

ABBREVIATIONS

Table of abbreviations including A/C (AIR CONDITIONING), BOH (BACK OF HOUSE), CAB (CABINET), CL (CENTER LINE), CM (STARBUCKS CONSTRUCTION MANAGER), etc.

ARCHITECTURAL SYMBOL LEGEND

Architectural symbols including North Arrow, Graphic Scale, Datum Point, Exterior Elevation Call-out, Interior Elevation Call-out, Section Call-out, Detail Call-out, Sheet Note Callout, etc.

SITE MAP



VICINITY PLAN



RESPONSIBILITY LEGEND

Responsibility legend table with columns for GC (GENERAL CONTRACTOR), LL (LANDLORD), SB (STARBUCKS).

PROJECT CONTACTS

Mailing Address: STARBUCKS COFFEE COMPANY, 2401 UTAH AVENUE SOUTH, MS STOP: S-SD10, SEATTLE, WASHINGTON 98134. Design Manager: MAIKEL FARAGALLA, URBAN DWELL ARCHITECTS, 43180 BUSINESS PARK DR., SUITE:203, TEMECULA, CA 92590.

GENERAL NOTES

- A. THE DRAWINGS AND PROJECT MANUAL TOGETHER CONSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION. ALL GENERAL REQUIREMENTS ARE TO BE MET AND ALL MATERIALS, FINISHES AND SYSTEMS ARE TO BE INSTALLED AND PERFORM PER SPECIFICATIONS UNLESS OTHERWISE NOTED.

INDEX OF SHEETS

Index of sheets table with columns for SHEET, SHEET TITLE, BID SET, PERMIT SET, REVISION 1-4.

SCOPE OF WORK

NEW CONSTRUCTION FOR STARBUCKS COFFEE SHOP WITHIN AN EXISTING SHELL LEASE SPACE. NEW CONSTRUCTION INCLUDES: SITE: - NEW CUSTOM POLY SIGNAGE, - NEW DRIVE THRU EQUIPMENT, - LANDSCAPE PATCH AND INFILL (SEE LANDSCAPE PLANS PART OF THIS PERMIT).

SITE INFORMATION

CODE AUTHORITIES: CITY OF LAKE ELSINORE MUNICIPAL CODE. BUILDING CODE: 2022 California Building Code. PLUMBING CODE: 2022 California Plumbing Code. MECHANICAL CODE: 2022 California Mechanical Code.

DEFERRED/ SEPARATE SUBMITAL

- 1. PLANS FOR FIRE SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS WILL BE SUBMITTED UNDER SEPARATE REVIEW AND APPROVAL.

SITE SURVEY DISCLAIMER

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE TOILET AND BATHING FACILITIES FOR MEN AND WOMEN, AND DETERMINED THAT THE EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

BUILDING INFORMATION

OCCUPANCY TYPE: A2. BUILDING AREA: +/- 3,820. TENANT AREA: +/- 3,762. BUILDING CLASSIFICATION: CG-1. FIRE SPRINKLER: YES.

EXISTING BUILDING AREA

GROSS AREA 4,400 SF. NET AREA 4320 SF.

PROPOSED BUILDING AREA

GROSS AREA 3,820 SF. NET AREA 3,762 SF.

SUBMITTAL OF THE ENTITLEMENTS



STARBUCKS® 2401 UTAH AVENUE SOUTH SEATTLE, WASHINGTON 98134 (206) 318-1575

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STARBUCKS TEMPLATE VERSION: i2021.10.22

UDA URBAN DWELL ARCHITECTS ADDRESS: 43180 BUSINESS PARK DR. SUITE: 203 TEMECULA, CA92590 (714)331-6114 PHONE: info@urbandwellarchitects.com



PROJECT NAME: CENTRAL & COLLIER PROJECT ADDRESS: 18295 COLLIER AVE, LAKE ELSINORE, CA 92530

STORE #: 0000 PROJECT #: 34376-072 ISSUE DATE: 12-8-2023 DESIGN MANAGER: STUDIO-X PRODUCTION DESIGNER: NADA BALIGH CHECKED BY: MAIKEL FARAGALLA

Revision Schedule table with columns: Rev, Date, By, Description.

SHEET TITLE: GENERAL INFORMATION

SCALE: AS SHOWN

SHEET NUMBER: G001

ENVIRONMENTAL HEALTH NOTES

1. A CONCRETE SLAB IS PROVIDED FOR TRASH, GARBAGE, AND GREASE CONTAINER. IF WALLS ENCLOSE AREA, THE INTERIOR WALL SURFACES WILL BE SMOOTH, SEALED AND WASHABLE (E.G., PLASTERED SMOOTH AND PAINTED, ETC.).

2. ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED PROGRAM.

3. ALL FLOOR MOUNTED EQUIPMENT WILL BE INSTALLED ON MINIMUM 6" SANITARY LEGS, CASTORS, OR COMPLETELY SEALED IN POSITION ON A 4" HIGH CURB WITH CONTINUOUSLY COVERED BASE. COUNTERTOP EQUIPMENT WILL BE ON 4-INCH SANITARY LEGS OR SEALED TO THE COUNTER UNLESS READILY MOVABLE.

4. IF SOFT DRINK, ICE OR OTHER DISPENSERS ARE SELF-SERVICE, OR IF REFILLS ARE PROVIDED THEY MUST BE PUSH BUTTON TYPES, OR LEVER TYPES WHERE THE LEVER CONTACTS THE CONTAINER AT LEAST ONE INCH BELOW THE RIM.

5. ANY OPENABLE WINDOWS VENT OPENINGS OR OTHER SIMILAR OPENINGS MUST BE PROVIDED WITH TIGHT FITTING SCREENS OF MINIMUM 16-MESH TO THE INCH. WINDOWS TO BE FIXED AT FOOD PREP, UTENSIL-WASHING, OPEN FOOD AND UTENSIL STORAGE AREAS.

6. ALL EXTERIOR DOORS OPEN OUTWARD AND ARE SELF-CLOSING AND TIGHT FITTING.

7. BI-FOLD, FRENCH, ACCORDION STYLE AND ROLL-UP DOORS CANNOT OPEN INTO THE FOOD PREP, UTENSIL WASHING OR UNPACKAGED FOOD SERVICE AREAS.

8. TOILET ROOM AND DRESSING ROOM DOORS MUST BE SELF-CLOSING, TIGHT FITTING.

9. DELIVERY DOORS TO HAVE AIR CURTAIN FANS THAT SPAN THE WIDTH OVER THE DOOR. THE FAN MUST ACTIVATE VIA A MICROSWITCH PROVIDING A MINIMUM VELOCITY OF 1600 FPM MEASURED 3 FEET ABOVE THE GROUND.

10. A MINIMUM OF 10 FOOT-CANDLES OF LIGHT MEASURED 30" OFF FLOOR IS PROVIDED IN WALK-IN REFRIGERATED STORAGE AND DRY STORAGE ROOMS AND AT LEAST 20-FOOT CANDLES IS PROVIDED WHERE FOOD IS PROVIDED FOR CONSUMER SELF-SERVICE, WHERE FRESH PRODUCE OR PREPACKAGED FOODS ARE SOLD OR OFFERED FOR CONSUMPTION; INSIDE EQUIPMENT SUCH AS REACH-IN AND UNDER-COUNTER REFRIGERATORS; IN AREAS USED FOR HANDWASHING, WAREWASHING, EQUIPMENT AND UTENSIL STORAGE, AND IN TOILET ROOMS.

11. A MINIMUM OF 50 FOOT-CANDLES OF LIGHT MEASURED 30" OFF FLOOR IS PROVIDED WHEN WORKING WITH FOOD OR WORKING WITH UTENSILS OR EQUIPMENT SUCH AS KNIVES, SLICERS, GRINDERS, OR SAWS WHERE EMPLOYEE SAFETY IS A FACTOR AND IN ALL AREAS DURING PERIODS OF CLEANING.

12. SHATTERSHIELDS FOR ALL LIGHTS ABOVE FOOD PREPARATION, WORK, AND STORAGE AREAS WILL BE PROVIDED.

13. ALL WAREWASHING SINKS TO HAVE 3 COMPARTMENTS THAT ARE A MINIMUM SIZE OF AT LEAST 18"x18"x12" DEEP (OR 16"x20"x12" DEEP) WITH A MINIMUM 18" DRAINBOARD AT EACH END. IF AGAIN

14. SINKS TO HAVE SPOUT(S) CAPABLE OF REACHING EACH COMPARTMENT.

15. FOOD PREP SINK COMPARTMENT(S) TO BE AT LEAST 18"x18"x12" DEEP (OR 16"x20"x12" DEEP) WITH A MINIMUM 18" DRAINBOARD. SEPARATE FOOD PREP SINKS TO BE PROVIDED FOR MEATS AND PRODUCE.

16. THE 3 OR 4 COMPARTMENT BAR SINK TO BE AT LEAST 12"x12"x10" DEEP (OR 10"x14"x10" DEEP) WITH A MINIMUM 18" DRAINBOARD AT EACH END.

17. A SEPARATE WET WASTE DUMP FIXTURE SHALL BE PROVIDED FOR DISPOSAL OF DRINK OR WASTE ICE OR COFFEE WASTE.

18. EACH HANDWASHING SINK MUST HAVE PERMANENTLY MOUNTED SINGLE-SERVICE SOAP AND PAPER TOWEL DISPENSERS.

19. THE HOT WATER HEATER WILL BE A COMMERCIAL TYPE CAPABLE OF CONSTANTLY SUPPLYING HOT WATER AT A TEMPERATURE OF 120°F TO ALL SINKS. IN SIZING THE WATER HEATER, THE PEAK HOURLY DEMAND FOR ALL SINKS, ETC. ARE ADDED TOGETHER TO DETERMINE THE MINIMUM REQUIRED RECOVERY RATE.

20. ALL LAVATORIES OR HAND SINKS WILL HAVE A COMBINATION FAUCET OR PREMIXING FAUCET CAPABLE OF SUPPLYING WATER TEMPERED TO 100°F. SELF-CLOSING OR METERED FAUCET TO PROVIDE AT LEAST 15 SECONDS OF WATER WITHOUT REACTIVATION.

21. ALL PLUMBING, ELECTRICAL AND GAS LINES SHALL BE CONCEALED WITHIN THE BUILDING STRUCTURE TO AS GREAT AN EXTENT AS POSSIBLE. ALL EXPOSED CONDUITS, PLUMBING, ETC. SHALL BE INSTALLED AT LEAST 6" OFF FLOOR AND 3/4" FROM WALLS USING STANDOFF BRACKETS.

22. CONDUITS, PLUMBING OR PIPING CANNOT BE INSTALLED ACROSS ANY AISLE WAY, TRAFFIC AREA OR DOOR OPENING.

23. HANDWASH WATER SHALL BE 100-108 DEGREES (F) FOR AT LEAST 15 SECONDS WITHOUT REACTIVATION.

24. ALL LIQUID WASTE SHALL BE DRAINED BY MEANS OF INDIRECT WASTE PIPES INTO A FLOOR SINK. FLOOR SINKS ARE TO BE INSTALLED FLUSH WITH THE FINISHED FLOOR SURFACE AND HAVE SUITABLE EASILY REMOVABLE SAFETY COVER GRATES.

25. FLOOR SINK TO BE 50% EXPOSED WHEN NO ACCESS IS PROVIDED FOR CLEANING OR BE IN LINE WITH THE FRONT FACE OF ELEVATED FREESTANDING EQUIPMENT.

26. APPROVED BACKFLOW PREVENTION DEVICES SHALL BE PROPERLY INSTALLED UPSTREAM OF ANY POTENTIAL HAZARD BETWEEN THE POTABLE WATER SUPPLY AND A SOURCE OF CONTAMINATION. HOSES SHALL NOT BE ATTACHED TO A FAUCET OR HOSE BIBB UNLESS AN APPROVED BACKFLOW PREVENTER IS PROVIDED.

27. WATER SUPPLY TO CARBONATORS SHALL BE PROTECTED BY AN APPROVED REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER. THE RELIEF VALVE SHALL DRAIN INDIRECTLY TO SEWER WITH A LEGAL AIR GAP.

28. FOR CLEANING FLOOR MATS, THE JANITORIAL SINK TO BE A MINIMUM 24" BY 24"

29. THE JANITORIAL SINK FAUCET WILL HAVE A THREADED OUTER LIP FOR HOSE ATTACHMENT AND AN APPROVED BACKFLOW PREVENTION DEVICE. NO CHEMICAL DISPENSING SYSTEMS OR SHUTOFF VALVES TO BE ATTACHED TO MOP SINK FAUCET OUTLET (UNLESS A "SIDEKICK" PLUMBING DEVICE IS INSTALLED).

30. NO CONDENSATE OR WASTEWATER INCLUDING HVAC WILL DRAIN INTO THE JANITORIAL SINK.

31. GREASE TRAP TO BE LOCATED OUTSIDE THE FOOD SERVICE ACTIVITY AREA, FLUSH WITH THE FINISHED FLOOR WHEN INDOORS. LOCAL WASTEWATER DISTRICT OR BUILDING DEPARTMENT TO BE CONTACTED FOR GREASE REMOVAL REQUIREMENTS.

32. FLOOR DRAINS SHALL BE INSTALLED IN FLOORS THAT ARE WATER-FLUSHED FOR CLEANING AND IN AREAS WHERE PRESSURE SPRAY METHODS FOR CLEANING EQUIPMENT ARE USED, IN RESTROOMS, JANITORIAL ROOMS, SCULLERIES, AND AT BARS WITH WAREWASHING. FLOOR SURFACES IN AREAS PURSUANT TO THIS SHALL BE SLOPED 1:50 TO THE FLOOR DRAINS.

STORM WATER QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, LOS ANGELOS REGION, AND THE CITY OF LAKE ELSINORE DEVELOPMENT CODE

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREECH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE N THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

FIRE NOTES

1. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.

2. DURING CONSTRUCTION AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.

3. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

4. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2.

5. WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.11 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF LAKE ELSINORE.

6. KEY BOXES SHALL BE PROVIDED FOR ALL HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE ACCESS TO AN AREA IS RESTRICTED.

7. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAIVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 11 CUBIC YARD SHALL BE OF NON-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3

8. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.

9. OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF LAKE ELSINORE AND CFC 308.

10. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.

11. FIRE AND/OR SMOKE DAMPERS, ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

12. ACCESS TO FIRE AND SMOKE DAMPERS, LARGE ENOUGH TO PERMIT INSPECTION AND MAINTENANCE OF THE DAMPER AND ITS OPERATING PARTS, SHALL BE PROVIDED. THE ACCESS SHALL NOT AFFECT THE INTEGRITY, NOR REDUCE THE FIRE-RESISTANCE RATING OF THE FIRE-RESISTANCE-RATED ASSEMBLIES. ACCES POINTS SHALL BE PERMANENTLY IDENTIFIED ON THE EXTERIOR BY A LABEL HAVING LETTERS NOT LESS THAN 0.5" IN HEIGHT READING: FIRE/SMOKE DAMPER, SMOKE DAMPER OR FIRE DAMPER. ACCESS DOORS IN DUCTS SHALL BE TIGHT FITTING AND SUITABLE FOR THE REQUIRED DUCT CONSTRUCTION. CBC 717.4

GENERAL REQUIREMENT NOTES

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE ONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.@ (PER ORDINANCE 170,158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.

3. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

4. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

MEANS OF EGRESS

1. SHOW DETAILED SUMMARY OF THE FLOOR AREA AND ALL DEDUCTIONS FOR GROSS AND/OR NET FLOOR AREA. (1004.1)

2. USE CORRECT OCCUPANT LOAD FACTOR FOR THE FUNCTION OF SPACE ACCORDING TO TABLE 1004.1.2

1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED

2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 IUX).

3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER-S INSTRUCTIONS AND SECTION 2702.

4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (1013.3)

5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1013.6.3)

6. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1010.1.9.3 FOR EXCEPTIONS.

7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 44" ABOVE THE FINISHED FLOOR

8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.

9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 B 1010.1.9.12 PC/STR/CORR.LST.15 (REV. 01/10/2018) WWW.LADBS.ORG PAGE 12 OF 15

10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE

12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES- ELECTRICAL SUPPLY, IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

A. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS

B. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS;

C. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

D. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

E. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.

14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.



STARBUCKS®
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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STARBUCKS TEMPLATE VERSION: i2021.10.22

UDA
URBAN DWELL ARCHITECTS

ADDRESS: 43180 BUENES PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114

PHONE:

EMAIL: info@urbandwellarchitects.com



SUBMITTAL OF THE ENTITLEMENTS

PROJECT NAME:
CENTRAL & COLLIER

PROJECT ADDRESS:
18295 COLLIER AVE, LAKE ELSINORE, CA 92530

STORE #:	00000
PROJECT #:	34376-072
ISSUE DATE:	<xx-xx-xxxx>
DESIGN MANAGER:	STUDIO-X
PRODUCTION DESIGNER:	NADA BALIGH
CHECKED BY:	MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
GENERAL INFORMATION

SCALE: AS SHOWN

SHEET NUMBER:
G001.2



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2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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URBAN DWELL ARCHITECTS

ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



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**18295 COLLIER AVE., LAKE
ELSINORE, CA 92530**

STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: <XX-XX-XXXX>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**EXISTING BUILDING
PHOTOS**
SCALE: AS SHOWN

SHEET NUMBER:
G001A

6/26/2023 4:24:54 PM D:\Mariam\Task 10 - Central & Collier Entitlements\Application Comments 5-18-23\new modeling\Central & Collier - Entitlements - 06-25-2023.rvt



STARBUCKS[®]
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

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URBAN DWELL ARCHITECTS
 ADDRESS: 43180 BUSINESS PARK DR.
 SUITE 203
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**18295 COLLIER AVE, LAKE
 ELSINORE, CA 92530**

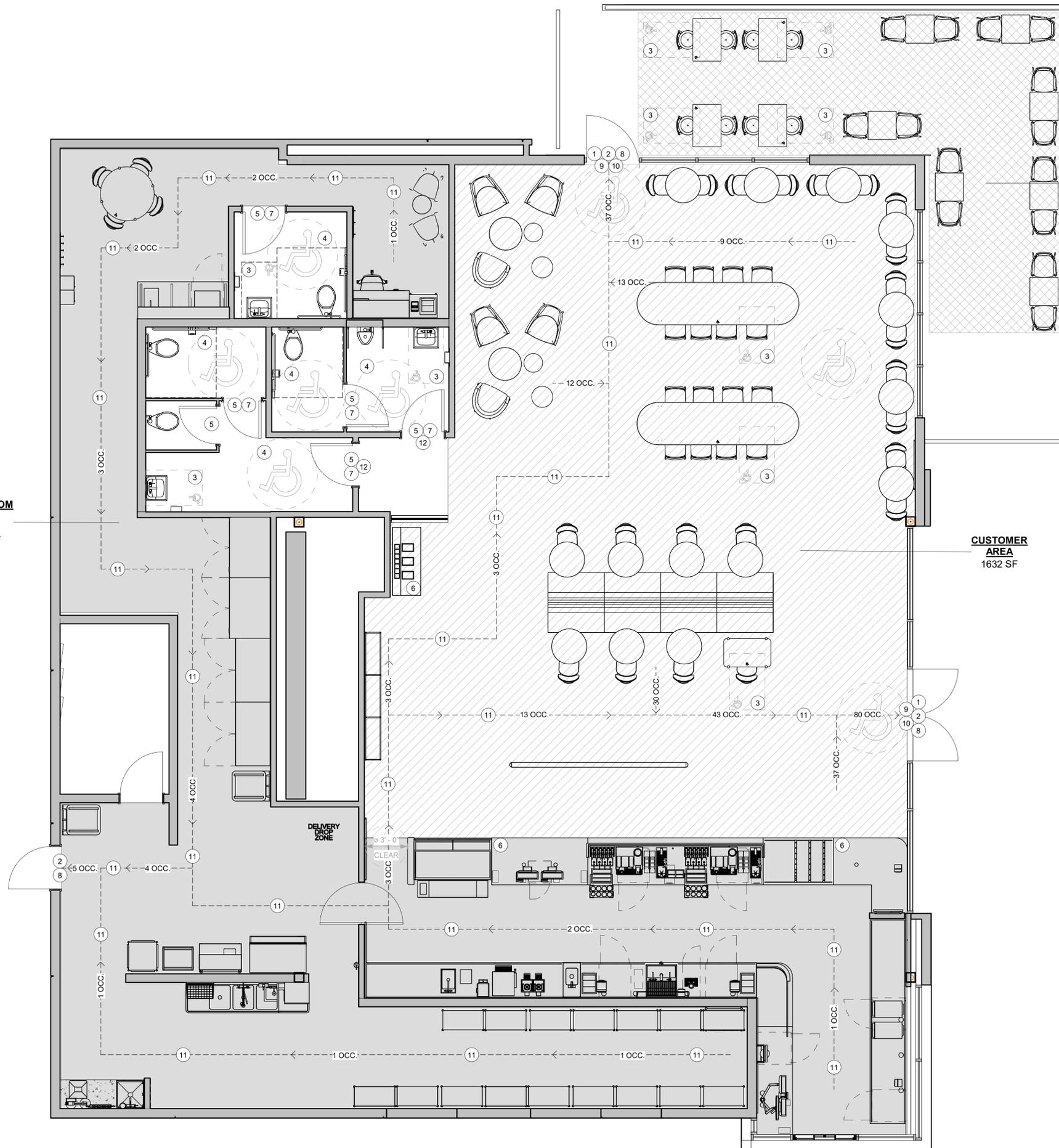
STORE #: 00000
 PROJECT #: 34376-072
 ISSUE DATE: <XX-XX-XXXX>
 DESIGN MANAGER: STUDIO-X
 PRODUCTION DESIGNER: NADA BALIGH
 CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description
1	05/31/23	MV	Planning Revision

SHEET TITLE:
**EXTERIOR RENDERED
 VIEWS**
 SCALE: AS SHOWN

SHEET NUMBER:
G001B

**WORKROOM
BAR
AREA**
1756 SF



OUTDOOR AREA
429 SF

**CUSTOMER
AREA**
1632 SF

HEALTH DEPT. FINISH SCHEDULE

- BAR**
FLOOR: POLYVINYL FLOORING
WALL: WALL TILE, BACKSPLASH, WITH POLYVINYL BASE
CEILING: GYPSUM CEILING
- CAFE**
FLOOR: X
WALL: X
CEILING: X
- WORKROOM**
FLOOR: POLYVINYL FLOORING
WALL: FRP WITH POLYVINYL BASE
CEILING: ACOUSTICAL CEILING TILE
- RESTROOM**
FLOOR: X
WALL: X
CEILING: X

**PLUMBING FIXTURE OCCUPANT LOAD
CALCULATION (TABLE A - 2022 CPC):**

- INTERIOR OCC.
- SEATING AREA: $461/30 + (384/18) \times 2 + 8 = 35$ OCC
RETAIL AREA: $800/100 = 8$ OCC
BACKBAR: $538/100 = 6$ OCC
WORKROOM: $1091/50 = 22$ OCC
OFFICE: $79/50 = 1$ OCC
WAITING AREA: $205/15 = 14$ OCC
- TOTAL INTERIOR OCC. = **86 OCC**
- EXTERIOR OCC.
- OUTDOOR SEATING AREA: $186/30 = 7$ OCC
- GRAND TOTAL = **93 OCC**

KEYNOTES

- THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
- PROVIDE PANIC AND FIRE EXIT HARDWARE FOR EGRESS DOORS.
- 30" (160 MM) X 48" (1220 MM) CLEAR FOR WHEELCHAIR ACCESS.
- 60" (1525 MM) DIAMETER MINIMUM TURN RADIUS FOR WHEELCHAIR ACCESS.
- 32" (815 MM) MINIMUM CLEAR AT RESTROOM DOOR.
- POS TRANSACTION PLANE, CONDIMENT CART TOP AND HAND-OFF PLANE ARE 34 INCHES (860 MM) ABOVE THE FINISHED FLOOR FOR WHEELCHAIR ACCESSIBILITY.
- PROVIDE BARRIER-FREE SIGNAGE AT ACCESSIBLE RESTROOMS PER ALL APPLICABLE CODES.
- PROVIDE TACTILE "EXIT" SIGNAGE.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN WHERE REQUIRED BY APPLICABLE LAWS OR CODES.
- GC TO POST A SIGN SPECIFYING OCCUPANT LOAD (124 OCC).
- BARRIER-FREE PATH OF TRAVEL
- SEE ENLARGED RESTROOM PLAN AND ELEVATIONS SHEET(S) FOR ADDITIONAL INFORMATION ON ACCESSIBLE RESTROOM CLEARANCES.

OCCUPANCY CALCULATIONS

CAFE: 461 SQ. FT. / 15 SQ. FT. / OCC. + 384/18 ...	61 OCC.
RETAIL : 802 SQ. FT. / 60 SQ. FT. / OCC.	14 OCC.
BACKBAR : 538 SQ. FT. / 200 SQ. FT. /	3 OCC.
WORKROOM: 1091 SQ. FT. / 300 SQ. FT. / OCC.	4 OCC.
OFFICE: 75 SQ. FT. / 100 SQ. FT. / OCC.	1 OCC.
WAITING AREA: 205 SQ. FT. / 5 SQ. FT. / OCC.	41 OCC.
TOTAL OCC. LOAD:	124 OCC.

OCCUPANCY LOAD LEGEND

	RETAIL AREA		WORKROOM
	CAFE SEATING		OFFICE
	BACKBAR		OUTDOOR AREA

LEGEND

- TRAVEL DISTANCE
- EXIT SIGN
- BARRIER FREE PATH OF TRAVEL (MIN 3'-0" (915MM) - NO PINCH POINT)
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- ADA ACCESSIBLE SEATING 36" (915MM) X 48" (1220MM) CLEAR AREA

LIFE SAFETY ACCESSIBILITY PLAN
Scale: 1/4" = 1'-0"



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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



SUBMITTAL OF THE ENTITLEMENTS

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CENTRAL & COLLIER

PROJECT ADDRESS:
**18295 COLLIER AVE, LAKE
ELSINORE, CA 92530**

STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: 12-8-2023
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**LIFE SAFETY AND
ACCESSIBILITY PLAN**
SCALE: AS SHOWN

SHEET NUMBER:
G002

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PLUMBING FIXTURE CALCULATIONS			
CALCULATION PER CPC TABLE 422.1 & TABLE A (OLF) (OUTDOOR SEATING IS INCLUDED IN THE OVERALL OCCUPANT LOAD FOR THIS TABLE) / BOTH RESTROOMS ARE UNISEX			
OCCUPANCY	MALE	FEMALE	TOTAL
	46 OCC.	47 OCC.	93 OCC.
FIXTURES	WATER CLOSETS		URINALS*
	(MALE) 1:1-50 / (FEMALE) 2:26-50		1:1-200
	REQUIRED	1 M 2 F	1 M
	PROVIDED	1 M 2 F	1 M
LAVATORY			
(MALE) 1:1-75 / (FEMALE) 1:1-50			
REQUIRED	1 M	1 M	1 F
PROVIDED	1 M	1 M	1 F

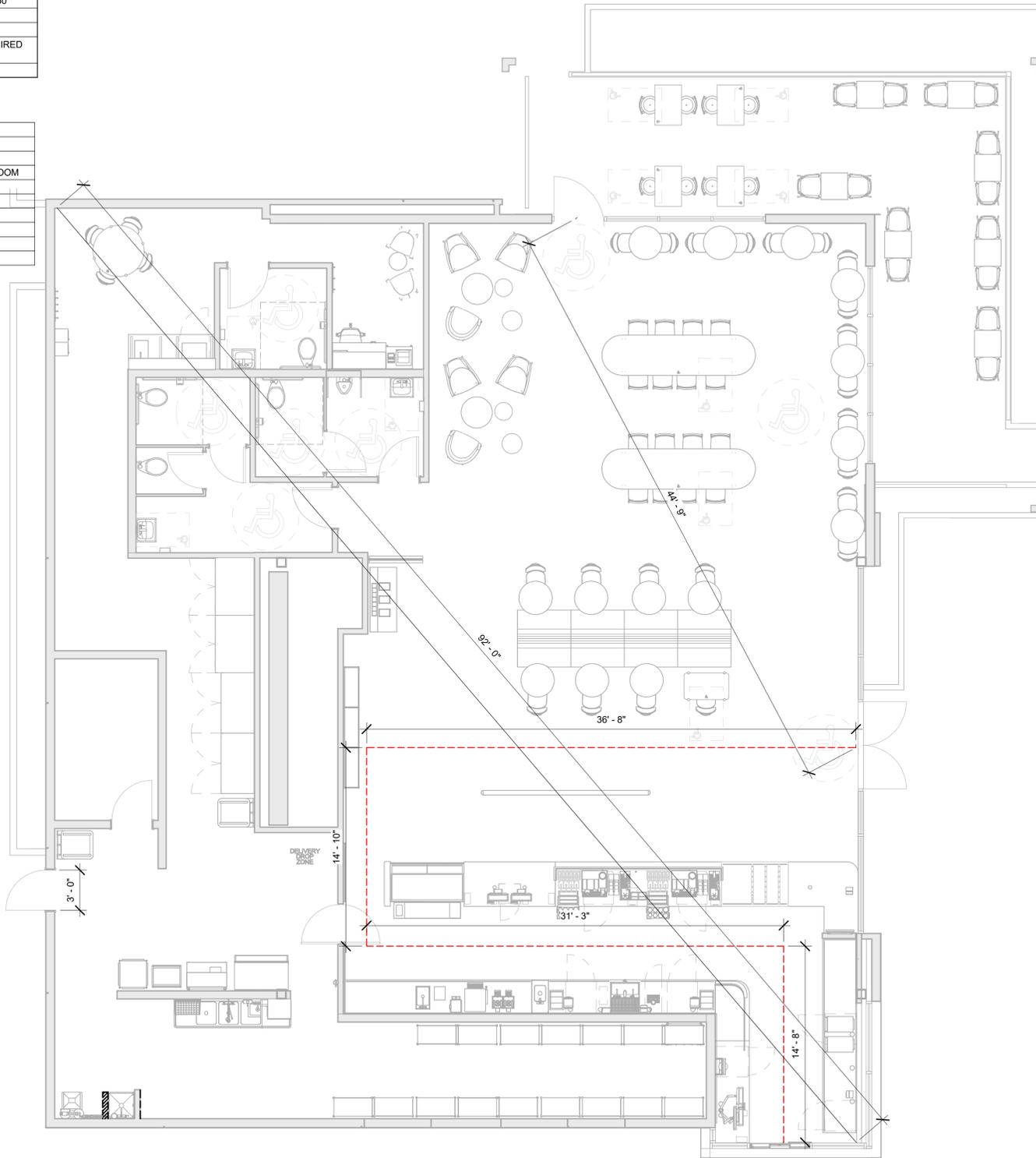
*IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67% OF THE REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES.
 **RETAIL ESTABLISHMENT SERVES WATER UPON REQUEST.

EGRESS CALCULATIONS	
EXIT WIDTH REQUIRED - 124 OCC. x 0.2	= 25 IN.
EXIT WIDTH PROVIDED	= 150 IN.
EXITS	= 78 IN. PRIMARY ENTRY, 36 IN. SECONDARY ENTRY, 36 IN WORKROOM
NUMBER OF EXITS REQUIRED	= 2
NUMBER OF EXITS PROVIDED	= 3
MAXIMUM ALLOWABLE TRAVEL DISTANCE	= 250' - 0"
MAXIMUM TRAVEL DISTANCE PROVIDED	= 97' - 5"
MINIMUM EXIT SEPARATION	= 92' - 0" (MAXIMUM DIAGONAL) / 3 = 30' - 8"
EXIT SEPARATION PROVIDED	= 44' - 9"

INDOOR SEATING CALCULATIONS			
DESCRIPTION	NUMBER OF ITEMS	SEATS	PER ITEM
COMMUNITY TABLE	2	16 SEATS	8
TABLE TOP, ROUND	7	14 SEATS	2
TABLE TOPS AT BANQUETTE	7	14 SEATS	2
ADA TABLE TOPS AT BANQUETTE	1	1 SEAT	1
LOUNGE SEATING	2	6 SEATS	3
TOTAL ACCESSIBLE SEATS (≥ 5%)			3
TOTAL			16

OUTDOOR SEATING CALCULATIONS			
DESCRIPTION	NUMBER OF ITEMS	SEATS	PER ITEM
TABLE TOP, SQUARE	7	14 SEATS	2
ADA TABLE TOP	4	8 SEATS	2
TOTAL ACCESSIBLE SEATS (≥ 5%)			4
TOTAL			22

ROOM SCHEDULE	
NAME	AREA
ELECTRICAL ROOM	94 SF
WORKROOM	1090 SF
MANAGER'S DESK	74 SF
PARTNER RR	61 SF
FEMALE RR	143 SF
MALE RR	94 SF
BACKBAR	538 SF
WAITING AREA	205 SF
BANQUETTE SEATING AREA	215 SF
CAFE SEATING AREA (2)	180 SF
CAFE SEATING AREA (1)	165 SF
CAFE SEATING AREA (3)	116 SF
RETAIL	800 SF
VESTIBULE	37 SF
GRAND TOTAL	3811 SF



HEALTH DEPT. PLAN NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR APPROVED CONTRACTOR, CONTACT THE VENDOR.
- B. THE SPACE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- D. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS
- E. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- F. EACH HAND WASHING WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- G. REFERENCE INTERIOR SCHEDULE SHEETS (600 SERIES) FOR ADDITIONAL INFORMATION.
- H. PROVIDE SNEEZE GUARDS WHERE REQUIRED BY JURISDICTION.
- I. ALL FOOD STORAGE AND DISPLAY SHELVING SHALL BE A MINIMUM 6" (150MM) ABOVE FINISH FLOOR.

MEANS OF EGRESS NOTES

- A. EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT. (1004.9)
- B. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1016.2)
- C. PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1010.1.10):
 - 1) THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - 2) THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - 3) PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - 4) PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - 5) FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
- D. STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMPS ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL. (1003.3.3)
- E. THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1013 AND AS NOTED BELOW:
 - 1) EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 - 2) EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
 - 3) NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- F. WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (1010.1.9.4)
- G. EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1010.1.9)
- H. LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (1120 MM). (1010.1.5, 1010.1.6)



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UDA
 URBAN DWELL ARCHITECTS
 ADDRESS: 43180 BUSINESS PARK DR.
 SUITE: 203
 TEMECULA, CA92590
 (714)331-6114
 PHONE:
 EMAIL: info@urbandwellarchitects.com



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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
LIFE SAFETY AND ACCESSIBILITY PLAN
 SCALE: AS SHOWN

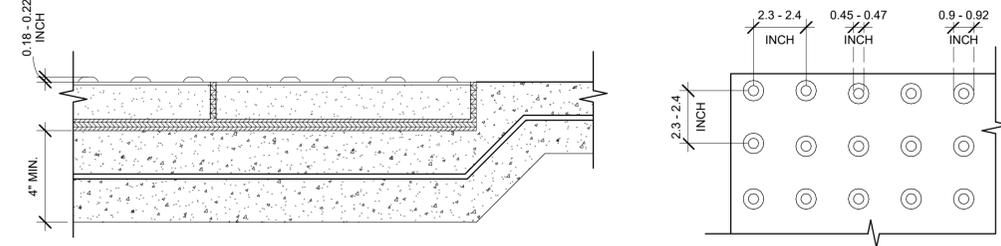
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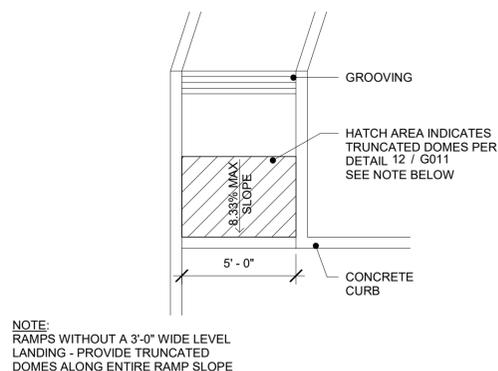
SIGNAGE & SITE WORK TO BE COMPLETED UNDER SEPARATE PERMIT.

INFORMATION IS PROVIDED FOR REFERENCE AND COORDINATION PURPOSES.

NOTE:
1. PRE-CAST PAVE COLOR SHALL CONTRAST ADJACENT PAVING 70% MIN - SUBMIT SAMPLE FOR FINAL APPROVAL PRIOR TO INSTALLATION
2. DETECTABLE TRUNCATED DOMES SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP

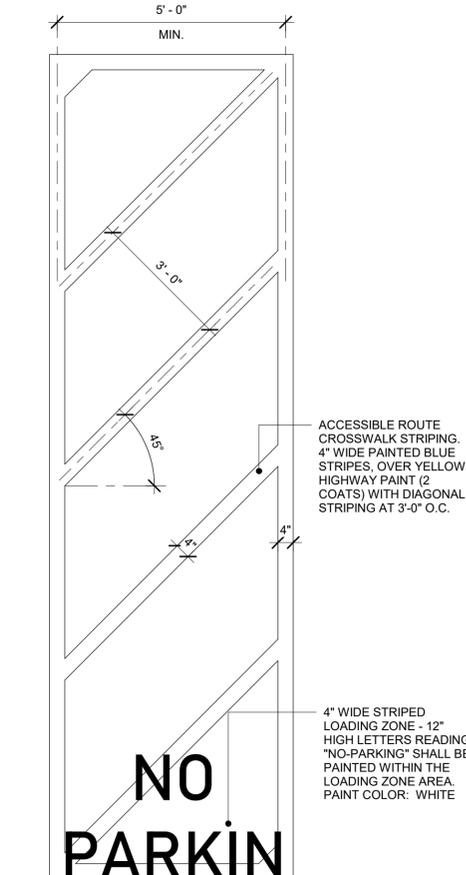


DETECTABLE WARNING SURFACE
Scale: 3" = 1'-0"

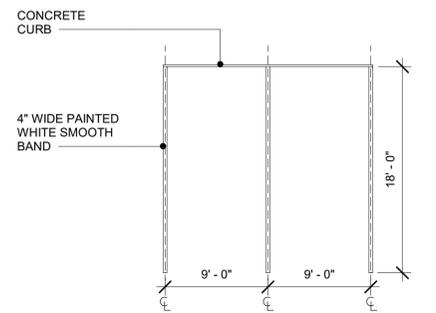


NOTE:
RAMPS WITHOUT A 3'-0" WIDE LEVEL LANDING - PROVIDE TRUNCATED DOMES ALONG ENTIRE RAMP SLOPE

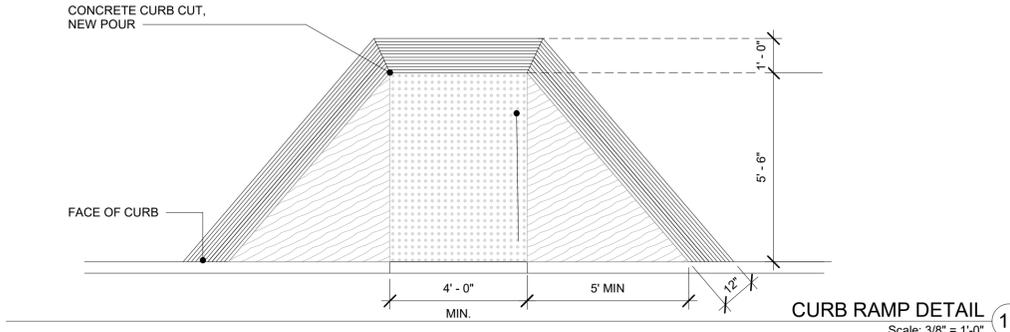
CURB RAMP
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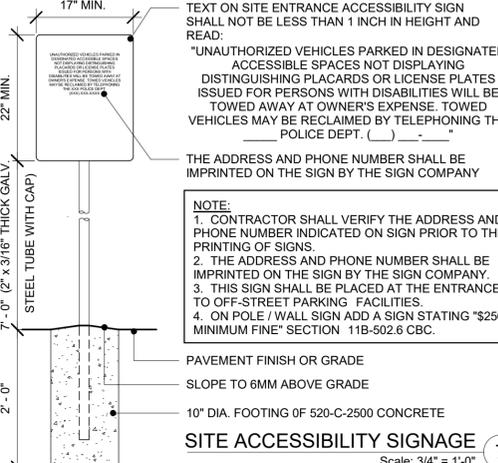
ACCESSIBLE ACCESS AISLE
Scale: 1/2" = 1'-0"



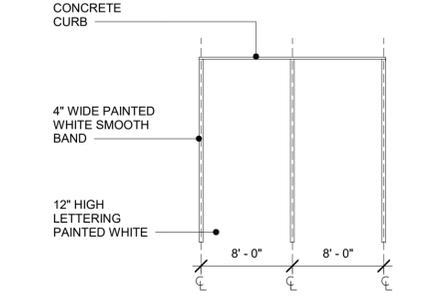
STANDARD SIZE PARKING STALL DETAIL
Scale: 1/8" = 1'-0"



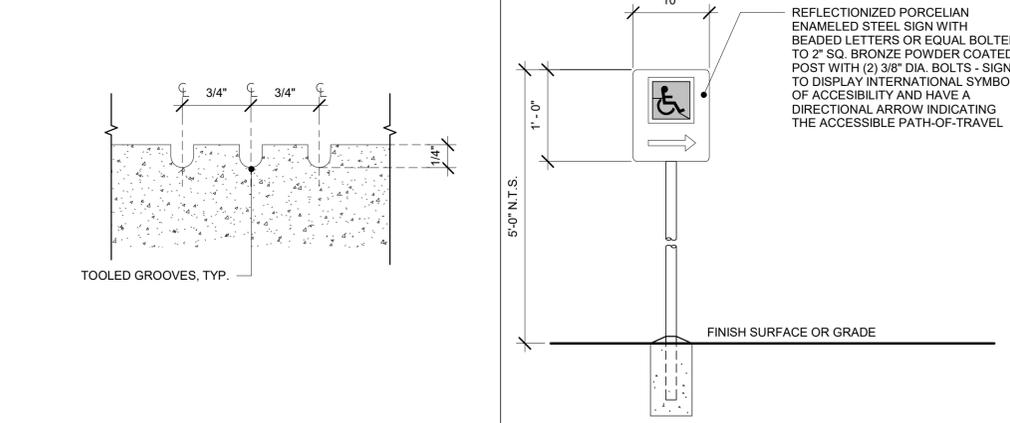
CURB RAMP DETAIL
Scale: 3/8" = 1'-0"



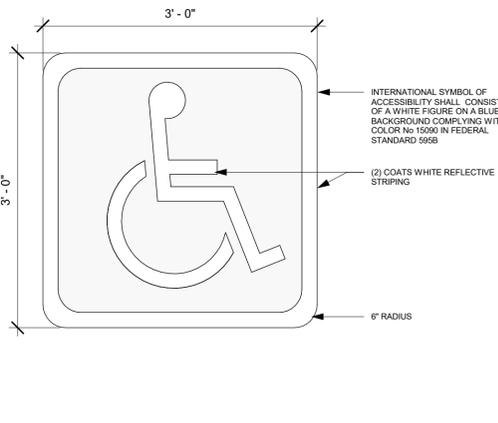
SITE ACCESSIBILITY SIGNAGE
Scale: 3/4" = 1'-0"



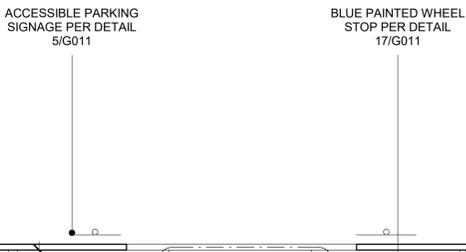
COMPACT SIZE PARKING STALL
Scale: 1/8" = 1'-0"



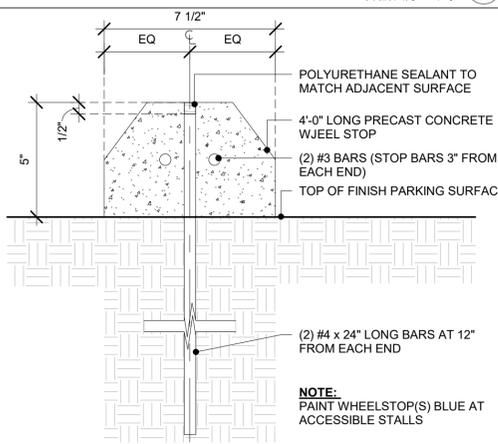
ACCESSIBLE PATH SIGN
Scale: 1" = 1'-0"



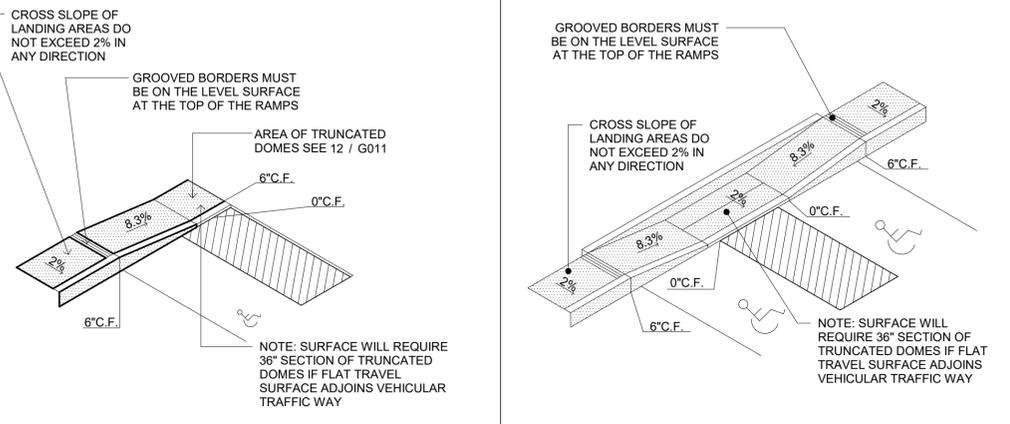
INTERNATIONAL SYMBOL OF ACCESSIBILITY
Scale: 1" = 1'-0"



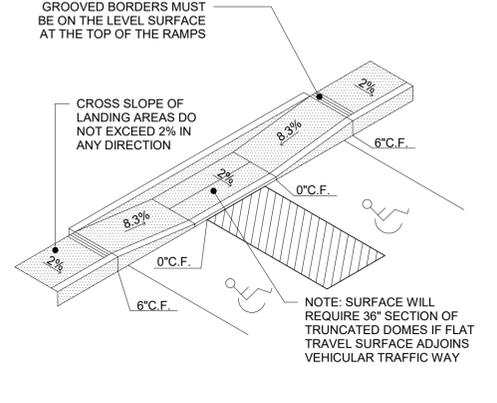
ACCESSIBLE PARKING SIGNAGE PER DETAIL 5/6011



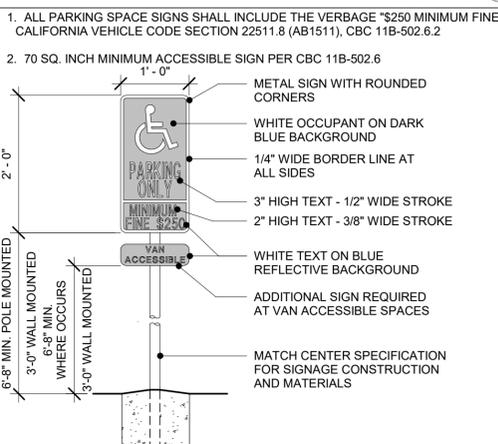
CONCRETE WHEELSTOP DETAIL
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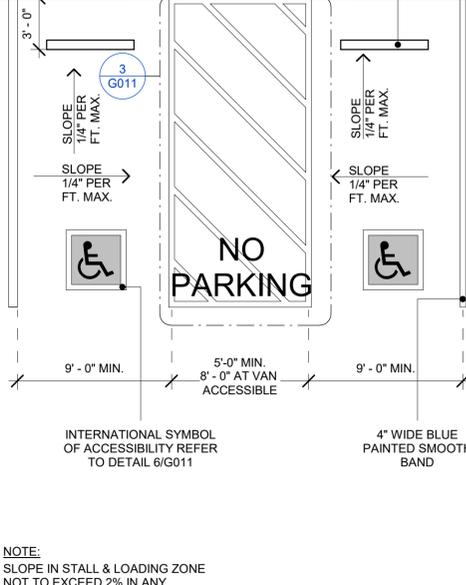
CURB RAMP DETAIL
Scale: 1/8" = 1'-0"



CURB RAMP DETAIL
Scale: 1/8" = 1'-0"



ACCESSIBLE PARKING SIGN
Scale: 3/4" = 1'-0"



ACCESSIBLE PARKING
Scale: 3/16" = 1'-0"



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URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
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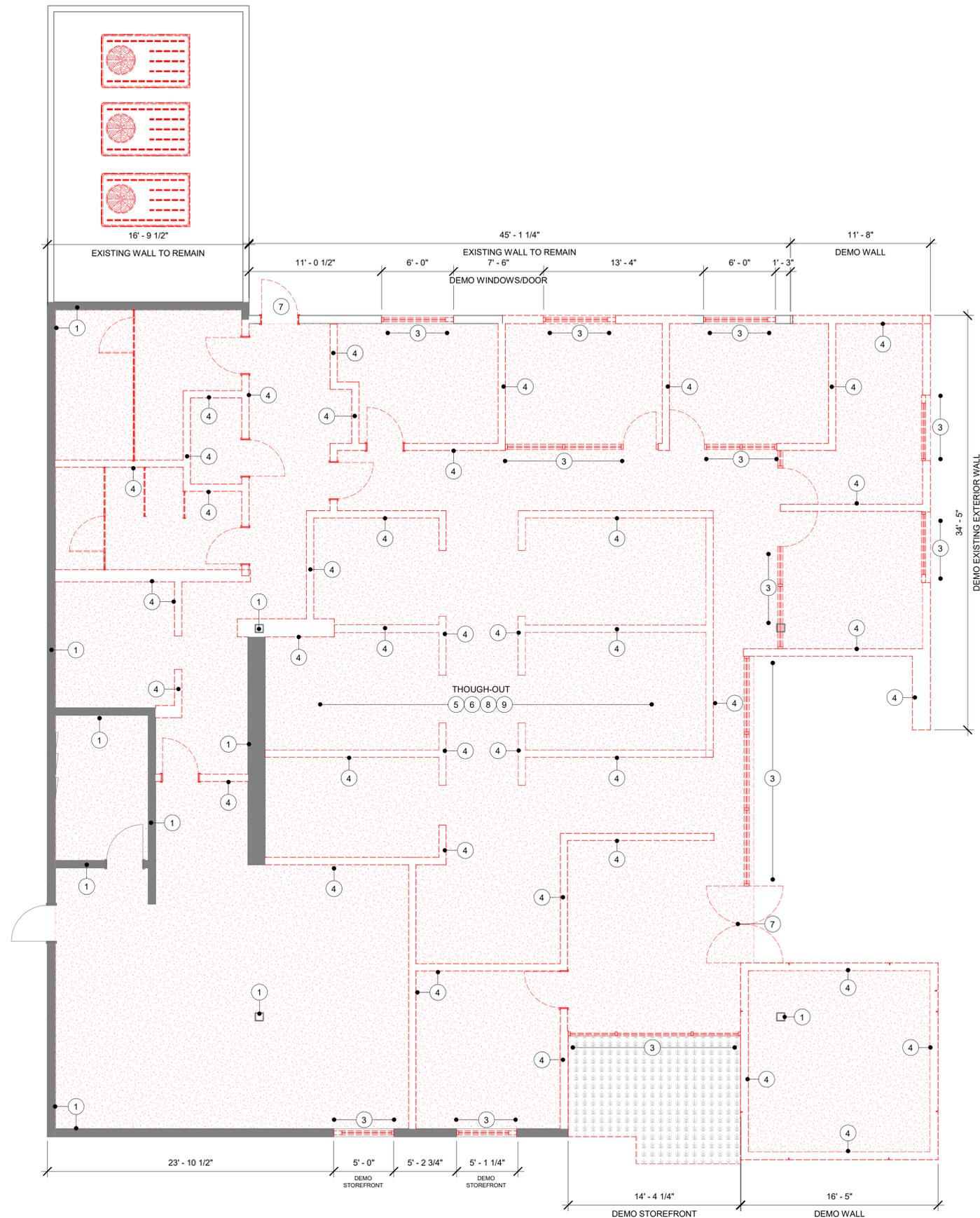
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G011

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DEMOLITION PLAN 1
Scale: 3/16" = 1'-0" 1 0 8' 16' 32'
Scale: 1/16" = 1'-0"

GENERAL NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF EXISTING CONDITIONS DEVIATE FROM CONSTRUCTION DOCUMENTS.
- C. REMOVE EXISTING INTERIOR WALL FINISH AS SHOWN PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, (I.E. PIECES OF WALL COVERING OR BACKING). REMOVAL OF ALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
- D. REMOVE EXISTING FLOORING AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVAL OF EXISTING FLOORING INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF EXISTING CERAMIC TILE, CARPET OR VINYL TILE FLOORING AND ASSOCIATED WALL BASE. SUBFLOOR TO BE STRIPPED OF ALL COVERING/FINISH AND CLEANED TO REMOVE EXISTING ADHESIVE, GROUT, MORTAR, DIRT AND COATINGS. FINAL SURFACE TO BE STREAK-FREE WITH NO MACHINE MARKS AND/OR SMOOTH, STABLE AND LEVEL. PROVIDE LEVELING WHERE NECESSARY TO ACCOMMODATE NEW FINISHES.
- E. DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS ETC. PRIOR TO DEMOLITION, FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- F. DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, DATA OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- G. VERIFY WITH STARBUCKS CONSTRUCTION MANAGER ACCESS TO THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- H. PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- I. CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- J. THE GENERAL CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILINGS, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
- K. ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- L. AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE.
- M. REFER TO "ITEMS TO BE PRESERVED" LIST FOR ITEMS THAT SHALL BE SALVAGED FOR RELOCATION. VERIFY WITH OWNER FOR ON SITE STORAGE LOCATION OF SALVAGED ITEMS.
- N. DAMAGED FIREPROOFING SHALL BE REPAIRED/ REPLACED TO MATCH EXISTING.
- O. THE GENERAL CONTRACTOR SHALL DEMOLISH ANY EXISTING ABANDONED VOICE/DATA CABLING AND DEAD OR NON-USE ELECTRICAL BACK TO PANEL. ALL RECEPABLES NOT REUSED ARE TO BE REMOVED, PATCHED AND PAINTED.
- P. REMOVAL OF LOW VOLTAGE EQUIPMENT, PERTAINING TO DATA COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED BY THE STARBUCKS CONSTRUCTION MANAGER PRIOR TO REMOVAL. SALVAGED EQUIPMENT SHALL BE STORED IN A CLIMATE CONTROLLED ENVIRONMENT FOR FUTURE INSTALLATION.
- Q. LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
- R. REMOVE EXISTING PLUMBING FIXTURES AND HVAC EQUIPMENT AS NECESSARY. CAP LINES AND TERMINATE DUCTS AS NECESSARY FOR THOSE NOT BEING RE-USED.

KEYNOTES

- 1 EXISTING WALL AND COLUMNS TO REMAIN
- 2 EXISITING EXTERIOR STOREFRONT, DOOR AND WINDOWS TO REMAIN
- 3 REMOVE EXISTING STOREFRONT AND ASSOCIATED FASTENERS.
- 4 REMOVE INTERIOR/EXTERIOR WALLS AS SHOWN.
- 5 REMOVE EXISTING RESTROOMS FIXTURES AND CAP PLUMBING.
- 6 REMOVE EXISTING FIXTURES, FLOOR AND WALL FINISHES
- 7 REMOVE EXISTING DOORS.
- 8 EXISTING FLOOR TO REMAIN
- 9 REMOVE EXISTING FLOORING AS INDICATED. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.



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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



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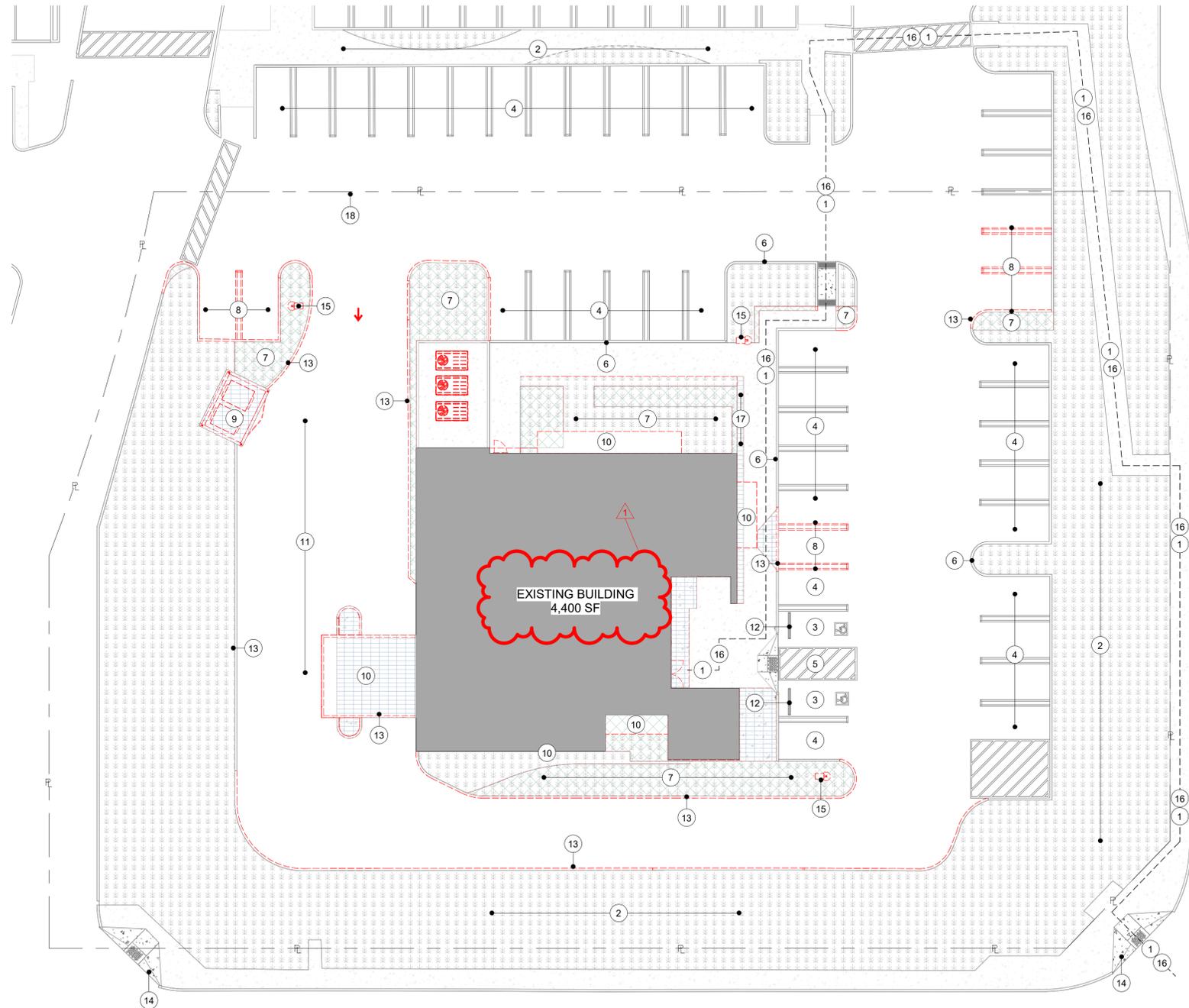
PROJECT ADDRESS:
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STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: <xx-xx-xxxx>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**DEMOLITION FLOOR
PLAN**
SCALE: AS SHOWN

SHEET NUMBER:
D101



DEMO SITE PLAN
 Scale: 1/16" = 1'-0"

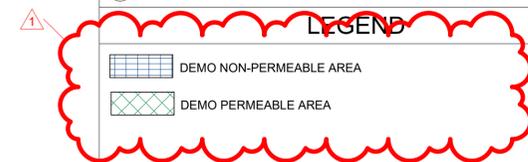


GENERAL NOTES

- A. REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- C. DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. PROVIDE 6" (150MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE, EXTENT TO INCLUDE DRIVE-THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- E. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- F. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- G. PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- H. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- I. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- J. SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- K. SEE SHEET A002 FOR ARCHITECTURAL SITE DETAILS.

KEYNOTES

- 1 (E) PUBLIC RIGHT OF WAY.
- 2 PRESERVE (E) LANDSCAPE PORTION, VERIFY DIMENSIONS IN FIELD.
- 3 (E) ACCESSIBLE PARKING STALL TO REMAIN
- 4 (E) PARKING STALL, TYP. TO REMAIN
- 5 (E) ACCESSIBLE STRIPING TO REMAIN
- 6 (E) 6" CONCRETE CURB, TYPICAL TO REMAIN
- 7 DEMO (E) LANDSCAPE AREA, INFILL AND PREPARE SURFACE TO MATCH EXISTING SLOPE AND MATCH ADJACENT FINISH PER NEW WORK.
- 8 DEMO (E) PARKING STALL, AND RESTRIIP PER NEW WORK, SEE SHEET A001 FOR NEW CALCULATIONS.
- 9 DEMO (E) TRASH ENCLOSURE IN ITS ENTIRETY. PATCH AND REPAIR ASPHALT AS NEEDED PER NEW WORK.
- 10 DEMO (E) CANOPY.
- 11 PREPARE SURFACE TO RECEIVE NEW DT LANE CONCRETE PER NEW WORK.
- 12 (E) WHEEL STOPS TO REMAIN.
- 13 DEMO (E) CURB
- 14 (E) DETECTABLE WARNING
- 15 DEMO (E) LIGHT POLE.
- 16 (E) ACCESSIBLE PATH OF TRAVEL FOR PUBLIC RIGHT WAY.
- 17 DEMO (E) SIDEWALK
- 18 PROPERTY LINE



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UDA
 URBAN DWELL ARCHITECTS
 ADDRESS: 43180 BUSINESS PARK DR.
 SUITE: 203
 TEMECULA, CA92590
 (714)331-6114
 PHONE:
 EMAIL: info@urbandwellarchitects.com



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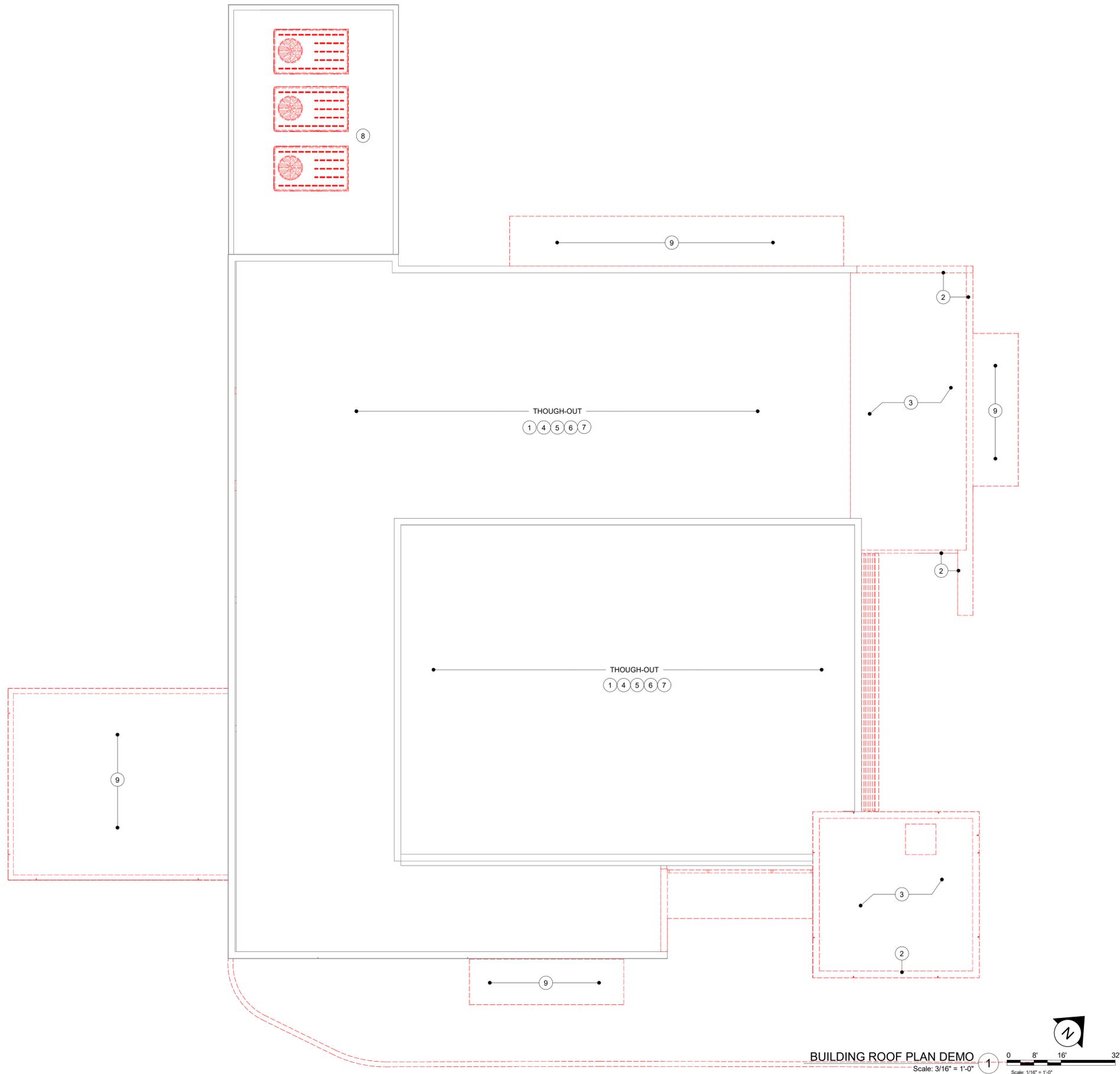
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 DESIGN MANAGER: STUDIO-X
 PRODUCTION DESIGNER: NADA BALIGH
 CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description
1	05/31/23	MV	Planning Revision

SHEET TITLE:
DEMOLITION SITE PLAN

SCALE: AS SHOWN

SHEET NUMBER:
D102



BUILDING ROOF PLAN DEMO
 Scale: 3/16" = 1'-0"
 Scale: 1/16" = 1'-0"

GENERAL NOTES

- A. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- B. IN FREEZE THAW CLIMATES ONLY: INSTALL SELF-REGULATING HEAT TAPE IN ALL DOWNSPOUTS. SEE ELECTRICAL FOR FURTHER INFORMATION.
- C. ROOF TOP PLUMBING VENTS ARE NOT SHOWN FOR CLARITY. REFER TO PLUMBING DRAWINGS FOR VTR LOCATIONS AND FURTHER INFORMATION.
- D. ALL OF ROOF PENETRATIONS, STRUCTURE AND FIXTURES ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

KEYNOTES

- 1 KEEP (E) MEMBRANE AND SLOPES. PATCH AND REPAIR IF NEEDED.
- 2 DEMO (E) PARAPET WALL IN ITS ENTIRETY.
- 3 DEMO (E) ROOF CRICKETS. SEE SHEET A104 FOR MORE INFO.
- 4 REMOVE ALL (E) ABANDONED ROOF TOP EQUIPMENT.
- 5 DEMO (E) TOP CAP AND FLASHING (TYP.). PREPARE SUBSTRATE TO RECEIVE NEW CAP PER NEW WORK.
- 6 (E) ROOF SLOPE DIRECTION TO REMAIN.
- 7 DEMO (E) RESTROOM EXHAUST FAN . PATCH AND REPAIR AS NEEDED.
- 8 DEMO (E) RTU.
- 9 DEMO (E) CANOPY.

LEGEND

- EXISTING ITEM TO BE DEMOLISHED
- EXISTING ITEM TO REMAIN
- PARAPETS TO BE DEMOLISHED - REFER TO KEYNOTES



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URBAN DWELL ARCHITECTS
 ADDRESS: 43180 BUSINESS PARK DR.
 SUITE: 203
 TEMECULA, CA92590
 (714)331-6114
 PHONE:
 EMAIL: info@urbandwellarchitects.com



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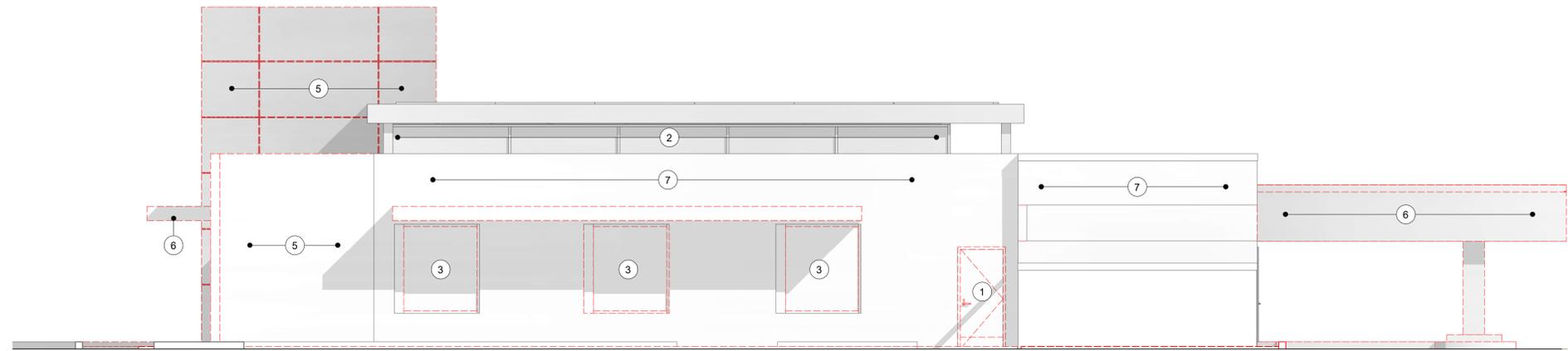
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Revision Schedule			
Rev	Date	By	Description

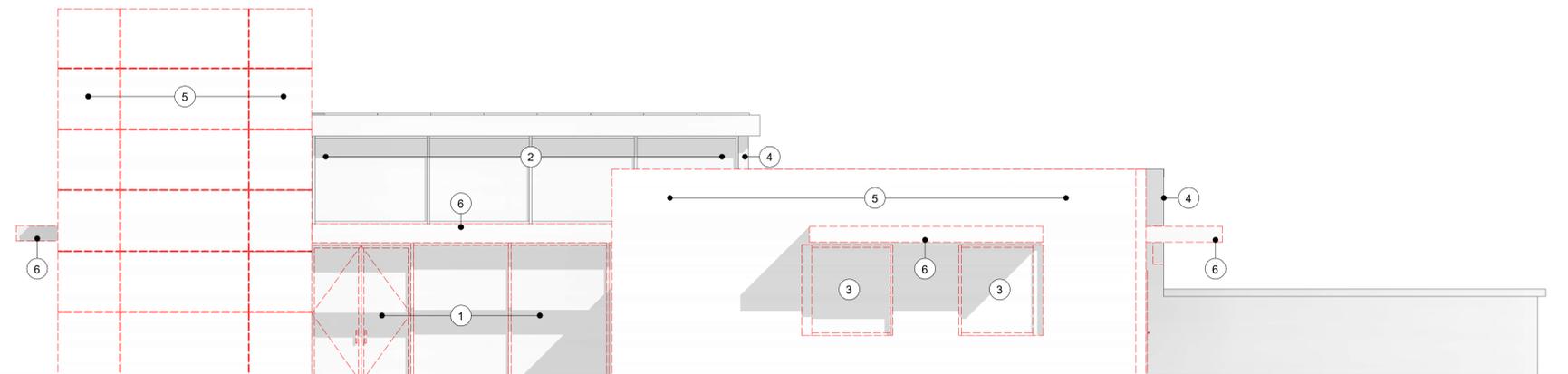
SHEET TITLE:
DEMOLITION ROOF PLAN
 SCALE: AS SHOWN

SHEET NUMBER:
D103

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DEMO ELEV 1
Scale: 3/16" = 1'-0" ①



DEMO ELEV 2
Scale: 3/16" = 1'-0" ②

GENERAL NOTES

1. THE INTENT OF THE DEMO. DRAWINGS SHOWN WITH DASHED LINES INDICATED IS TO REMOVE THE PORTIONS OF EXISTING BLDG. WALLS, SLABS, AND RELATED ITEMS IN THE WAY OF NEW WORK. SEE STRUCT., PLUMB., MECH., AND ELECT. FOR FURTHER INFO., AND COORD. EXTENT OF DEMO WORK WITH THOSE DWG'S.
2. THE SURROUNDING TENANT SPACES OUTSIDE THE WORK AREA WILL REMAIN OCCUPIED DURING DEMOLITION AND CONSTRUCTION. THE G.C. WILL PHASE THE WORK AS REQ'D TO MINIMIZE DISRUPTION TO TENANTS AND CUSTOMERS, INCLUDING MAINTAINING TEMP. UTILITY SERVICES, AS NEEDED. PREPARE A PHASING PLAN FOR APPROVAL BY THE OWNER.
3. ANY STRUCTURAL REMOVAL AND CONDITIONS NOT NOTED AND DISCOVERED DURING DEMOLITION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
4. PROTECT IN PLACE ALL NON-DEMO SITE RELATED CONDITIONS AND ITEMS TO REMAIN OR RELOCATE. G.C. TO COORDINATE AND VERIFY IN FIELD.

KEYNOTES

- ① DEMO (E) EXTERIOR STOREFRONT AND/OR EXIT DOOR.
- ② (E) EXTERIOR STOREFRONT TO REMAIN.
- ③ DEMO (E) WINDOW.
- ④ (E) EXTERIOR WALL AND/OR PARAPET ABOVE TO REMAIN AS INDICATED. PREPARE SURFACE TO RECEIVE NEW FINISH.
- ⑤ DEMO (E) WALL AND/OR PARAPET ABOVE IN ITS ENTIRETY AS INDICATED.
- ⑥ DEMO (E) CANOPY.
- ⑦ PARTIALLY DEMO EXTERIOR WALLS AND/OR PARAPETS ABOVE AS INDICATED. PREPARE SURFACE OF PRESERVED PORTION TO RECEIVE NEW FINISH.

LEGEND

- ITEM TO BE DEMOLISHED
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

SIGNAGE NOT A PART OF THIS PERMIT.

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URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



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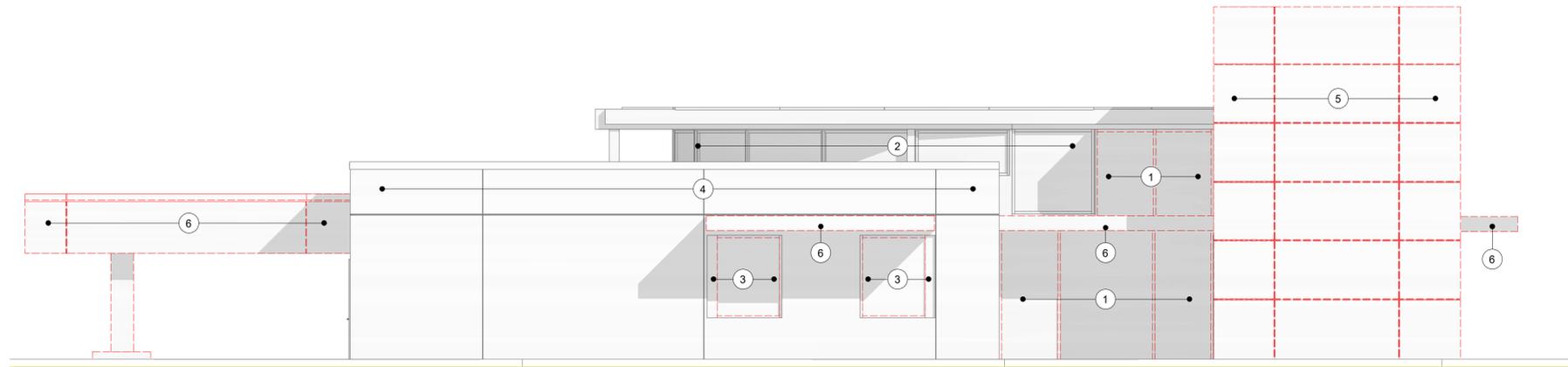
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PROJECT #: 34376-072
ISSUE DATE: <xx-xx-xxxx>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
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Revision Schedule			
Rev	Date	By	Description

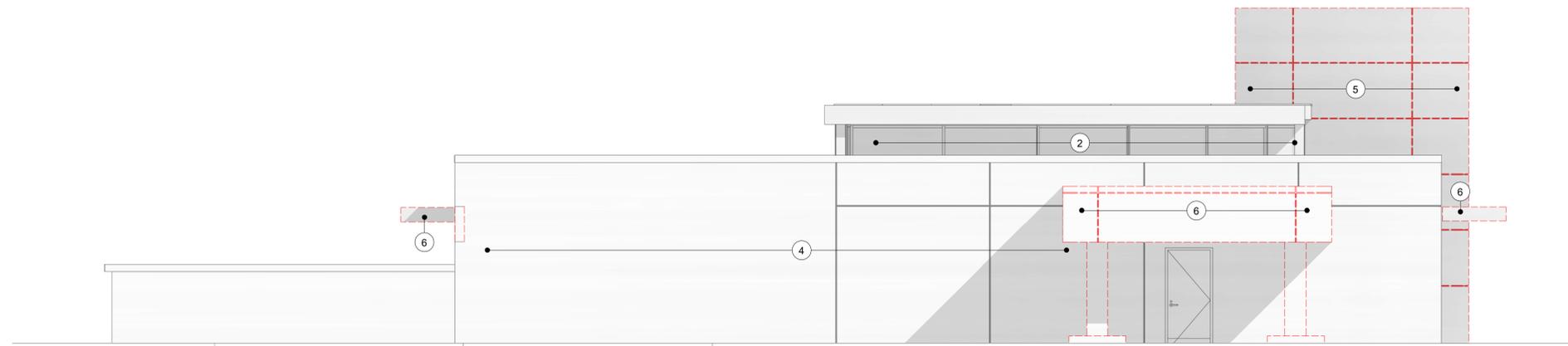
SHEET TITLE:
**DEMOLITION EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
D104

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DEMO ELEV 3 ①
Scale: 3/16" = 1'-0"



DEMO ELEV 4 ②
Scale: 3/16" = 1'-0"

GENERAL NOTES

1. THE INTENT OF THE DEMO. DRAWINGS SHOWN WITH DASHED LINES INDICATED IS TO REMOVE THE PORTIONS OF EXISTING BLDG. WALLS, SLABS, AND RELATED ITEMS IN THE WAY OF NEW WORK. SEE STRUCT., PLUMB., MECH., AND ELECT. FOR FURTHER INFO., AND COORD. EXTENT OF DEMO WORK WITH THOSE DWG'S.
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3. ANY STRUCTURAL REMOVAL AND CONDITIONS NOT NOTED AND DISCOVERED DURING DEMOLITION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
4. PROTECT IN PLACE ALL NON-DEMO SITE RELATED CONDITIONS AND ITEMS TO REMAIN OR RELOCATE. G.C. TO COORDINATE AND VERIFY IN FIELD.

KEYNOTES

- ① DEMO (E) EXTERIOR STOREFRONT AND/OR EXIT DOOR.
- ② (E) EXTERIOR STOREFRONT TO REMAIN.
- ③ DEMO (E) WINDOW.
- ④ (E) EXTERIOR WALL AND/OR PARAPET ABOVE TO REMAIN AS INDICATED, PREPARE SURFACE TO RECEIVE NEW FINISH.
- ⑤ DEMO (E) WALL AND/OR PARAPET ABOVE IN ITS ENTIRETY AS INDICATED.
- ⑥ DEMO (E) CANOPY.

LEGEND

- ITEM TO BE DEMOLISHED
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

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URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



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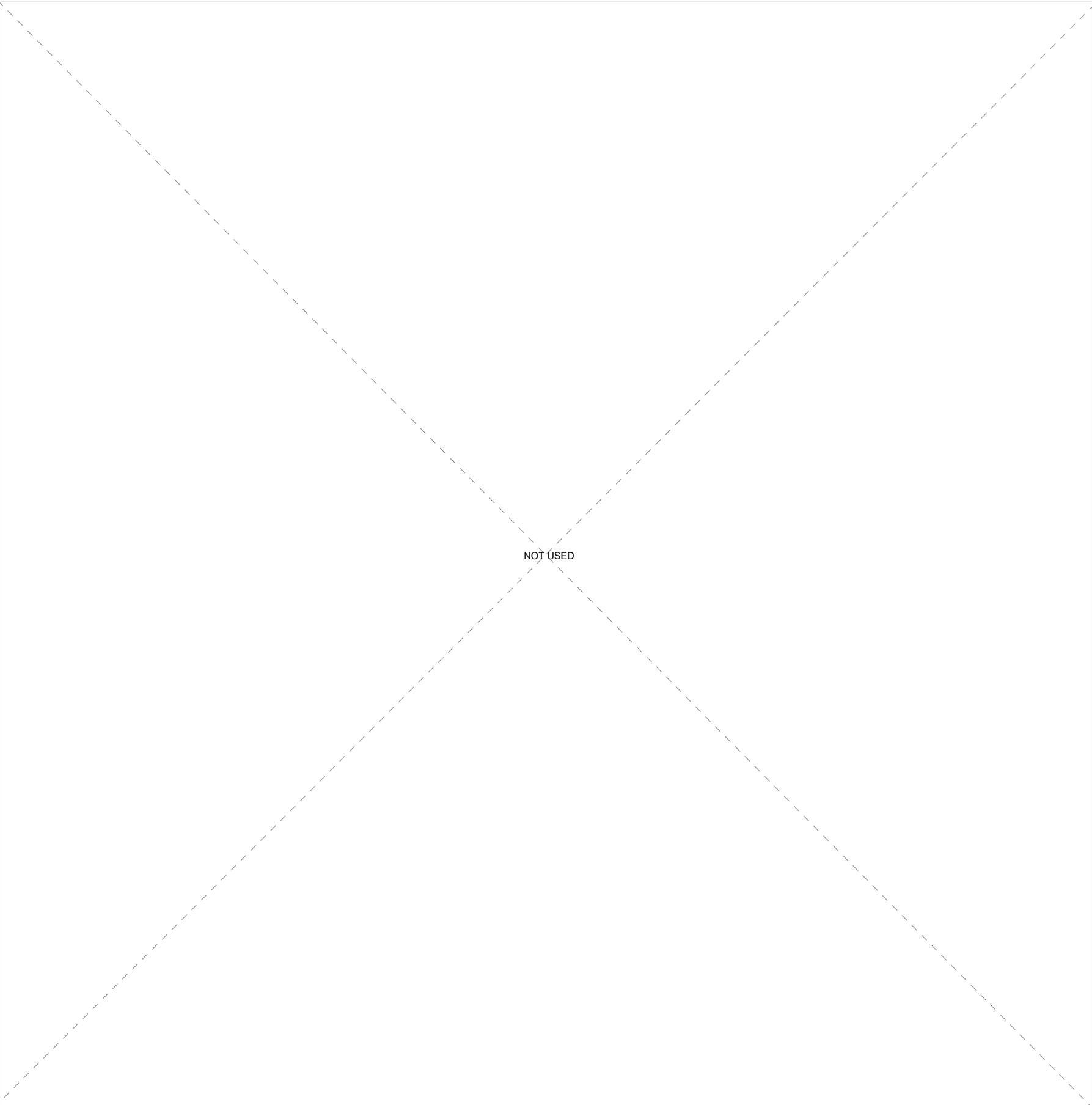
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PRODUCTION DESIGNER: NADA BALIGH
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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**DEMOLITION EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
D104A

PLANTING PALLETTE:



NOT USED

EVERGREEN TREES :



PINUS CANARIENSIS
 SIZE RANGE: 50'-80' HT X 20'-35' SPR

DECIDIOUS TREES :



CALLERY PEAR (PYRUS CALLERYANA)
 SIZE RANGE: 25'-35' HT X 8'-12' SPR



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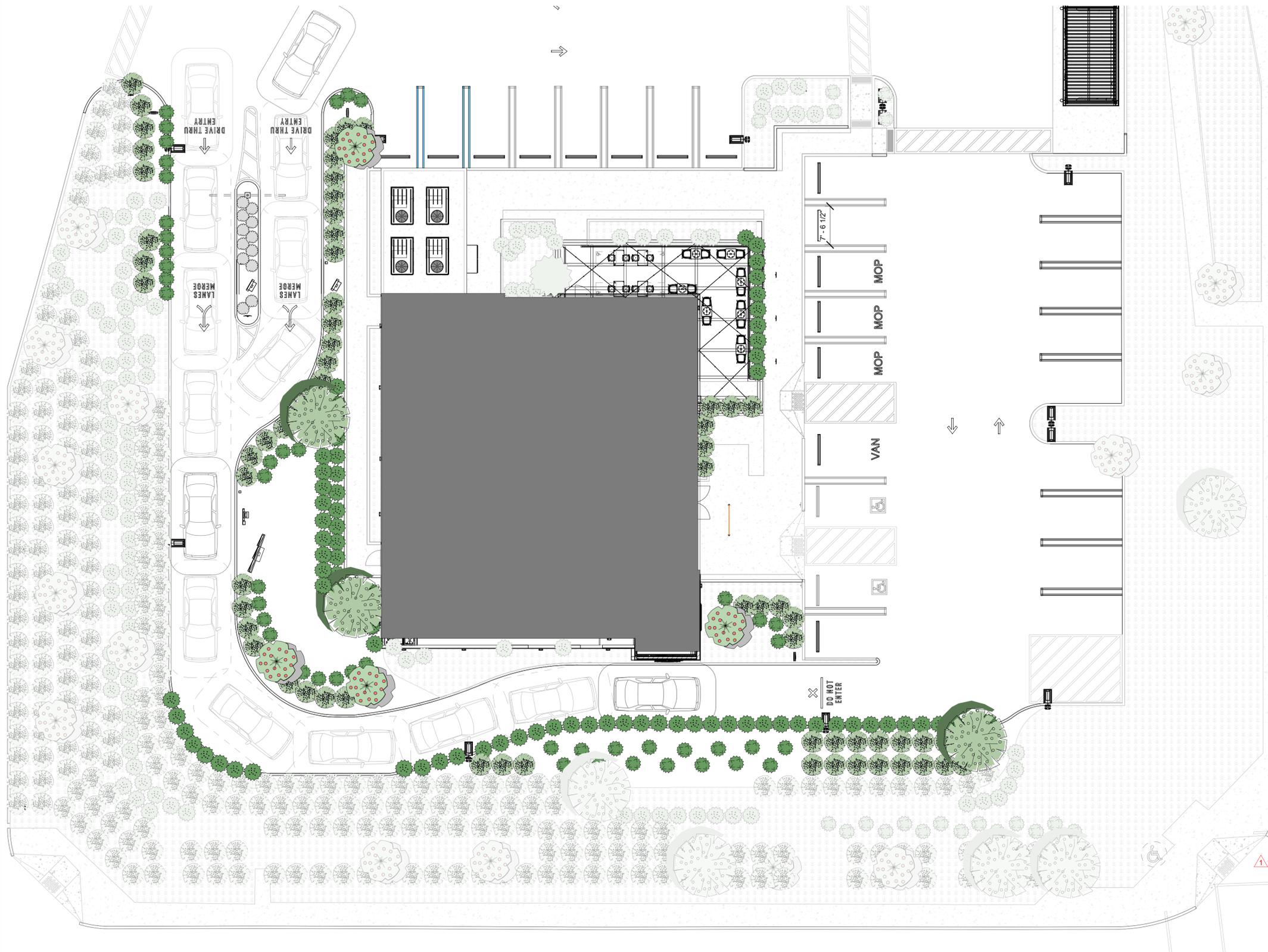
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
LANDSCAPE PALLETTE

SCALE: AS SHOWN

SHEET NUMBER:
L001

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LANDSCAPE PLAN NOTES

1. SHRUB LAYOUT AS SHOWN ON PLANS INDICATES "SHRUB MASSES" AND INDIVIDUAL LOCATIONS. QUANTITIES ARE AS SHOWN ON PLAN, ON-CENTER, SPACING AS SHOWN ON LEGEND. CONTRACTOR TO VERIFY QUANTITIES BASED ON SPACING AND ADD ADDITIONAL PLANT MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) REQUIRED TO MAINTAIN DESIGN INTENT DUE TO EXISTING SITE CONDITIONS NOT ANTICIPATED DURING DESIGN. LAYOUT/SPACING WILL EITHER BE TRIANGULAR OR LINEAR AS SHOWN ON PLAN OR LEGEND. LANDSCAPE ARCHITECT TO APPROVE FINAL LAYOUT IN FIELD PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS.
3. CONTRACTOR SHALL BE LIABLE FOR REMOVING AND RE-INSTALLING IRRIGATION EQUIPMENT, AND REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS.
4. REFER TO PLANTING SPECIFICATIONS FOR INSPECTION/CERTIFICATION SCHEDULE.
5. IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO INSTALLATION OF PLANT MATERIAL.
6. TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE IRRIGATION COVERAGE TEST NO. 1 HAS BEEN APPROVED. (SEE SPECIFICATIONS).
7. THE RECOMMENDATIONS OF THE SOIL REPORT SHALL SUPERCEDE THE SOIL PREPARATION AND BACKFILL MIX SPECIFICATIONS (SEE SPECIFICATIONS). THE CONTRACTOR SHALL SUBMIT A COPY OF ALL SOILS REPORTS TO THE LANDSCAPE ARCHITECT PRIOR TO THE MODIFICATION OF THESE SPECIFICATIONS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF ANY DAMAGED LANDSCAPE AREAS BEYOND THE LIMIT OF WORK, INCLUDING REPAIRING ANY IRRIGATION LINES/ SPRINKLER HEADS, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR. REPLACEMENT ITEMS SHALL BE EXACT DUPLICATION OF ORIGINAL WORK OR PLANTS, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
9. WHEREVER GROUND COVER AREAS ARE ADJACENT TO TURF, INSTALL CONCRETE MOWSTRIP OR HEADBOARD AS INDICATED ON DRAWINGS.
10. CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRADES AND FLOW LINES AS SHOWN ON THE GRADING PLAN.
12. ALL TREES LOCATED WITHIN 6' FROM ANY HARDSCAPE TO RECEIVE DEEPROOT BARRIERS. EXTEND BARRIERS 5' EACH DIRECTION FROM CENTER OF TRUNK PER DETAIL B, SHEET L-0005.
13. CONTRACTOR TO EXPOSE ALL STREET TREE PITS PRIOR TO CONCRETE WORK OR PLANTING, IN ORDER TO EXPOSE POTENTIAL CONFLICTS W/ ANY EXISTING UTILITIES. IF PITS ARE GOING TO STAY EXPOSED OVER NIGHT, THEY MUST BE COVERED WITH PLYWOOD AND TAPED-OFF WITH A HIGH VISIBILITY TAPE.
14. ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING FOR SIZE, COLOR AND HEALTH.
15. QUANTITIES ARE GIVEN FOR ESTIMATING PURPOSES ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING MATERIAL IN ALL AREAS AS DESIGNATED ON PLAN AT THE ON-CENTER SPACING NOTED IN THE LEGEND.
16. PROVIDE 3" LAYER OF MULCH (MIN.) IN SHRUB BEDS AND UNPLANTED AREAS. 2" LAYER OF MULCH IN GROUND COVER AREAS. 3" LAYER OF SHREDDED, STABILIZING MULCH FOR SLOPES.

SCOPE OF WORK

- NEW LANDSCAPE INFILL AREAS, PRESERVE EXISTING TREES, SHRUBS AND BUSHES AS INDICATED ON L101.
- EXISTING IRRIGATION INFRASTRUCTURE TO REMAIN.
- EXTEND (E) IRRIGATION TO COVER NEW PROPOSED PLANTS.

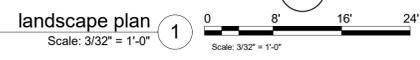
PLANT SCHEDULE

TREES	QTY	COMMON NAME/ BOTANICAL NAME
	3	PALO VERDE (PARKINSONIA SPP.)
	2	SOUTHERN MAGNOLIA (MAGNOLIA GRANDIFLORA)

SHRUBS	QTY	COMMON NAME/ BOTANICAL NAME
	48	BASKET GRASS
	65	SHRUBBY TORORARO
	12	LANTANA MONTEVIDENSIS
	84	PRIVET

HARDSCAPE SCHEDULE

TILE	DESCRIPTION
	(N) ORCO PAVER PER NEW WORK
	(N) CONCRETE DRIVE THRU PER NEW WORK
	VISIBILITY TRIANGLE



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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR. SUITE 203 TEMECULA, CA92590 (714)331-6114
PHONE: info@urbandwellarchitects.com
EMAIL: info@urbandwellarchitects.com



SUBMITTAL OF THE ENTITLEMENTS

PROJECT NAME:
CENTRAL & COLLIER

PROJECT ADDRESS:
18295 COLLIER AVE, LAKE ELSINORE, CA 92530

STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: <xx-xx-xxxx>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description
1	05/31/23	MV	Planning Revision

SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS SHOWN

SHEET NUMBER:
L101

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**SITE WORK & SIGNAGE TO BE COMPLETED UNDER SEPARATE PERMIT.
LL RESPONSIBILITY INFORMATION IS PROVIDED FOR REFERENCE AND COORDINATION PURPOSES.**

GENERAL NOTES

- A. REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- C. DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. PROVIDE 6" (150MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE. EXTENT TO INCLUDE DRIVE-THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- E. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- F. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- G. PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- H. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- I. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- J. SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- K. SEE SHEET A002 FOR ARCHITECTURAL SITE DETAILS.

KEYNOTES

- 1 MAIN ENTRANCE.
- 2 (E) LANDSCAPE AREA TO REMAIN.
- 3 LOCATION OF MOP CUSTOMER PARKING SIGNAGE
- 4 (E) ACCESSIBLE PARKING STALL TO REMAIN
- 5 (E) PARKING STALL, TYP. TO REMAIN
- 6 (E) ACCESSIBLE STRIPING TO REMAIN
- 7 (E) CURB CUT TO REMAIN
- 8 (E) DETECTABLE WARNING, SEE 12/G011
- 9 (E) PARKING STALL DEDICATED FOR MOP (MOBILE ORDER PAY) PICK UP.
- 10 (N) MOP FLOOR LETTERING
- 11 (N) PROPOSED 4170 SQ. F.T STARBUCKS.
- 12 (N) PREVIEW MENU BOARD (#22542), SEE DETAIL --A002 (UNDER SEPARATE PERMIT)
- 13 (N) PARKING STALL.
- 14 (N) LANDSCAPE AREA.
- 15 (N) DRIVE THRU LANE.
- 16 6" CONCRETE CURB, TYPICAL.
- 17 (N) DIGITAL ORDER SCREEN CONTROL BOX (#22546), (UNDER SEPARATE PERMIT)
- 18 SITE LIGHT POLE WITH LED LUMINAIRE. CONCRETE BASE PER CIVIL DRAWINGS (SEE C SHEETS).
- 19 WHEEL STOPS.
- 20 (N) EXTERIOR PATIO SEATING 533 SQ.FT.
- 21 (N) PREVIEW MENU BOARD (#22540), SEE DETAIL --A002 (UNDER SEPARATE PERMIT)
- 22 (N) NON-ILLUMINATED BOLLARD (#14103), SEE DETAIL --A002 (UNDER SEPARATE PERMIT)
- 23 (N) ENTRANCE DIRECTIONAL SIGN (#23085), SEE DETAIL --A002 (UNDER SEPARATE PERMIT)
- 24 (N) EXIT/THANK YOU DIRECTIONAL SIGN (#23075), SEE DETAIL 2/A-1501 (UNDER SEPARATE PERMIT)
- 25 (N) CLEARANCE BAR ON DRIVER'S SIDE (#X1111), SEE DETAIL --A002 (UNDER SEPARATE PERMIT)
- 26 (N) WAYFINDING GRAPHIC ARROW (#23118), SEE DETAIL --A002 (UNDER SEPARATE PERMIT)
- 27 VAN ACCESSIBLE PARKING.
- 28 (N) ACCESSIBLE STRIPING.
- 29 (N) DETECTABLE WARNING, SEE 12/G011
- 30 (N) WIRE NEWS TOPPING SIGN.
- 31 (E) HANDICAP PARKING SIGN.
- 32 (E) PROPERTY LINE..
- 33 (N) TRASH ENCLOSURE.
- 34 (N) GROUND GRAPHICS DO NOT ENTER VINYL.
- 35 (N) GROUND GRAPHICS LANES MERGE VINYL.
- 36 (N) GROUND GRAPHICS DT ENTRY VINYL.

LEGEND

- LANDSCAPE AREA
- NEW CONCRETE WALKWAY
- ACCESSIBLE PATH OF TRAVEL
- NEW 6" (150MM) CONCRETE CURB
- CONCRETE DRIVE THRU LANE
- NEW NON-PERMEABLE AREA
- NEW PERMEABLE AREA

FAR CALCULATIONS

BUILDING AREA = 3,820 SQ.FT
 LOT AREA = 42,253 SQ.FT
FAR (FLOOR AREA RATIO) = 3,820 / 42,253 = 9%



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UDA
 URBAN DWELL ARCHITECTS
 ADDRESS: 43180 BUSINESS PARK DR.
 SUITE: 203
 TEMECULA, CA92590
 (714)331-6114
 PHONE:
 EMAIL: info@urbandwellarchitects.com



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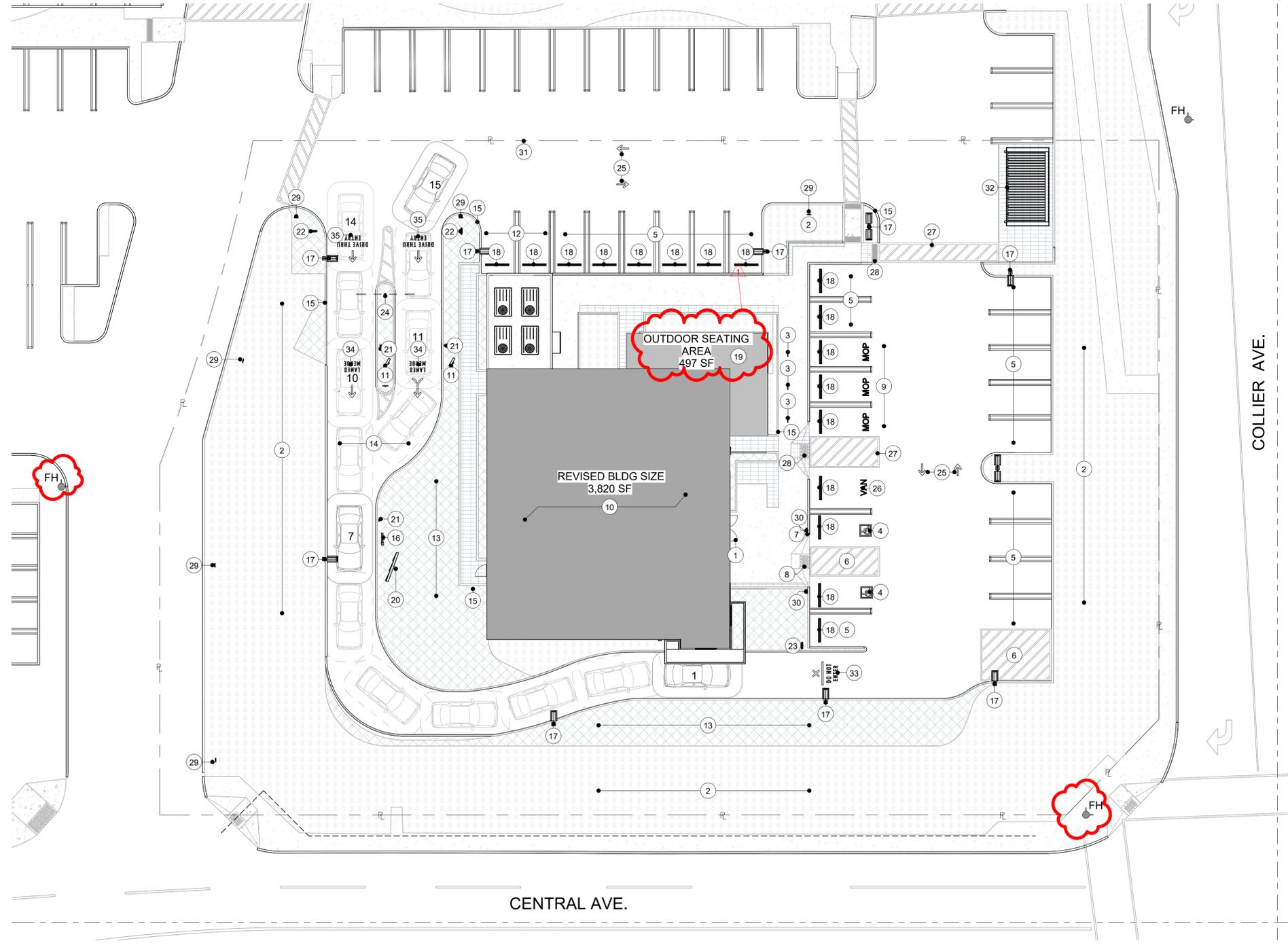
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Revision Schedule			
Rev	Date	By	Description
1	05/31/23	MV	Planning Revision

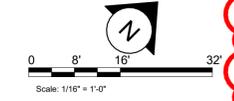
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ARCHITECTURAL SITE PLAN
 SCALE: AS SHOWN

SHEET NUMBER:
A001A

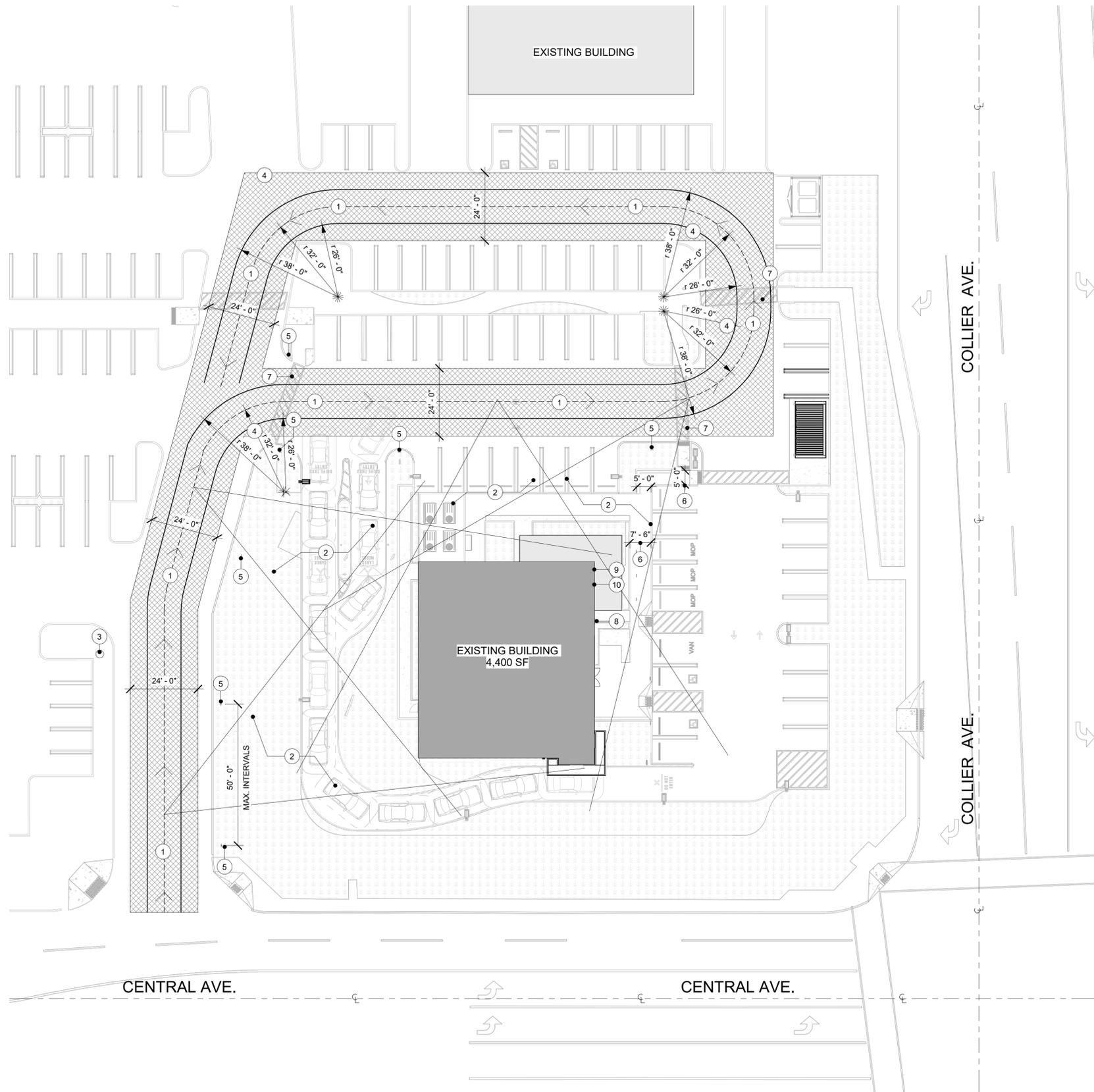
SUBMITTAL OF THE ENTITLEMENTS



Architectural Site Plan
 Scale: 1/16" = 1'-0"



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GENERAL NOTES

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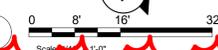
KEYNOTES

- 1 FIRE DEPARTMENT VEHICLE ACCESS ROAD ON SITE PLAN PER FIRE CODE 503.1.1 & 503.2.2 * SECTION 503.6.
- 2 LINE INDICATES 150'-0" FIRE TRUCK HOSE LINE MAX LENGTH
- 3 LOCATION OF EXISTING FIRE HYDRANT
- 4 FIRE DEPARTMENT VEHICULAR ACCESS ROAD SHALL BE PROVIDED WITH A 32' CENTERLINE TURNING RADIUS PER Fire Code 503.2.4.
- 5 FIRE - NO STOPPING SIGN PER CALTRANS/ FHWA STANDARD (R26F), MAXIMUM INTERVALS OF 50FT ON CENTER.
- 6 A MINIMUM 5'-0" WIDE APPROVED FIREFIGHTER ACCESS WALKWAY PER FIRE CODE 504.1
- 7 (E) ACCESSIBLE STRIPING TO REMAIN
- 8 AN APPROVED KEYBOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.
- 9 BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR MAIN ACCESS TO THE BUILDING PER FIRE DEPARTMENT.
- 10 BUILDING ADDRESS NUMBER WITH MINIMUM 10" HEIGHT, MINIMUM STROKE 1.5 INCHES AS DISTANCE FROM BUILDING TO FACE OF CURB = 51-150 FEET PER FIRE DEPARTMENT.

LEGEND

- LANDSCAPE AREA
- CONCRETE SIDEWALK PAVEMENT
- 6" (150MM) CONCRETE CURB
- SCOPE OF WORK
- FIRE LANE

FIRESITE PLAN
Scale: 3/64" = 1'-0"



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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
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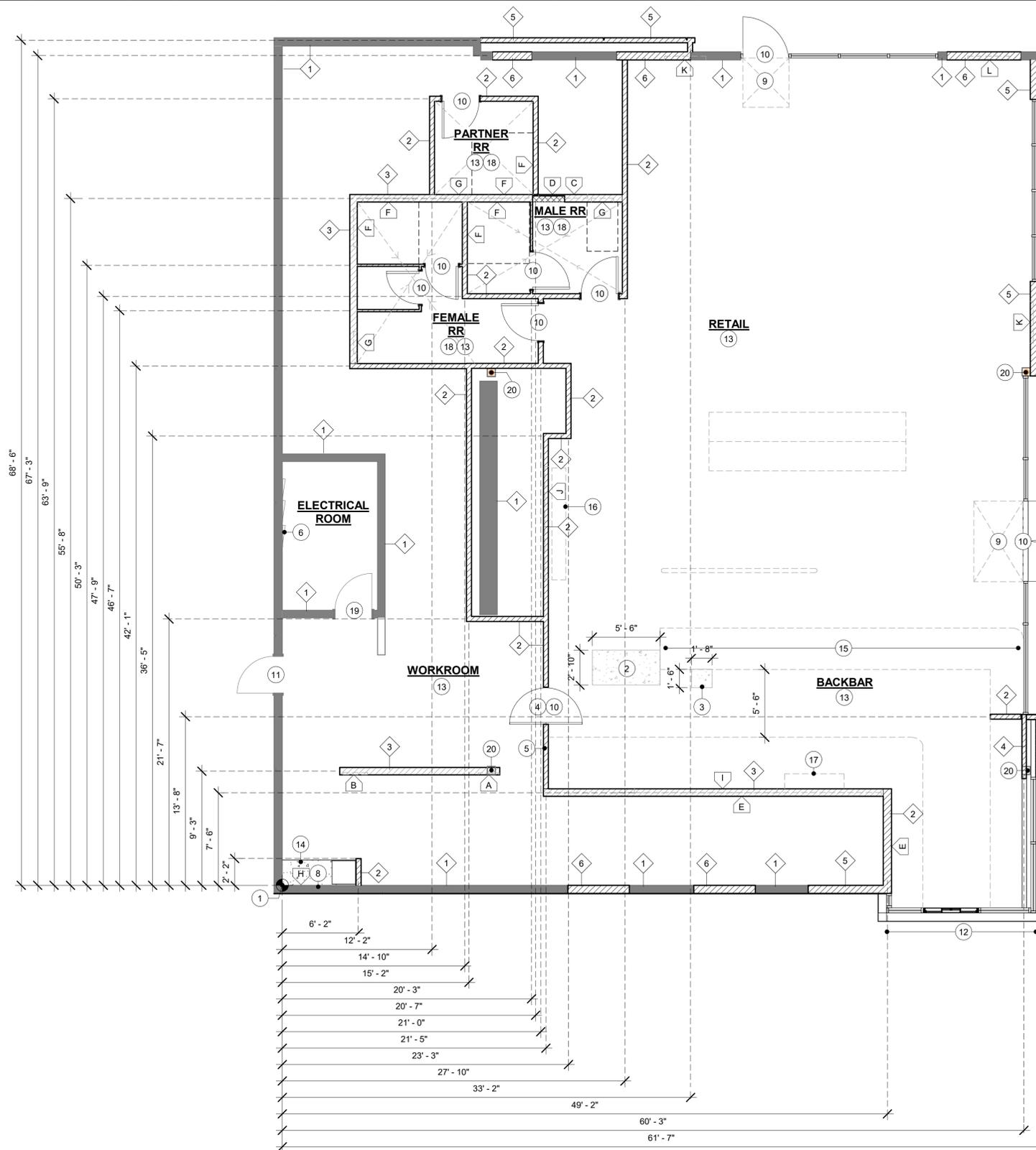
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FIRE SITE PLAN

SCALE: AS SHOWN

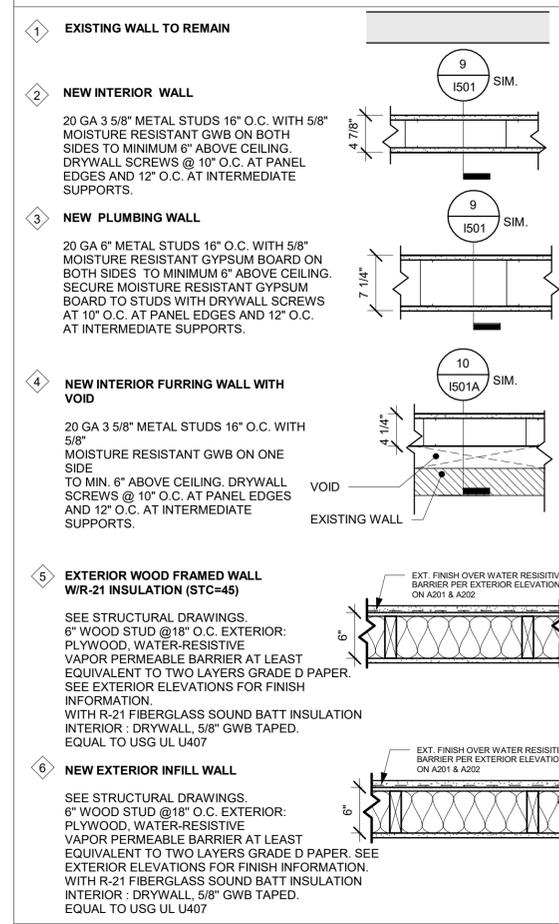
SHEET NUMBER:
A001C

WALL BLOCKING KEY

SYMBOL	ITEM	WEIGHT	HEIGHT A.F.F.	APPROX. WIDTH				
A	SHELVES ABOVE COMPARTMENT SINK	200 LBS (91 KG)	48" TO 76" (1220MM TO 1930MM)	96" (2440MM) CENTERED ABOVE COMPARTMENT SINK	G	RESTROOM HAND SINK	200 LBS (91 KG)	COMMERCIAL INSTALLATION REQUIRES CONCEALED ARM CARRIER. REFER TO MFR'S SPECIFICATION.
B	UPPER WIRE SHELVES	BLOCKING SPECIFICATION TO BE PROVIDED BY VENDOR				H	WATER FILTRATION SYSTEM	TBD BY VENDOR
C	SHELVES AT MANAGER'S DESK	300 LBS (136 KG)	32" TO 96" (810MM TO 2440MM)	48" (1220MM) 3/4 (19MM) ACX PLYWOOD, CENTERED ON SHELVES	I	FUTURE DIGITAL MENU BOARDS	300 LBS	7'-4" TO 8'-6" 12'-8" TYP.
D	EQUIPMENT RACK AT MANAGER'S DESK	300 LBS (136 KG)	44" TO 96" (1120MM TO 2440MM)	28" (710MM) 3/4 (19MM) ACX PLYWOOD, CENTERED ON RACK	J	MERCH BAY	300 LBS	0'-0" TO 6'-0" EXTENT OF MERCH BAY
E	DT CABINET	300 LBS	6'-1" TO 7'-10"	EXTENT OF CABINET	K	ALL ARTWORK, FIXTURES, ACCESSORIES AND CASEWORK FABRICATIONS NOT OTHERWISE NOTED	TBD BY VENDOR (VARIES)	GC TO PROVIDE WALL BLOCKING AS REQUIRED FOR ALL ITEMS FOR A COMPLETE AND SECURE INSTALLATION. EXTEND BLOCKING 8" (205MM) BEYOND ON EACH SIDE OF EACH ITEM.
F	RESTROOM GRAB BARS	200 LBS (91 KG)	30" TO 36" (760MM TO 915MM)	60" (1525MM) AROUND WATER CLOSET				



INTERIOR WALL LEGEND



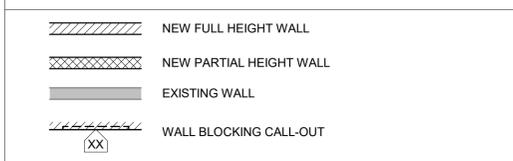
GENERAL NOTES

- A. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- B. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT ANY WALL ATTACHMENT AND/OR SIGNAGE.
- C. IF EXISTING EXTERIOR ENTRANCE THRESHOLD EXCEEDS MINIMUM BARRIER FREE PROVISION OF THE CODE, REMOVE AND REPLACE WITH ACCESSIBLE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS TO BE BEVELED WITH A SLOPE NO GREATER THAN 1:12.
- D. ALL DIMENSIONS ARE TO FINISHED FACE UNLESS SHOWN OR NOTED OTHERWISE.
- E. INSTALL MOISTURE RESISTANT GREEN BOARD ON BACKBAR WALL PER PROJECT MANUAL.
- F. ALL DOORS SHALL BE 32" (815MM) MINIMUM CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION UNLESS OTHERWISE NOTED.
- G. SEE SHEET A601 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- H. STARBUCKS VENDOR TO PROVIDE DOOR HARDWARE COMPONENTS AND GC TO INSTALL.
- I. VERIFY ALL EXISTING DOORS, HARDWARE AND FRAMES MEET STARBUCKS AND/OR CODE REQUIREMENTS.
- J. PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE CITY.
- K. SEE STRUCTURAL FOR KNEE WALL BRACING.
- L. SEE SHEET A501 FOR BUILDING DETAILS.
- M. REFER TO SHEET I104 FOR FLOOR FINISHES.

KEYNOTES

- 1 DIMENSION CONTROL DATUM POINT
- 2 (N) GC TO PROVIDE & INSTALL 4" CONCRETE CURB @ FOOD CASE. CURB NOT TO EXCEED CASE FOOTPRINT.
- 3 (N) GC TO PROVIDE & INSTALL 6" CONCRETE CURB @ SAFE CABINET, NOT TOE KICK. CURB TO RECEIVE TILE BASE.
- 4 INSTALL NEW DOUBLE ACTING DOOR @ BACK OF HOUSE. SEE SCHEDULES FOR DOOR AND HARDWARE TYPE.
- 5 FIRE EXTINGUISHER LOCATION.
- 6 (E) ELECTRICAL PANELS & LIGHTING CONTROL PANEL. MAINTAIN MINIMUM CLEARANCE AS REQUIRED BY CODE, SEE ELECTRICAL PLANS.
- 7 ALIGN FACE OF FINISHED WALL.
- 8 (N) SHELF FOR WATER HEATER ABOVE. REFER TO INTERIOR ELEVATION FOR HEIGHT AND DETAILS FOR CONSTRUCTION OF PLATFORM AND SUPPORTING ASSEMBLY.
- 9 PROVIDE SLAB DEPRESSION AS NEEDED PER WALK-OFF MATT. SEE SHEET I-503 FOR MORE INFORMATION
- 10 INSTALL NEW DOORS AS INDICATED. SEE SCHEDULES FOR DOOR AND HARDWARE TYPE.
- 11 (E) STOREFRONT, ENTRANCE/ EXIT DOOR TO REMAIN - APPROVED UNDER PREVIOUS SHELL BUILDING SUBMITTAL.
- 12 (N) DRIVE THRU WINDOW
- 13 (N) PROVIDE BLOCKING AS REQUIRED TO SUPPORT ANY WALL ATTACHMENTS. REFER TO WALL BLOCKING KEY.
- 14 GC TO PROVIDE AND INSTALL 10" CONCRETE CURB FOR R.O. SYSTEM AND MOP SINK - REFER TO PLUMBING DRAWINGS FOR MOP SINK SPECIFICATIONS
- 15 OUTLINE OF COUNTERTOPS PER CASEWORK MANUFACTURER @ KITCHEN/ PREP.
- 16 DASH LINE INDICATES MERCHANDISE FIXTURE.
- 17 DASH LINE INDICATED UPPER STORAGE AND SHELVES. SEE SHEET I-102C FOR MORE DETAILS AND INFORMATION.
- 18 SLOPE FLOOR SLAB TO SANITARY WASTE FLOOR DRAIN 1/8" PER 1'-0" OF RUN
- 19 (E) DOOR TO REMAIN. PART OF SHELL PERMIT.
- 20 (E) STRUCTURAL COLUMN.
- 21 36" (915 MM) CLEAR FOR ROOF LADDER ACCESS.

GENERAL LEGEND



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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINES PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



PROJECT NAME:
CENTRAL & COLLIER

PROJECT ADDRESS:
18295 COLLIER AVE, LAKE ELSINORE, CA 92530

STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: <xx-xx-xxxx>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
BUILDING FLOOR PLAN

SCALE: AS SHOWN

SHEET NUMBER:
A101

SUBMITTAL OF THE ENTITLEMENTS

D:\Mariam\Task 10 - Central & Collier Entitlements\Application Comments 5-18-23\new modeling\Central & Collier - Entitlements - 06-25-2023.rvt 6/26/2023 4:26:51 PM



6/26/2023 4:27:25 PM D:\Mariam\Task 10 - Central & Collier Entitlements\Application Comments 5-18-23\new modeling\Central & Collier - Entitlements - 06-25-2023.rvt



ELEVATION 1
Scale: 3/16" = 1'-0"

- 1 EXTERIOR WALL TO REMAIN, PREPARE SURFACE TO RECEIVE NEW FINISH.
- 2 (N) EXTERIOR WALL, PREPARE SURFACE TO RECEIVE FINISH.
- 3 PROVIDE J-BOX FOR BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGNAGE VENDOR SHOP DRAWINGS.
- 4 METAL COPING.
- 5 DT WINDOW. PROVIDE READY ACCESS DT SERVICE WINDOW. WINDOW AND AIR CURTAIN FINISH TO MATCH ADJACENT STOREFRONT.
- 6 STEEL CANOPY. SEE BUILDING DETAIL SHEETS AND STRUCTURAL DRAWINGS.
- 7 (N) BUILDING SIGNAGE.
- 8 (N) DRIVE-THRU SIGN.
- 9 (N) EXTERIOR SCONCE LIGHTING.
- 10 (N) 60" FACE ILLUMINATED LOGO DISK (UNDER SEPARATE PERMIT)
- 11 (N) 12" GREEN WORDMARK "STARBUCKS" ONLY (UNDER SEPARATE PERMIT)
- 12 (N) 60" DRIVE THRU ILLUMINATED ARROW SERIES (UNDER SEPARATE PERMIT)
- 13 (E) WALLS & STOREFRONT TO REMAIN (UNDER SEPARATE PERMIT)
- 14 (N) WALLS & STOREFRONT.
- 15 (N) ENTERANCE DOOR.
- 16 DASHED LINE INDICATES ROOF FINISH LEVEL.
- 17 BUILDING ADDRESS NUMBER WITH MINIMUM 10" HEIGHT, MINIMUM STROKE 1.5 INCHES AS DISTANCE FROM BUILDING TO FACE OF CURB = 51-150 FEET PER FIRE DEPARTMENT, SEE SHEET A0010 FOR MORE INFORMATION.
- 18 KNOX VAULT 4430 SERIES (RECESSED W/ HINGED DOOR) TO BE LOCATED BESIDE THE MAIN ENTRANCE NO FURTHER THAN 10 FEET.

EXTERIOR FINISH SCHEDULE

1	SHERWIN WILLIAMS - SW7047 "PORPOISE"
2	CLIFFSTONE - "MANZANITA"
3	FLAT BLACK METAL - MT0028

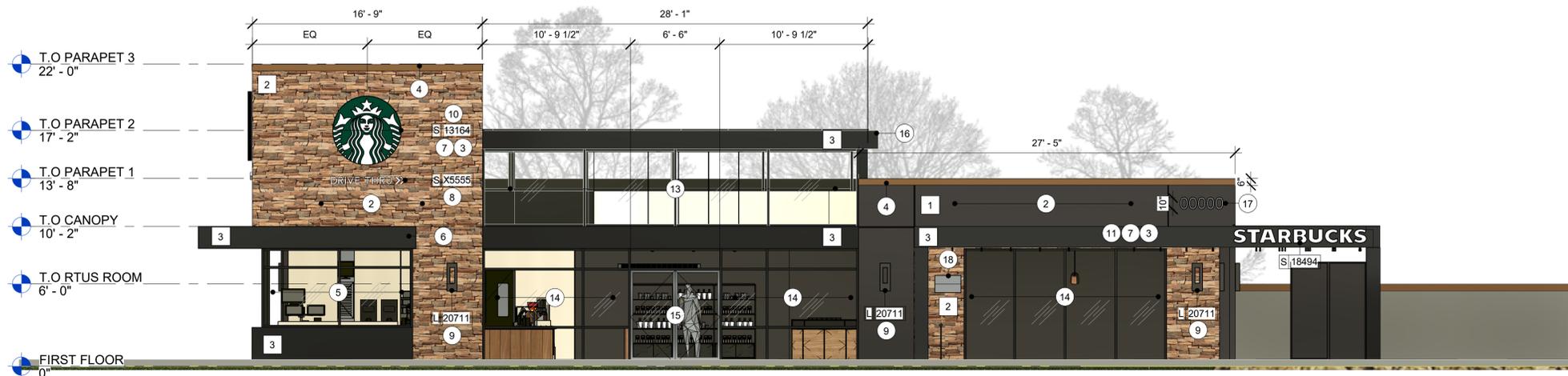
RESPONSIBILITY LEGEND

GC	GENERAL CONTRACTOR
LL	LANDLORD
SB	STARBUCKS
WH	STARBUCKS WAREHOUSE (3PL)
VD	STARBUCKS VENDOR DIRECT

SIGNAGE NOT A PART OF THIS PERMIT.

INFORMATION IS PROVIDED FOR REFERENCE AND COORDINATION PURPOSES.

ELEVATION 2
Scale: 3/16" = 1'-0"



GENERAL NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- G. GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

EXTERIOR ELEVATION KEYNOTES

- 1 EXTERIOR WALL TO REMAIN, PREPARE SURFACE TO RECEIVE NEW FINISH.
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EXTERIOR FINISH SCHEDULE

1	SHERWIN WILLIAMS - SW7047 "PORPOISE"
2	CLIFFSTONE - "MANZANITA"
3	FLAT BLACK METAL - MT0028

RESPONSIBILITY LEGEND

GC	GENERAL CONTRACTOR
LL	LANDLORD
SB	STARBUCKS
WH	STARBUCKS WAREHOUSE (3PL)
VD	STARBUCKS VENDOR DIRECT

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STARBUCKS
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



SUBMITTAL OF THE ENTITLEMENTS

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STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: <xx-xx-xxxx>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

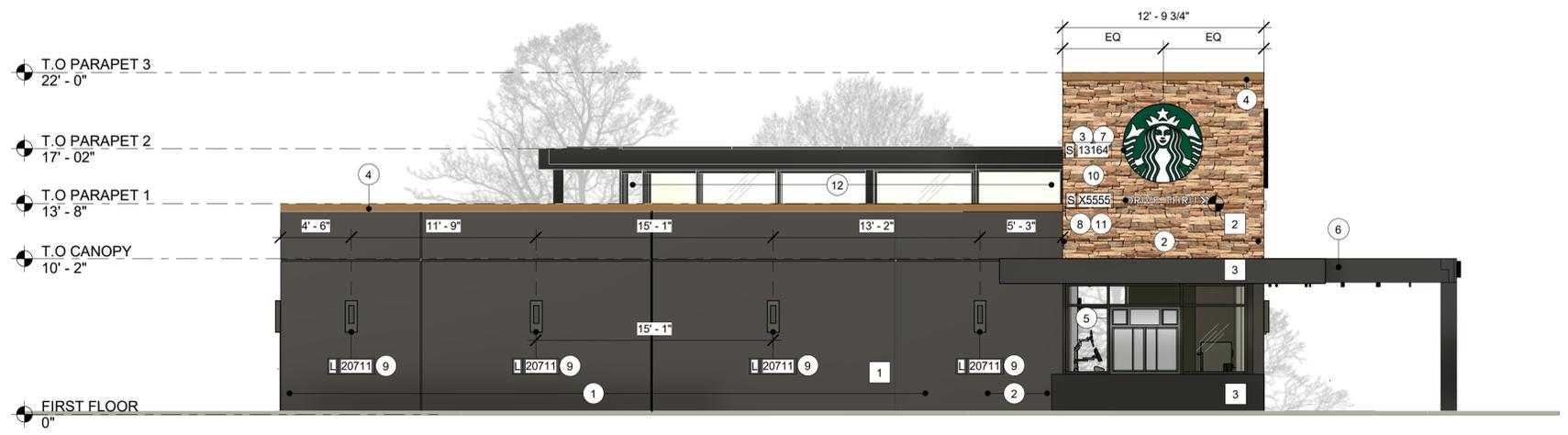
Revision Schedule

Rev	Date	By	Description
1	05/31/23	MV	Planning Revision

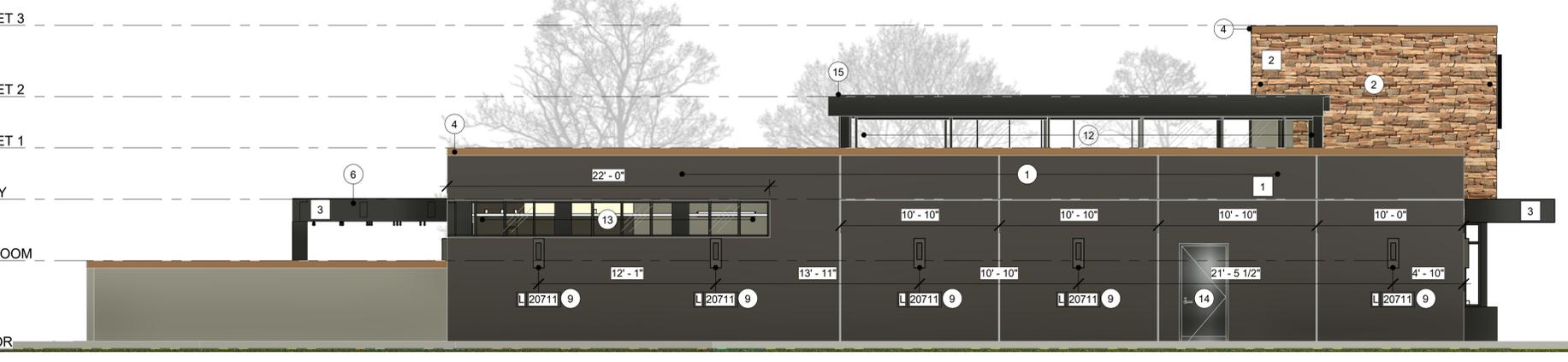
SHEET TITLE:
BUILDING EXTERIOR ELEVATIONS
SCALE: AS SHOWN

SHEET NUMBER:
A201

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6/26/2023 4:28:08 PM



ELEVATION 3
Scale: 3/16" = 1'-0"



ELEVATION 4
Scale: 3/16" = 1'-0"

GENERAL NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
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- 6 STEEL CANOPY. SEE BUILDING DETAIL SHEETS AND STRUCTURAL DRAWINGS.
- 7 (N) BUILDING SIGNAGE.
- 8 (N) DRIVE-THRU SIGN.
- 9 (N) EXTERIOR SCENCE LIGHTING.
- 10 (N) 60" FACE ILLUMINATED LOGO DISK (UNDER SEPARATE PERMIT)
- 11 (N) 60" DRIVE THRU ILLUMINATED ARROW SERIES (UNDER SEPARATE PERMIT)
- 12 (E) WALLS & STOREFRONT TO REMAIN (UNDER SEPARATE PERMIT)
- 13 (N) WALLS & STOREFRONT.
- 14 (E) SERVICE DOOR.
- 15 DASHED LINE INDICATES ROOF FINISH LEVEL

EXTERIOR FINISH SCHEDULE

- 1 SHERWIN WILLIAMS - SW7047 "PORPOISE"
- 2 CLIFFSTONE - "MANZANITA"
- 3 FLAT BLACK METAL - MT0028

RESPONSIBILITY LEGEND

- GC GENERAL CONTRACTOR
- LL LANDLORD
- SB STARBUCKS
- WH STARBUCKS WAREHOUSE (3PL)
- VD STARBUCKS VENDOR DIRECT

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UDA
URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
PHONE: (714)331-6114
EMAIL: info@urbandwellarchitects.com



SUBMITTAL OF THE ENTITLEMENTS

PROJECT NAME:
CENTRAL & COLLIER

PROJECT ADDRESS:
**18295 COLLIER AVE, LAKE
ELSINORE, CA 92530**

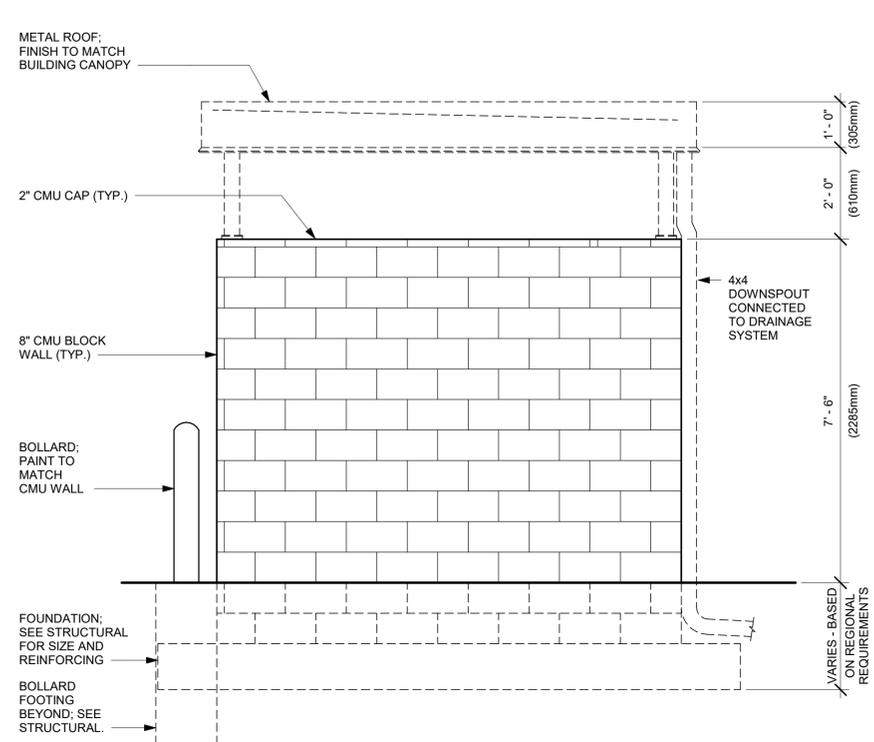
STORE #: 00000
PROJECT #: 34376-072
ISSUE DATE: <xx-xx-xxxx>
DESIGN MANAGER: STUDIO-X
PRODUCTION DESIGNER: NADA BALIGH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description
1	05/31/23	MV	Planning Revision

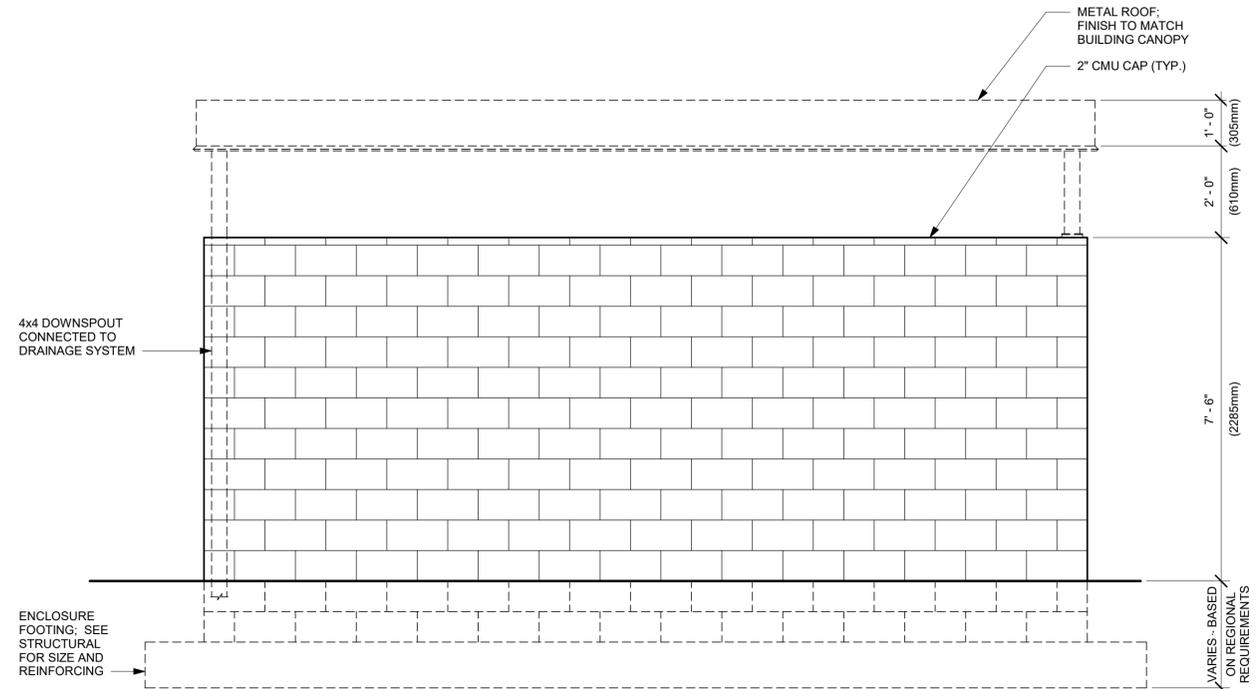
SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
A202

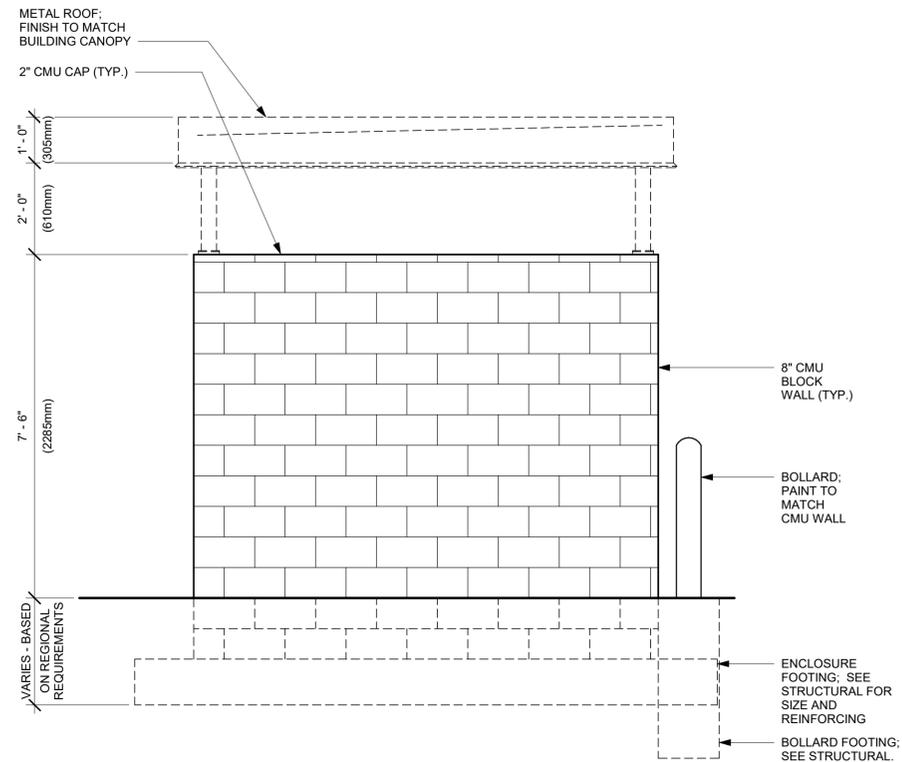
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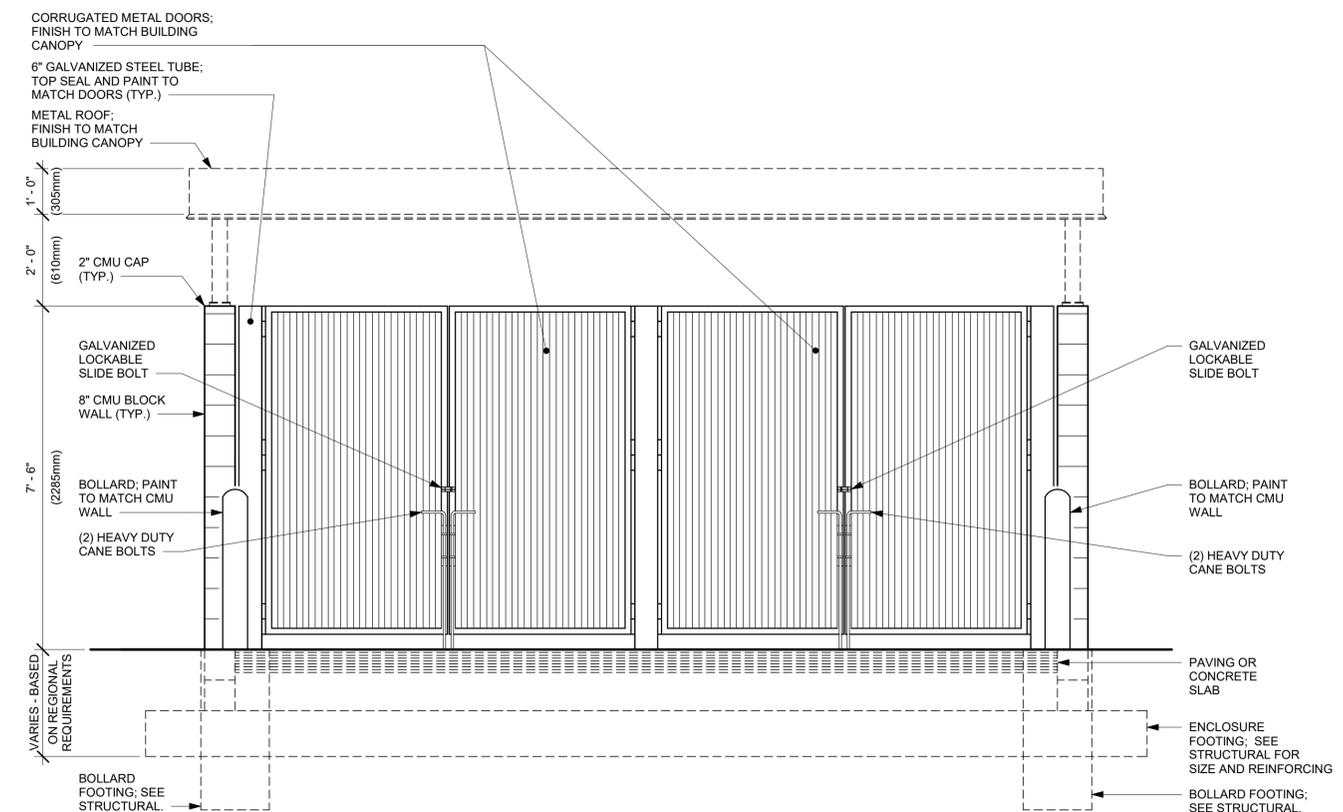
SIDE ELEVATION "A"
Scale: 1/2" = 1'-0" **3**



BACK ELEVATION
Scale: 1/2" = 1'-0" **4**



SIDE ELEVATION "B"
Scale: 1/2" = 1'-0" **2**



FRONT ELEVATION
Scale: 1/2" = 1'-0" **1**



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URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR.
SUITE: 203
TEMECULA, CA92590
(714)331-6114
PHONE:
EMAIL: info@urbandwellarchitects.com



SUBMITTAL OF THE ENTITLEMENTS

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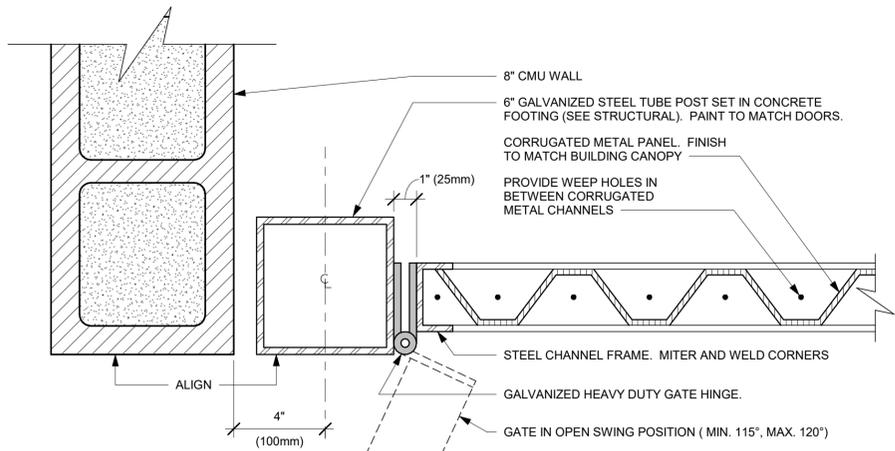
PROJECT ADDRESS:
**18295 COLLIER AVE, LAKE
ELSINORE, CA 92530**

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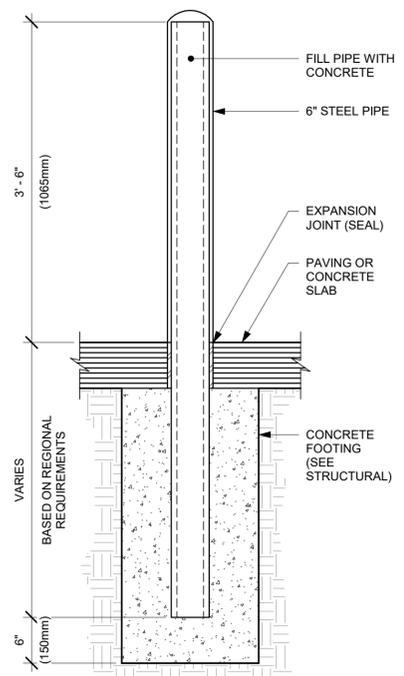
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**TRASH ENCLOSURE
ELEVATIONS**
SCALE: AS SHOWN

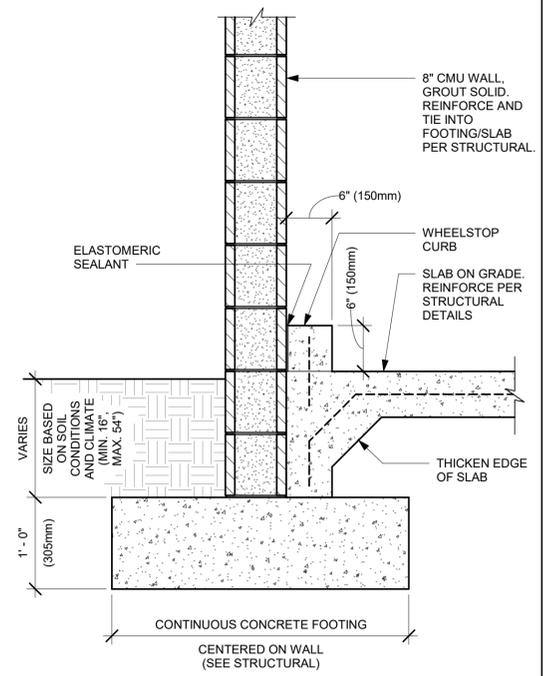
SHEET NUMBER:
A301



GATE HINGE DETAIL
Scale: 3" = 1'-0" **7**

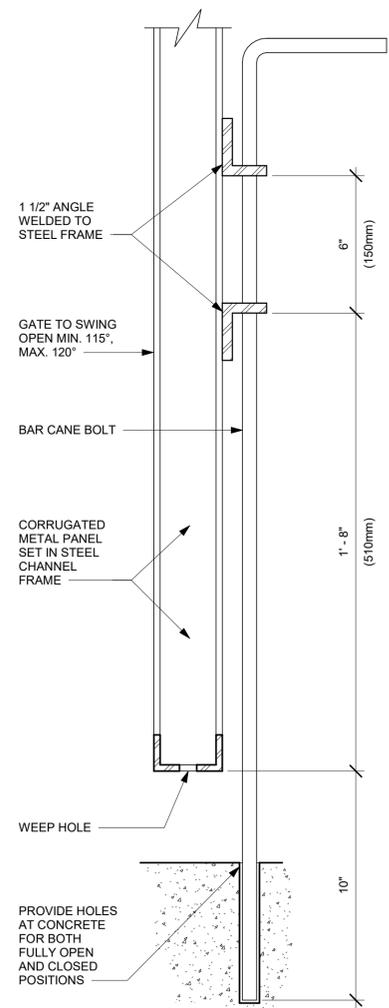


TRASH ENCLOSURE BOLLARD
Scale: 1" = 1'-0" **6**

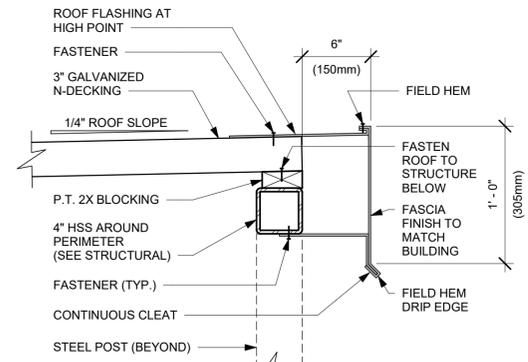


TYPICAL CMU WALL FOOTING
Scale: 1" = 1'-0" **5**

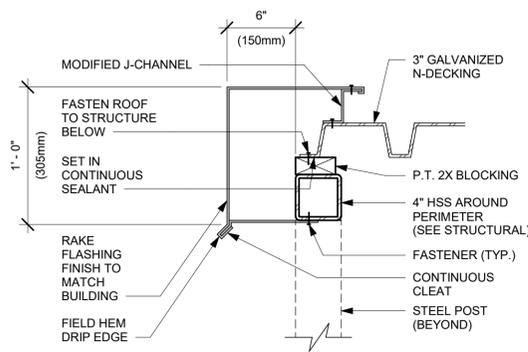
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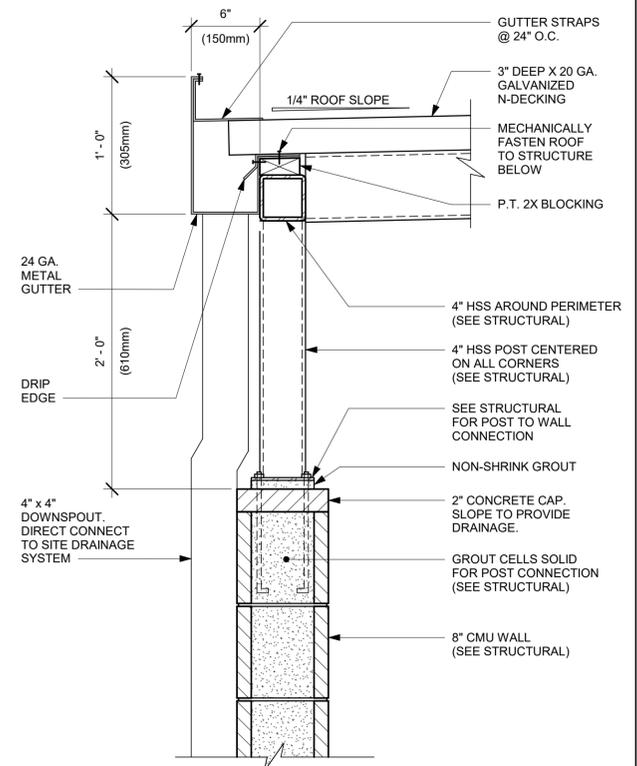
SECTION AT CANE BOLT
Scale: 3" = 1'-0" **4**



ROOF SECTION AT FASCIA
Scale: 1 1/2" = 1'-0" **3**



ROOF SECTION AT RAKE
Scale: 1 1/2" = 1'-0" **2**



ROOF SECTION AT GUTTER
Scale: 1 1/2" = 1'-0" **1**



STARBUCKS
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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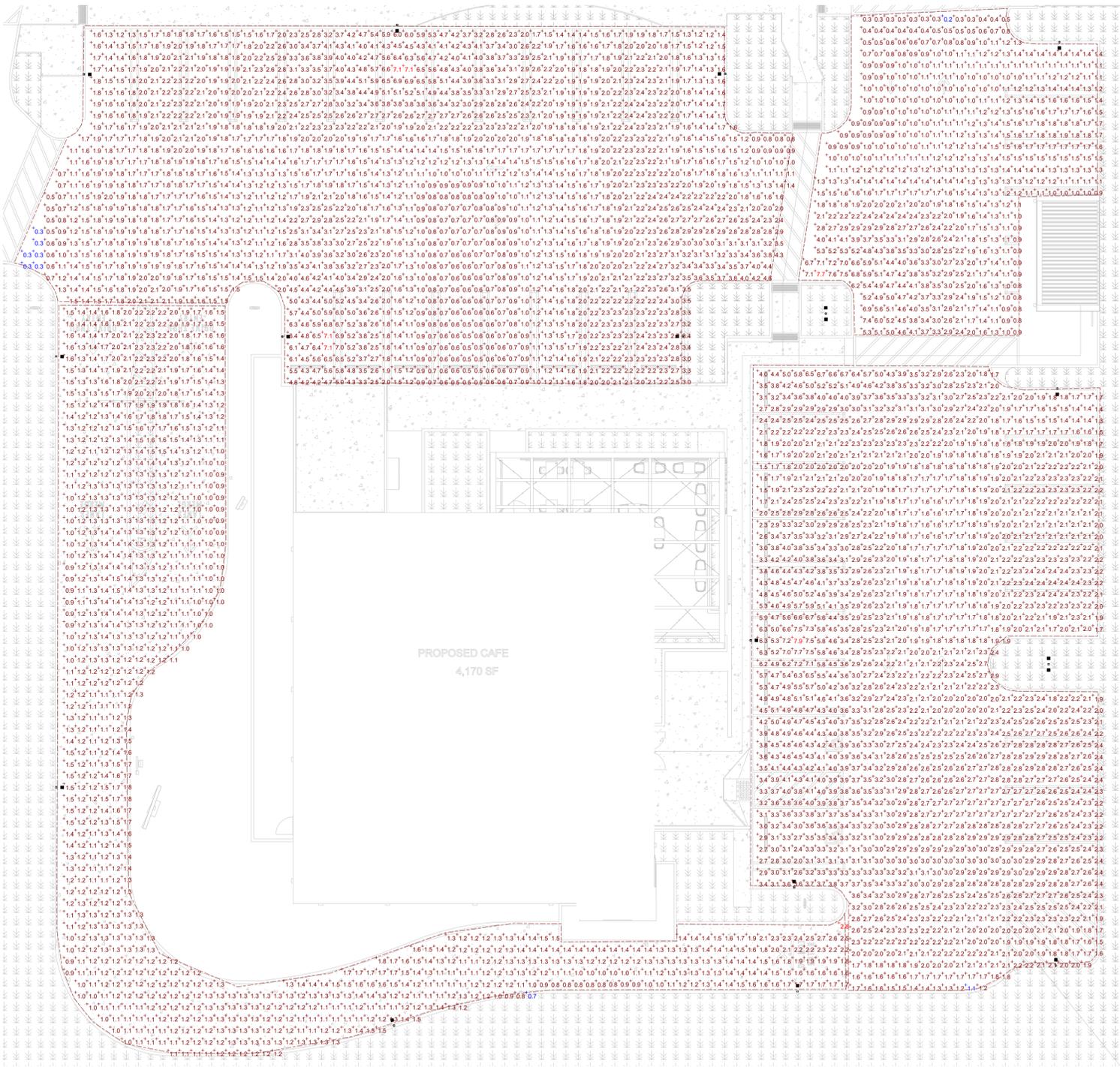
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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**TRASH ENCLOSURE
DETAILS**
SCALE: AS SHOWN

SHEET NUMBER:
A302



Plan View

LIGHTING FIXTURE SCHEDULE						
DESIGN ID	VOLTS	COUNT	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPS WATTS
L-X0001	120	14	SINGLE LIGHT FIXTURE HEAD, LED 3000K, SHIELDED WITH MOTION SENSOR	COOPER LIGHTING	NVN-AF-01-D-U-T3R-10K-7030-800-4N7-OA/RA1013	LED 3960K 44
L-X0002	120	2	TWIN LIGHT FIXTURE HEAD, LED 3000K, SHIELDED WITH MOTION SENSOR	COOPER LIGHTING	NVN-AF-01-D-U-T3R-10K-7030-800-4N7-OA/RA1013	LED 3960K 88

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
□	A		14	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	NVN-AF-01-LED-U-T3R-7030-600	NAVION ROADWAY AND AREA LUMINAIRE (1) 70 1,3000K, 615MA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE III ROADWAY OPTICS	16	247	1	34	
□	B		2	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	NVN-AF-01-LED-U-T3R-7030-600	NAVION ROADWAY AND AREA LUMINAIRE (1) 70 1,3000K, 615MA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE III ROADWAY OPTICS	16	247	1	68	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.3 fc	2.8 fc	0.7 fc	4.0:1	1.9:1
Calc Zone #2	+	2.7 fc	7.9 fc	1.1 fc	7.2:1	2.5:1
Calc Zone #3	+	2.1 fc	7.1 fc	0.3 fc	23.7:1	7.0:1
Calc Zone #4	+	1.8 fc	7.7 fc	0.2 fc	38.5:1	9.0:1



STARBUCKS
 2401 UTAH AVENUE SOUTH
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CENTRAL & COLLIER
 PROJECT ADDRESS:
 18295 COLLIER AVE, LAKE
 ELSINORE, CA 92530

STORE #: <XXXXX>
 PROJECT #: 34376-072
 ISSUE DATE: <XX-XX-XXXX>
 DESIGN MANAGER: <DESIGN MANAGER>
 PRODUCTION DESIGNER: ABDALRAHMAN
 CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**ELECTRICAL
 PHOTOMETRIC PLAN**
 SCALE: AS SHOWN

SHEET NUMBER:
E-2200

