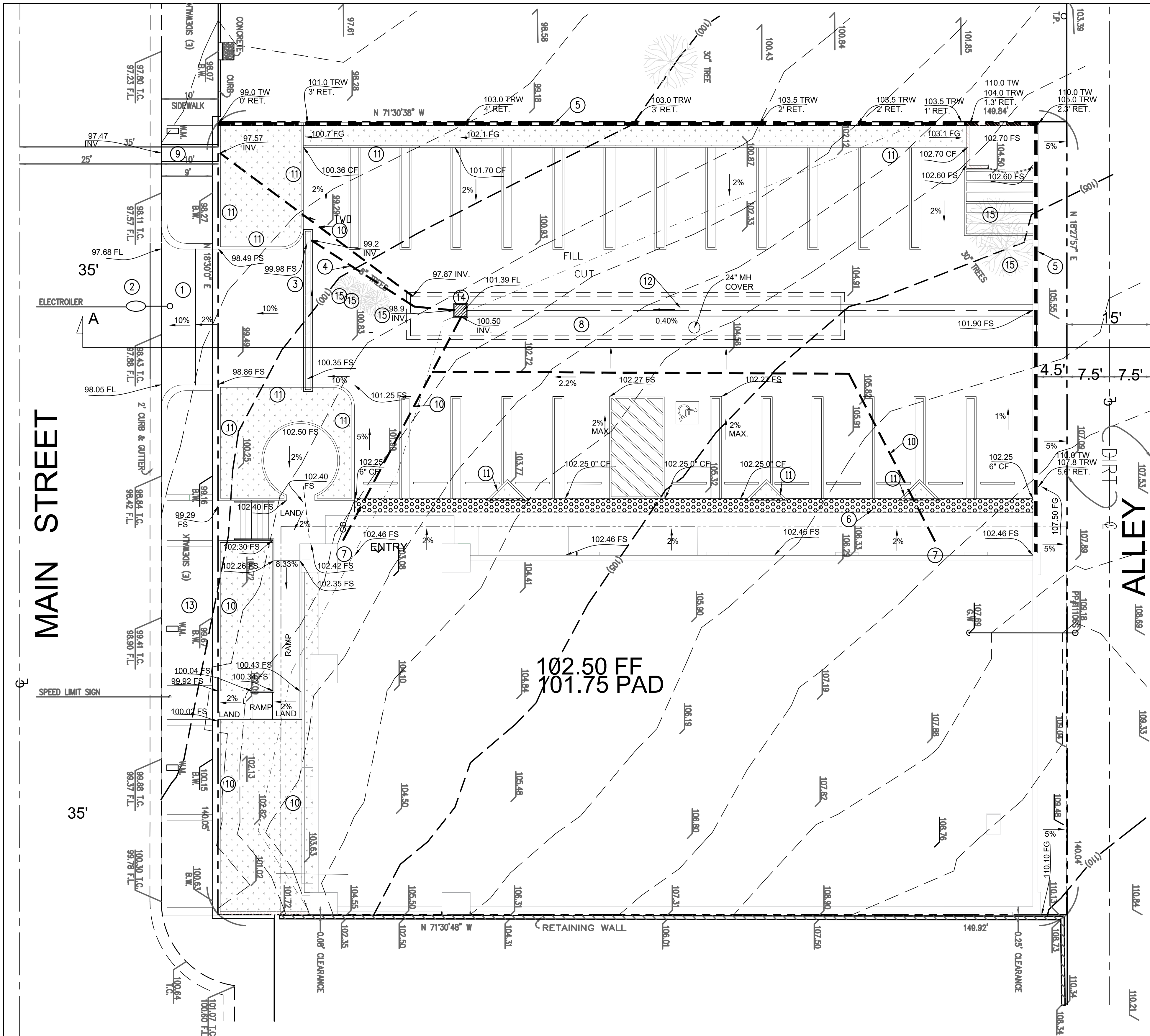
|                   |   |
|-------------------|---|
| Scale<br>1" = 10' |  |
| W.O.<br>3964      |   |
| Designed<br>NK    |   |
| Drawn by<br>PK    |   |
| Checked by<br>NK  | Drawing No.<br><br><b>C-1</b>   |
| Print Date        | 6-14-2023   |



AT LEAST TWO DAYS  
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT (USA)  
OF SOUTHERN CALIFORNIA





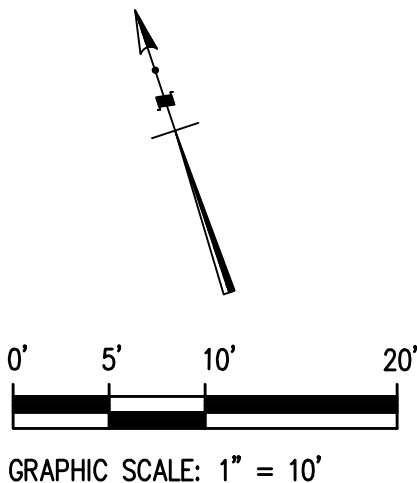
CONSTRUCTION NOTES:

1. CONSTRUCT 24' WIDE DRIVEWAY UNDER SEPARATE PERMIT FROM PUBLIC WORKS
2. RELOCATE EXIST. STREET LIGHT UNDER SEPARATE PERMIT FROM PUBLIC WORKS
3. CONSTRUCT 12" WIDE TRENCH DRAIN PER DETAIL ON SHEET C-3
4. CONSTRUCT 4" PVC PIPE SCHEDULE 40 OR BETTER
5. CONSTRUCT WALL PER STRUCTURAL DETAIL UNDER SEPARATE PERMIT
6. REMOVE AND RECOMPACT UNDER THE BUILDING PAD AND 5' BEYOND FOR A DEPTH OF 5 FEET. PER RECOMMENDATION OF THE SOIL ENGINEER AND THEIR OBSERVATION
7. ALL ROOF DRAINS AND HARDSCAPE TO DISCHARGE TO THE INFILTRATION BASIN
8. CONSTRUCT 2931 CF GRAVEL BASIN, BMP, SIZE 7' X 76' X 7.3' DEEP TO HOLD 1" OF RAIN WATER SEE SHEET C-3 FOR DETAIL
9. CONSTRUCT 3' WIDE PARKWAY DRAIN UNDER SEPARATE PERMIT FROM PUBLIC WORKS
10. CONSTRUCT 6" PVC PIPE SCHEDULE 40 OR BETTER
11. CONSTRUCT 6" CONC. CURB, CONSTRUCT 1" WEEP HOLES AT 1' BELOW TC FOR DRAINAGE EVERY 10'
12. CONSTRUCT 24" CONC. GUTTER
13. CONSTRUCT NEW CONCRETE WALKWAY, UNDER SEPARATE PERMIT FROM PUBLIC WORKS
14. CONSTRUCT 24X24" CATCH BASIN PER DETAIL ON SHEET C-3
15. REMOVE EXIST. TREE
16. STENCIL THE FOLLOWING SYMBOL AT EVERY STORM WATER INLET



LEGEND:

- CATCH BASIN
- TOP OF WALL
- FLOW LINE
- CURB FACE
- TOP OF CURB
- GRADE BREAK
- FINISHED SURFACE
- FINISHED FLOOR
- TOP OF GRATE
- INVERT
- BOUNDARY LINE
- REMOVE AND RECOMPACT LINE
- CUT AND FILL LINE
- WATER METER
- EXIST. ELEVATION
- PROPOSED ELEVATION
- LANDSCAPE AREA
- PERMEABLE PAVERS



Prepared by:  
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CIVIL ENGINEERS AND LAND SURVEYORS  
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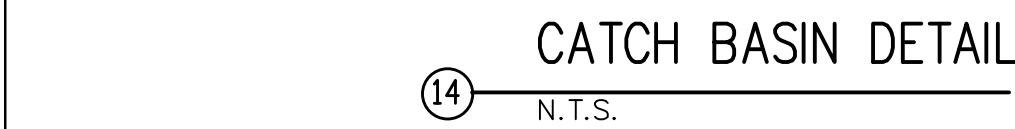
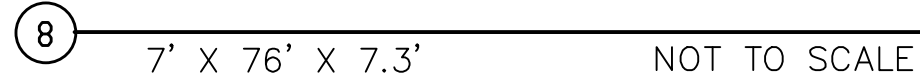
Soil Engineer:  
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#200  
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Prepared for: OWNER  
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PHONE: 818-758-6500  
Project Address:  
218-230 N. MAIN ST.  
LAKE ELSINORE, CA 92530

Drawing Title  
**GRADING PLAN**

|                   |                           |
|-------------------|---------------------------|
| Scale<br>1" = 10' |                           |
| W.O.<br>3964      |                           |
| Designed<br>NK    |                           |
| Drawn by<br>PK    |                           |
| Checked by<br>NK  | Drawing No.<br><b>C-2</b> |

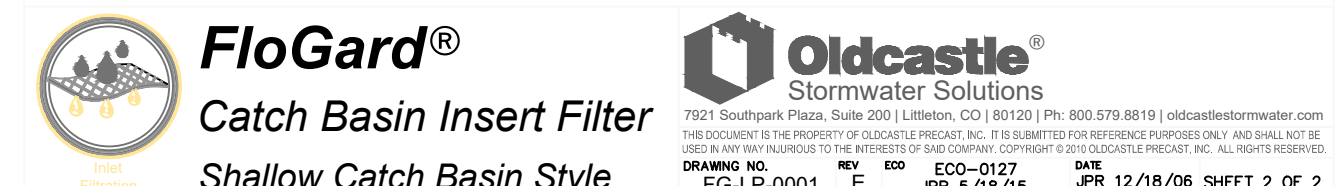




SCALE: H & V 1"=10'

NOTES:

- Basin Style



1. SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 0.5 INCHES PER HOUR).
2. INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY.
3. IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER INTO STORM DRAIN INLET OR ONSITE BMP. GEOTEXTILE SHALL BE REPLACED WITH IMPERMEABLE LINER AND UNDERDRAIN PREFERRED PIPE.
4. ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
5. SLOPE IS NOT GREATER THAN 3 PERCENT.
6. FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.
7. PRE-CASTED CONCRETE PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURER'S SPECIFICATIONS. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.

## PERMEABLE PAVING - STONE

N.T.S.

Prepared for: OWNER

CALIFORNIA  
HOME  
CENTER

PHONE: 818-758-6500  
Project Address:  
218-230 N. MAIN ST.  
LAKE ELSINORE, CA 92530

Drawing Title

# GRADING DETAIL

Seas

Scale  
1" = 10'

W.O.  
3864

Designed  
NK

Drawn by  
PK

|               |  |
|---------------|--|
| Checked<br>NK |  |
|---------------|--|

|            |  |
|------------|--|
| Drawing No |  |
|------------|--|

C-3

Print Date

6-14-2023