



REPORT TO PLANNING COMMISSION

To: Honorable Chair and Members of the Planning Commission

From: Damaris Abraham, Community Development Director

Prepared by: Jesse Rodriguez, Assistant Planner

Date: April 15, 2025

Subject: Planning Application No. 2024-04 (Dutch Bros Coffee Lakeshore) – A Conditional Use Permit and a Commercial Design Review for a New 980 Square-Foot Drive-through Dutch Bros Coffee Shop on a 0.71-Acre Parcel Located at 16758 Lakeshore Drive

Applicant: Sabrina Rushing, Barghausen Consulting Engineers

Recommendation

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3, New Construction or Conversion of Small Structures);
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2024-03 TO ALLOW A NEW 980 SQUARE-FOOT DRIVE-THROUGH DUTCH BROS COFFEE SHOP IN THE NEIGHBORHOOD COMMERCIAL (C-1) DISTRICT LOCATED AT 16758 LAKESHORE DRIVE (APN: 378-290-015); and
3. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2024-01 FOR THE CONSTRUCTION OF A NEW 980 SQUARE-FOOT DRIVE-THROUGH DUTCH BROS COFFEE SHOP IN THE NEIGHBORHOOD COMMERCIAL (C-1) DISTRICT LOCATED AT 16758 LAKESHORE DRIVE (APN: 378-290-015).

Project Location

The project is located on an existing 0.71-acre parcel that is within the existing Stater Bros. Market commercial center on Lakeshore Drive which includes a variety of retail, restaurant, and personal service businesses. The project site is currently zoned Neighborhood Commercial (C-1) within

the Lake View District and is located near the intersection of Lakeshore Drive and Riverside Drive at 16758 Lakeshore Drive, which includes Assessor Parcel Number (APN: 378-290-015).

Environmental Setting

	EXISTING LAND USE	GENERAL PLAN	ZONING
Project Site	Commercial	General Commercial (GC)	Neighborhood Commercial (C-1)
North	Residential	General Commercial (GC)	Neighborhood Commercial (C-1)
South	Vacant	Specific Plan	Specific Plan
East	Commercial	General Commercial (GC)	Neighborhood Commercial (C-1)
West	Commercial	General Commercial (GC)	Neighborhood Commercial (C-1)

Table 1: Environmental Setting

Project Description

Planning Application No. 2024-04 is a request for a Commercial Design Review (CDR No. 2024-01) to construct a new 980 square-foot drive-through coffee shop and related site improvements including parking and landscaping. The application also includes a request for a Conditional Use Permit (CUP No. 2024-03) to permit the operation of the drive-through, as required by the C-1 zoning land use regulations. The project site would be accessed by two (2) existing shared driveways along Lakeshore Drive.

The proposed coffee shop will also feature a walk-up ordering window. No indoor customer access or seating area is proposed. Business hours of operation would be 5:00 AM to 11:00 PM, Monday through Sunday.

Analysis

The following analysis provides a discussion of the proposed project's consistency with the commercial development standards and requirements pursuant to the Lake Elsinore Municipal Code (LEMC) as well as the General Plan. In addition, the Design Review Committee, including Staff from Planning, Building and Safety, Fire, and Engineering Departments and the Elsinore Valley Municipal Water District, has reviewed the project and has included recommended conditions of approval to ensure compliance with adopted plans, policies, and regulations.

General Plan and Municipal Code Consistency

The project site has a General Plan land use designation of General Commercial (GC). This designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses, with a max Floor Area Ratio (FAR) of 0.40. The project proposes to establish a drive-through coffee shop, with 0.03 FAR, that sells specialty coffees, smoothies, and pastries. Therefore, the project is consistent with the General Plan.

The current zoning designation for the subject property is Neighborhood Commercial (C-1). The C-1 zone is intended to provide locations for general retail and office uses which offer the sale of goods and services to the general public and which, through characteristics of their operation, serve primarily the day-to-day shopping needs of the local residents. Per LEMC Section 17.120.030, coffee shops with a drive-through in the C-1 zone are conditionally permitted uses subject to the approval of a Conditional Use Permit.

Staff has reviewed the proposed development plans for compliance with the C-1 development standards and has determined that the proposed development conforms to the C-1 requirements as shown in Table 2 as well as the drive-through establishment standards contained in LEMC Section 17.148.060.

Development Standard	Required	Proposed
Floor Area Ratio (FAR)	0.40 maximum	0.03
Front Setback	Average of 20 feet (ft.) but not less than 15 ft.	33 ft. 6 inches (in.)
Right Side, Interior	0 ft.	68 ft. 10 in.
Left Side, Interior	0 ft.	55 ft. 10 in.
Building Height	35 ft. maximum	24 ft.
Drive-through Establishments:		
Drive-through planter separation (from driveways, parking and property lines)	5 ft. minimum	6 ft. to 21 ft. 7 in.
Drive-through Stacking	20 ft. minimum per vehicle	Over 20 ft. per vehicle
Drive-through Storage	8 vehicles minimum	18 vehicles
Parking	Customer Area: one space per 45 sq. ft. Non-customer Area: one space per 200 sq. ft. Total Required = 13 spaces	25 spaces

Table 1: Development Standards

Architecture and Site Design

The architectural design of the proposed building complies with the Nonresidential Development Standards (Chapter 17.112) of the LEMC. The proposed building design is Dutch Bros Coffee Shop's typical prototype building which is similar to the existing Dutch Bros Coffee Shop located in the City on Mission Trail. The proposed building is rectangular and will feature a flat roof with a parapet. The main body of the building exterior would consist of dark and light gray metal panel siding, stone veneer, metal awning projections, and space for tenant wall signage. Accent blue metal siding would be provided on the proposed tower element. The exterior architecture, including colors and materials, has been designed to be harmonious and compatible with

surrounding development. Furthermore, the proposed landscaping improvements complement the proposed building design, provide shade and break-up expanses of pavement. The proposed site design is cohesive and functional for the proposed use.

Traffic

A focused traffic analysis dated January 14, 2025 was prepared by Kittelson & Associates, Inc. for the project. The purpose of the analysis is to assess the project's potential traffic impacts, if any, to the surrounding road network, specifically the existing intersection of Lakeshore Drive and Riverside Drive and the project site driveways. The analysis concluded that the project would not adversely affect existing traffic levels of service in the study area including the Lakeshore Drive and Riverside Drive intersection.

Additionally, based on survey data, the study determined that the proposed drive-through stacking capacity of 18 vehicles is sufficient to accommodate peak hours of operations which are typically in the morning and lunch time. Furthermore, the Engineering Division reviewed the focused traffic analysis and determined that the anticipated traffic generated by the Dutch Bros Coffee Shop would be minimal, and no roadway or intersection modifications or other traffic improvements are necessary. Therefore, the project is consistent with the circulation goals and policies of the General Plan and is not expected to negatively impact the safety or efficiency of surrounding roadways.

To ensure safe and efficient onsite circulation, particularly during peak hours and the grand opening, Dutch Bros will implement a proactive traffic management plan. There would be an employee dedicated to managing the drive-through queue by taking orders in advance and helping to keep the line moving smoothly. This is typical of how other Dutch Bros location (including the existing one on Mission Trail) are operated to ensure the drive-through queue line flows efficiently to prevent "spillover" traffic onto the public street as well as ensure that access to adjacent businesses and residential areas are not obstructed. Additionally, Dutch Bros implements speed and service time expectations to further minimize any potential congestion. The project has also been conditioned to submit a Queueing Management Plan prior to occupying the building and would be required to comply with said management plan at all times. Should the use result in concerns related to parking and traffic, a condition of approval has been included to refer the CUP back to Planning Commission for a subsequent review at a public hearing.

Environmental Determination

The proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to Section 15303 (Class 3, New Construction or Conversion of Small Structures). Class 3 consists of construction and location of limited numbers of new, small facilities or structures... (c) A store, motel, office, restaurant or similar structure not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 sq. ft. in floor area. The proposed project involves the new construction of a 980 square-foot coffee shop and onsite improvements including a drive-through lane, a parking area, landscaping, and utility extensions to serve the new

construction. All necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

MSHCP Consistency

The project is consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). The project site is completely disturbed and is developed with an existing commercial center. The project site is not located in a Criteria Cell and was not required to be processed through the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) processes. The project complies with all other applicable requirements of the MSHCP.

Public Notice

Notice of the public hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 300 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

Attachments

- Attachment 1 – CUP Resolution
- Attachment 2 – CDR Resolution
- Attachment 3 – Conditions of Approval
- Attachment 4 – GIS Exhibits
- Attachment 5 – Project Plans
- Attachment 6 – Public Notice Materials

RESOLUTION NO. 2025-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2024-03 TO ALLOW A NEW 980 SQUARE-FOOT DRIVE-THROUGH DUTCH BROS COFFEE SHOP IN THE NEIGHBORHOOD COMMERCIAL (C-1) DISTRICT LOCATED AT 16758 LAKESHORE DRIVE (APN: 378-290-015)

Whereas, Sabrina Rushing, Barghausen Consulting Engineers, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2024-04 (Conditional Use Permit No. 2024-03 and Commercial Design Review No. 2024-01) to construct a new 980 sq. ft. Dutch Bros Coffee Shop and related site improvements including a two-lane drive-through with 18 queuing spaces, 25 parking spaces and landscaping. The project site is located on a 0.71-acre site within the Neighborhood Commercial (C-1) District at 16758 Lakeshore Drive (APNs: 378-290-015);

Whereas, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

Whereas, Section 17.415.070.A of the Lake Elsinore Municipal Code (LEMC) provides that certain uses have operational characteristics that, depending on the location and design of the use, may have the potential to negatively impact adjoining properties, businesses, or residents and therefore are permitted subject to the issuance of a Conditional Use Permit, which allows the City to comprehensively review and approve the use;

Whereas, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and

Whereas, on April 15, 2025, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the Project prior to making a decision and has found it acceptable.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. *The project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.*
2. *The project site is flat, heavily disturbed and devoid of vegetation with much of the surrounding area having been developed for commercial uses. The project is proposing to construct a new coffee shop with drive-through lanes, and other improvements throughout the project site. As such, the Riparian/Riverine Areas and Vernal Pool Guidelines as set forth in Section 6.1.2 of the MSHCP are not applicable.*
3. *The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines as set forth in MSHCP Section 6.1.3 and the Additional Survey Needs and Procedures as set forth in MSHCP Section 6.3.2 because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.*
4. *The project is consistent with the Fuels Management Guidelines because the project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.*
5. *The project has been conditioned to pay any applicable MSHCP Local Development Mitigation Fees.*

Section 3: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP), and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 4: The Commission hereby finds and determines that the project is categorically exempt from California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq. "CEQA") and CEQA Guidelines (14. Cal. Code Regs. §§15000 et seq.), specifically pursuant to Section 15303 (Class 3, New Construction or Conversion of Small Structures), because the project involves the new construction of a 980 square-foot commercial structure and accessory onsite improvements including a drive-through lane, a parking area, and landscaping.

Section 5: That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Conditional Use Permit No. 2024-03:

1. That the proposed use, on its own merits and within the context of its setting, is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

The proposed project is located in the General Commercial (GC) General Plan land use designation within the Lake View District. The designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses, with a maximum 0.40 floor area ratio (FAR). The project proposes to establish a drive-through coffee shop, that sells specialty coffees, smoothies, and pastries, with a proposed FAR of 0.03. Therefore, the project would be consistent with the General Plan. Furthermore, the new business would contribute to the main goal of the Lake View District because it would provide a new retail business to support the planned residential developments.

2. The proposed use will not be detrimental to the general health, safety, comfort, or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

The proposed project has been reviewed to ensure the drive-through operations would be managed as to avoid potential detrimental effects to the existing surrounding community and the general public. The drive-through has been designed with two lanes and queueing capacity for up to 18 vehicles which the Engineering Division has determined would be sufficient. Furthermore, the project has been conditioned as such to avoid any possible negative impacts associated with the proposed project including a drive-through management plan during peak hour operations and grand opening.

3. The Site for the intended use is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers, and other features required by this title.

The proposed site development plan has been reviewed and determined to be compliant with the drive-through establishment requirements pursuant to LEMC Section 17.148.060 including drive-through lane lengths, stacking capacity, and landscaping buffers. The project also complies with the applicable C-1 development standards including building setbacks and drive-aisle widths. As such, the proposed project site is adequate for drive-through use.

4. The Site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

The project site is located in a fully developed commercial area with existing driveways and road networks. However, the Engineering Division required and reviewed a focused traffic analysis to ensure the proposed drive-through use's anticipated traffic generation would not cause adverse impacts to the Lakeshore Drive and Riverside Drive intersection as well as the existing project site driveways. The Engineering Division determined that the project would not adversely affect existing traffic levels of service and would continue to operate at satisfactory levels of service. Therefore, the design of existing streets and project site driveways are sufficient to serve the new drive-through.

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

The project has been thoroughly reviewed for compliance with the LEMC's C-1 development standards to ensure the use is compatible with the surrounding neighborhood including existing businesses. The project has also been reviewed for compliance with the applicable California Building and Fire Code to ensure the use and its structure(s) would be safe. In addition, the project has been conditioned by all applicable City departments and outside agencies, thereby eliminating the potential for any adverse effects.

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure the development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

The Design Review Committee, including Staff from Planning, Building and Safety, Fire, and Engineering Departments and the Elsinore Valley Municipal Water District, has reviewed the project and included recommended conditions of approval to ensure compliance with adopted plans, policies, and regulations. Furthermore, the project would be required to demonstrate compliance with the conditions of approval and other requirements pursuant to LEMC Section 17.415.070.B prior to the issuance of a building permit and/or City business license.

Section 6: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the Project, the Commission hereby approves Conditional Use Permit No. 2024-03.

Section 7: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 15th day of April 2025.

John Gray, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2025-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held on April 15, 2025, and that the same was adopted by the following vote:

AYES
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Community Development Director

RESOLUTION NO. 2025-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2024-01 FOR THE CONSTRUCTION OF A NEW 980 SQUARE-FOOT DRIVE-THROUGH DUTCH BROS COFFEE SHOP IN THE NEIGHBORHOOD COMMERCIAL (C-1) DISTRICT LOCATED AT 16758 LAKESHORE DRIVE (APN: 378-290-015)

Whereas, Sabrina Rushing, Barghausen Consulting Engineers, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2024-04 (Conditional Use Permit No. 2024-03 and Commercial Design Review No. 2024-01) to construct a new 980 sq. ft. Dutch Bros Coffee Shop and related site improvements including a two-lane drive-through with 18 queuing spaces, 25 parking spaces and landscaping. The project site is located on a 0.71-acre site within the Neighborhood Commercial (C-1) District at 16758 West Lakeshore Drive (APNs: 378-290-015);

Whereas, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

Whereas, pursuant to Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and

Whereas, on April 15, 2025, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the Project prior to making a decision and has found it acceptable.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

- 1. The project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.*
- 2. The project site is flat, heavily disturbed and devoid of vegetation with much of the surrounding area having been developed for commercial uses. The project is proposing to construct a new coffee shop with drive-through lanes, and other improvements*

throughout the project site. As such, the Riparian/Riverine Areas and Vernal Pool Guidelines as set forth in Section 6.1.2 of the MSHCP are not applicable.

3. *The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines as set forth in MSHCP Section 6.1.3 and the Additional Survey Needs and Procedures as set forth in MSHCP Section 6.3.2 because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.*
4. *The project is consistent with the Fuels Management Guidelines because the project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.*
5. *The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.*

Section 3: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP), and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 4: The Commission hereby finds and determines that the project is categorically exempt from California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq. "CEQA") and CEQA Guidelines (14. Cal. Code Regs. §§15000 et seq.), specifically pursuant to Section 15303 (Class 3: New Construction or Conversion of Small Structures), because the project involves the new construction of a 980 square-foot commercial structure and accessory onsite improvements including a drive-through lane, a parking area, and landscaping.

Section 5: That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Commercial Design Review No. 2024-01:

1. The project, as approved, will comply with the goals and objectives of the General Plan and the zoning district in which the project is located.

The proposed project is located in the General Commercial (GC) General Plan land use designation. The designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses, with a maximum 0.40 floor area ratio (FAR). The project proposes to establish a drive-through coffee shop, that sells specialty coffees, smoothies, and pastries, with a proposed FAR of 0.03. Therefore, the project would be consistent with the General Plan.

Furthermore, the current zoning designation of the subject site is Neighborhood Commercial (C-1). The C-1 district is intended to provide locations for general retail and office uses which offer the sale of goods and services to the general public and which, through characteristics of their operation, serve primarily the day-to-day shopping needs of the local residents. Per LEMC Section 17.120.030, coffee shops with a drive-through in the C-1 zone are conditionally permitted uses subject to the approval of a Conditional Use Permit.

2. The project complies with the design directives contained in the LEMC and all applicable provisions of the LEMC.

The project is appropriate to the site and surrounding developments. The architectural design of the proposed buildings conforms to the Nonresidential Development Standards (Chapter 17.112) of the LEMC. Sufficient setbacks and enhanced onsite landscaping have been provided thereby creating interest and varying vistas as a person moves along abutting streets. The architecture has been designed to achieve harmony and compatibility with the surrounding area. The colors and materials proposed will assist in blending the architecture into the existing landscape and are compatible with other colors and materials used on other properties near the project site. In addition, safe and efficient circulation has been achieved onsite.

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing held on April 15, 2025. The project has been reviewed and conditioned by all applicable City divisions, departments and agencies to ensure the proposed project would be consistent with the major design review objectives contained in LEMC. Furthermore, the project would be required to demonstrate compliance with the conditions of approval and other applicable requirements prior to the issuance of a building permit and/or City business license.

Section 6: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the Project, the Commission hereby approves Commercial Design Review No. 2024-01.

Section 7: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 15th day of April 2025.

John Gray, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2025-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held on April 15, 2025, and that the same was adopted by the following vote:

AYES

NOES:

ABSTAIN:

ABSENT:

Damaris Abraham,
Community Development Director

CONDITIONS OF APPROVAL

PROJECT: PA 2024-04/CUP 2024-03/CDR-2024-01
PROJECT NAME: Dutch Bros Coffee Shop Lakeshore
PROJECT LOCATION: 16758 Lakeshore Dr (APN: 378-290-015)
APPROVAL DATE:
EFFECTIVE DATE:
EXPIRATION DATE:

GENERAL CONDITIONS

1. Planning Application No. 2024-04 is a request for approval of a Commercial Design Review (CDR No. 2024-01) to construct a new 980 square-foot drive-through coffee shop and related site improvements, including a two-lane drive-through with 18 queuing spaces, 25 parking spaces, and landscaping on a 0.71-acre site. The application also includes a request for approval of a Conditional Use Permit (CUP No. 2024-03) to permit the operation of the drive-through, as required by the C-1 zoning land use regulations. No indoor customer access or seating area is proposed. Business hours of operation would be 5:00 AM to 11:00 PM, Monday through Sunday.
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning the approval, implementation, and construction of CUP 2024-03 and CDR-2024-01, which action is sought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension, or modification of CUP 2024-03 and CDR-2024-01 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of Project approval and prior to issuance of any building permits, the applicant shall sign and complete an "Acknowledgement of Conditions," and shall return the executed original to the Community Development Department for inclusion in the case records.

PLANNING DIVISION

4. Conditional Use Permit No. 2024-03 shall lapse and become void two years following the date on which the Conditional Use Permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (B) and (C) of LEMC Section 17.415.070.

Subject to the provisions of LEMC Section 17.415.070, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the Conditional Use Permit application.

5. Commercial Design Review No. 2024-01 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
6. The applicant shall meet all applicable City Codes and Ordinances.
7. The applicant shall at all times comply with Section 17.176 (Noise Ordinance) of the LEMC.
8. An application for modification, expansion or other substantial change in the approved Conditional Use Permit or Commercial Design Review shall be reviewed according to the provisions of the LEMC, Title 17 in a similar manner as a new application.
9. A business license shall be obtained prior to a certificate of occupancy of the proposed establishment.
10. Business hours shall be Monday through Sunday from 5:00 AM to 11:00 PM. In the event the applicant proposes to modify the hours of operation, the modification shall be subject to review by the Community Development Director. The Community Development Director may approve the modification or refer the matter to the Planning Commission if judged to be substantial.
11. There shall be no loitering in or around the business.
12. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of each individual Certificate of Occupancy and release of utilities that are applicable to the Dutch Bros Coffee Shop.
13. Provisions of the City's Noise Ordinance (LEMC Chapter 17.176) shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 AM and shall cease no later than 4:00 PM. Construction activity shall not take place on Sunday, or any Legal Holidays.
14. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application. Grading plan revisions shall be reviewed by the City

Engineer.

15. A Temporary Use Permit or Special Event Permit, as applicable, shall be obtained prior to conducting any outdoor events on the subject property.
16. Graffiti shall be removed within 24 hours.
17. All materials and colors depicted on the approved plans shall be used. If the applicant wishes to modify any of the approved materials or colors depicted on the plans, the applicant shall submit a proposal setting forth the modifications for review by the Community Development Director or his designee.
18. The entire site shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.
19. Dutch Bros Coffee will be required to provide a Queueing Management Plan prior to occupancy of the building. The project shall be required to comply with the Queueing Management Plan at all times to ensure that the operation of the drive-through does not interfere with free and orderly circulation of the parking lots and to avoid spillover of vehicles in the public right-of-way.
20. If operation of this use triggers concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts or may revoke said Conditional Use Permit.
21. No individual signs are approved as part of this approval. Any proposed exterior signage shall comply with LEMC Section 17.196.180 requirements. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site.
22. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation.

Prior to Issuance of Grading Permits/Building Permits

23. Prior to issuance of a building permit, the applicant shall pay Development Impact Fees (DIF) and Multiple Species Habitat Conservation Plan (MSHCP) Fees per LEMC Section 16.85, at the rate in effect at the time of payment.
24. All roof mounted or ground support air conditioning units or other mechanical equipment incidental to development shall be architecturally screened or shielded by landscaping so that they are not visible from neighboring property or public streets. Any roof mounted central

swamp coolers shall also be screened, and the Community Development Director, prior to issuance of building permit shall approve screening plan.

25. The project shall meet all requirements of the Elsinore Valley Municipal Water District (EVMWD). The applicant shall submit water and sewer plans to the EVMWD and shall incorporate all district conditions and standards.
26. The property address (in numerals at least six inches high) shall be displayed near the entrance and be easily visible from the front of the subject property and public right-of-way.
27. The applicant shall construct trash enclosure(s) with a decorative roof to match the colors, materials and design of the project architecture.
28. Prior to issuance of a building permit, the Final Landscaping / Irrigation Detail Plans shall be submitted to the Community Development Department with appropriate fees, for review and approval by the Community Development Director or designee.
 - a. All planting areas shall have permanent and automatic sprinkler system with 50% plant coverage using a drip irrigation method.
 - b. All planting areas shall be separated from paved areas with a six inch (6") high and six inch (6") wide concrete curb. Runoff shall be allowed from paved areas into landscape areas.
 - c. Planting within fifteen feet (15') of ingress/egress points shall be no higher than twenty-four inches (24").
 - d. Landscape planters shall be planted with an appropriate parking lot shade tree pursuant to the LEMC and Landscape Design Guidelines.
 - e. No required tree planting bed shall be less than 5 feet wide.
 - f. Root barriers shall be installed for all trees planted within 10 feet of hardscape areas to include sidewalks.
 - g. Any transformers and mechanical or electrical equipment shall be indicated on landscape plan and screened as part of the landscaping plan.
 - h. The landscape plan shall provide for ground cover, shrubs, and trees and meet all requirements of the City's adopted Landscape Guidelines.
 - i. All landscaping and irrigation shall be installed within affected portion of any phase at the time a Certificate of Occupancy is requested for any building.
 - j. Final landscape plan must be consistent with approved site plan.
 - k. Final landscape plans to include planting and irrigation details and shall blend in with the existing shopping center.
 - l. Final landscape plans shall include drought tolerant planting consistent with Elsinore Valley Municipal Water District standards subject to plan check and approval by the City's landscape plan check consultant.
 - m. No turf shall be permitted.
29. Landscaping installed for the project shall be continuously maintained to the reasonable satisfaction of the Community Development Director. If it is determined that the landscaping is not being maintained, the Director of Community Development shall have the authority to require the property owner to bring the landscaping into conformance with the approved landscape plan. The continued maintenance of all landscaped areas shall be the responsibility of the developer or any successors in interest.

30. The proposed location of on-site construction trailers shall be approved by the Community Development Director or designee. A cash bond of \$1,000 shall be required for any construction trailers placed on the site and used during construction. Bonds will be released after removal of trailers and restoration of the site to an acceptable state, subject to approval of the Community Development Director or designee. Such trailer(s) shall be fully on private property and outside the public right of way.

BUILDING DIVISION

General Conditions

31. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes which are enforced at the time of building plan submittal.
32. Compliance with Code. All design components shall comply with applicable provisions of the 2022 edition of the California Building, Plumbing and Mechanical Codes: 2022 California Electrical Code; California Administrative Code, 2022 California Energy Codes, 2022 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.
33. Green Measures. The application shall provide 10% voluntary green measures on the project, as stipulated by the 2022 California Green Building Standards.
34. Disabled Access. Applicant shall provide details of all applicable disabled access provisions and building setbacks on plans to include:
- a. All ground floor units to be adaptable.
 - b. Disabled access from the public way to the entrance of the building.
 - c. Van accessible parking located as close as possible to the main entry.
 - d. Path of accessibility from parking to furthest point of common area.
 - e. Path of travel from public right-of-way to all public areas on site, such as club house, trash enclosure, tot lots and picnic areas.
35. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single-family residential projects. It takes 10 days to issue address and notify other agencies. Please contact Jonathan Ortonia at JOrtonia@lake-elsinore.org or (951) 667-4558.
36. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department to ensure the payment or exemption from School Mitigation Fees.
37. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.
38. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.

39. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.
40. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

At Plan Review Submittal

33. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
- a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
 - b. A Sound Transmission Control Study in accordance with the provisions of the Section 5.507, of the 2022 edition of the California Building Code.
 - c. A precise grading plan to verify accessibility for the persons with disabilities.
 - d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

Prior to Issuance of Grading Permit(s)

34. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.
35. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project. Asbestos report and lead base paint reports are required before demo permit will be issued.

Prior to Issuance of Building Permit(s)

36. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.

Prior to Beginning of Construction

37. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

ENGINEERING DEPARTMENT

GENERAL

38. All new submittals for plan check or permit shall be made using the City's online Citizen Self-Service Portal (CSSP).

39. All engineering plans shall be prepared by a licensed Civil Engineer using the City's standard title block.
40. All required soils, geology, hydrology and hydraulic and seismic reports shall be prepared by a licensed Civil Engineer and Soils Engineer, as applicable.
41. All slopes and landscaping within the public right-of-way shall be maintained by the property owner, owner's association, firms contracted by the property owner's association, or another maintenance entity approved by the City Council.
42. In accordance with the City's Franchise Agreement for waste disposal and recycling, the applicant shall be required to contract with CR&R, Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated both during cleaning, demolition, clear and grubbing or all other phases of construction and during occupancy.
43. Applicant shall submit a detailed hydrology and hydraulic study for review for the sufficient containment and conveyance of the storm water to a safe and adequate point as approved by the City Engineer.
44. The site will accommodate all construction activity, building activity, vehicles, etc. No staging on public streets, or private property belonging to others shall be conducted without the written permission of the property owner.
45. Minimum good housekeeping and erosion and sediment control Best Management Practices (BMPs) shall be implemented.

FEES

46. Applicant shall pay all applicable permit application and Engineering assessed fees, including without limitation plan check and construction inspection fees, at the prevalent rate at time of payment in full.
47. Applicant shall pay all applicable Mitigation and Development Impact Fees at the prevalent rate at time of payment in full. Fees are subject to change. Mitigation and Development Impact Fees include without limitation:
 - Traffic Infrastructure Fee (TIF) – Due prior to issuance of Grading Permit
 - Transportation Uniform Mitigation Fee (TUMF) – Due prior to Occupancy
 - i. Submit to WRCOG at: <https://wrcog.us/199/Administration-Fees>
 - ii. Fee subject to change April 2025.
 - Master Plan of Drainage Fee (West Lake Zone) – Due prior to issuance of Grading Permit
 - i. Subject to yearly escalation beginning July 1, 2025.

Fees are assessed at the prevalent rate at the time of payment in full. Fees are subject to change.

LAND DIVISION

48. Dedication of 10-foot road easement to the City along property frontage on Lakeshore Drive will be required such that the distance between the centerline and property line is 60 feet.

49. All required public right-of-way easements shall be prepared by a licensed Land Surveyor and shall be submitted to the Engineering Department for review and approval prior to issuance of Building Permit.

STORM WATER MANAGEMENT / POLLUTION PREVENTION / NPDES

Design

50. The project is responsible for complying with the Santa Ana Region National Pollutant Discharge Elimination System (NPDES) Permits as warranted based on the nature of development and/or activity.

Post-Construction

51. The project is responsible for complying with the Santa Ana Region National Pollutant Discharge Elimination System (NPDES) Permits as warranted based on the nature of development and/or activity.
52. A Final Water Quality Management Plan (WQMP) will be required and shall be prepared using the Santa Ana Region of Riverside County's latest Guidance Document and approved template and submitted for review and approval to the City. The Final WQMP shall be approved by the City prior to grading plan approval or issuance of any permit for construction.
53. The Final WQMP shall document the following:
- a. Detailed site and project description.
 - b. Potential stormwater pollutants.
 - c. Post-development drainage characteristics.
 - d. Low Impact Development (LID) BMP selection and analysis.
 - e. Structural and non-structural source control BMPs.
 - f. Treatment Control BMPs.
 - g. Site design and drainage plan (BMP Exhibit).
 - h. Documentation of how vector issues are addressed in the BMP design, operation and maintenance.
 - i. GIS Decimal Minute Longitude and Latitude coordinates for all LID and Treatment Control BMP locations.
 - j. Hydraulic Conditions of Concern (HCOC) – demonstrate that discharge flow rates, velocities, duration and volume for the post construction condition from a 2-year, 24-hour rainfall event will not cause adverse impacts on downstream erosion and receiving waters, or measures are implemented to mitigate significant adverse impacts downstream public facilities and water bodies. Evaluation documentation shall include pre- and post-development hydrograph volumes, time of concentration and peak discharge velocities, construction of sediment budgets, and a sediment transport analysis. If HCOC applies, the project shall implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes and channels; and minimize significant impacts from urban runoff. (Note the facilities may need to be larger due to flood mitigation for the 10-year, 6- and 24-hour rain events).
 - k. Operations and Maintenance (O&M) Plan and Agreement (using City approved form and/or CC&Rs) as well as documentation of formation of funding district for long term maintenance costs.

54. Parking lot landscaping areas shall be designed to provide for treatment, retention or infiltration of runoff.
55. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
56. Project trash enclosure shall be covered, bermed, and designed to divert drainage from adjoining paved areas and regularly maintained.
57. If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Department.
58. All storm drain inlet facilities shall be appropriately marked "Only Rain in the Storm Drain" using the City authorized marker.
59. The project shall use either volume-based and/or flow-based criteria for sizing BMPs in accordance with NPDES Permit Provision XII.D.4.
60. The project site shall implement full trash capture methods/devices approved by the Regional Water Quality Control Board. This shall include installation of connector pipe screens on all onsite and offsite catch basins to which the project discharges.
61. All restaurants and commercial food handling facilities must provide an area for the washing/steam cleaning of equipment and accessories. The area must be self-contained, equipped with a grease trap, and properly connected to a sanitary sewer. If the wash area is located outdoors, it must be covered, paved have secondary containment, and be connected to the sanitary sewer or other appropriately permitted disposal facility. Plan Requirements: The Owner/Applicant shall incorporate these food facility requirements into project design and depict on plans, including detail plans as needed.

Construction

62. A Storm Water Pollution Prevention Plan (SWPPP) (as required by the NPDES General Construction Permit) and compliance with the Green Building Code for sediment and erosion control are required for this project.
63. Prior to grading or building permit for construction or demolition and/or weed abatement activity, projects subject to coverage under the NPDES General Construction Permit shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the notification of the issuance of a Waste Discharge Identification (WDID). A copy of the SWPPP shall be kept at the project site, updated, and be available for review upon request.
64. Erosion & Sediment Control – Prior to the issuance of any grading or building permit for construction or demolition, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water quality regulations for grading and construction activities.

Post-Construction

65. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
- a. Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.
 - b. Provide signed, notarized certification from the Engineer of Work that the structural BMPs identified in the project's WQMP are installed in conformance with approved plans and specifications and operational.
 - c. Submit a copy of the fully executed, recorded City approved Operations and Maintenance (O&M) Plan and Agreement for all structural BMPs or a copy of the recorded City approved CC&R.
 - d. The Operation and Maintenance (O&M) Plan and Agreement and/or CC&R's shall: (1) describe the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identify the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; (3) describe the mechanism for funding the long-term operation and maintenance of the referenced BMPs; and (4) provide for annual certification for water quality facilities by a Registered Civil Engineer. The City format shall be used.
 - e. Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan or CC&R's attached) are available for each of the initial occupants.
 - f. Provide documentation of annexation into a CFD for funding facilities to be maintained by the City.
 - g. Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the Engineer of Work dated 12 months after the Certificate of Occupancy will be considered in lieu of a Special Investigation by the City.
 - h. Provide the City with a digital .pdf copy of the Final WQMP.

UTILITIES

66. All arrangements for relocation of utility company facilities (power poles, vaults, etc.) out of the roadway shall be the responsibility of the applicant, property owner, and/or his agent. Overhead utilities (34.5 kV or lower) shall be undergrounded (LEMC Section 16.64).
67. Submit a "Will Serve" letter to the City Engineering Department from the applicable water agency stating that water and sewer arrangements have been made for this project and specify the technical data for the water service at the location, such as water pressure, volume, etc. Will Serve letters shall be provided prior to issuance of Grading Permit.

IMPROVEMENTS

68. All drainage facilities in this project shall be constructed to Riverside County Flood Control District Standards. All public storm drain improvements shall be constructed prior to certificate of occupancy.
69. A drainage study shall be provided. The study shall identify the following: identify storm water runoff from and upstream of the site; show existing and proposed off-site and on-site drainage

facilities; and include a capacity analysis verifying the adequacy of the facilities. The drainage system shall be designed to ensure that runoff from a 10-year storm of 6 hours and 24 hours duration under developed condition is equal or less than the runoff under existing conditions of the same storm frequency. Both 6-hour and 24-hour storm duration shall be analyzed to determine the detention.

70. All natural drainage traversing the site shall be conveyed through the site, or shall be collected and conveyed by a method approved by the City Engineer. All off-site drainage, if different from historic flow, shall be conveyed to a public facility.
71. Roof drains shall not be allowed to outlet directly through coring in the street curb. Roofs should drain to a landscaped area.
72. The site shall be planned and developed to keep surface water from entering buildings (California Green Building Standards Code 4.106.3).
73. All existing storm drain inlet facilities adjacent to the subject properties shall be retrofitted with a storm drain filter; all new storm drain inlet facilities constructed by this project shall include a storm drain filter.

Permitting/Construction

74. An Encroachment Permit shall be obtained prior to any work on City right-of-way. The developer shall submit the permit application, required fees, and executed agreements, security and other required documentation prior to issuance.

PRIOR TO GRADING PERMIT

Design

75. A grading plan signed and stamped by a California Registered Civil Engineer shall be submitted for City review and approval for all addition and/or movement of soil (grading) on site. The plan shall include separate sheets for erosion control, haul route and traffic control. The grading submittal shall include all supporting documentation and be prepared using City standard title block, standard drawings and design manual.
76. All grading plan contours shall extend to minimum of 50 feet beyond property lines to indicate existing drainage pattern.
77. The grading plan shall show that no structures, landscaping, or equipment are located near the project entrances that could reduce sight distance. The grading plan shall show that no structures, landscaping, or equipment are located near the project entrances that could reduce sight distance.
78. If the grading plan identifies alterations in the existing drainage patterns as they exit the site, a Hydrology and Hydraulic Report for review and approval by City Engineer shall be required prior to issuance of grading permits. All grading that modifies the existing flow patterns and/or topography shall be in compliance with Federal, State and Local law and be approved by the City Engineer.

79. The applicant shall obtain all necessary off-site easements and/or permits for off-site grading and the applicant shall accept drainage from the adjacent property owners.
80. Applicant shall mitigate to prevent any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
81. All natural drainage traversing the site (historic flow) shall be conveyed through the site in a manner consistent with the historic flow or to one or a combination of the following: to a public facility; accepted by adjacent property owners by a letter of drainage acceptance; or conveyed to a drainage easement as approved by the City Engineer.

Permitting/Construction

82. Applicant shall execute and submit grading and erosion control agreement, post grading security, and pay permit fees as a condition of grading permit issuance.
83. No grading shall be performed without first having obtained a Grading Permit. A grading permit does not include the construction of retaining walls or other structures for which a Building Permit is required.
84. A preconstruction meeting with the City Engineering Inspector (Engineering Department) is required prior to commencement of any grading activity.
85. Prior to commencement of grading operations, Applicant shall provide to the City a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to the review and approval of the City Engineer. Haul route shall be submitted prior to issuance of a grading permit. Hauling in excess of 5,000 cubic yards shall be approved by the City Council (LEMC Section 15.72.065). All required documents shall be submitted and approved prior to scheduling for City Council.
86. Import/Export sites located within the Lake Elsinore City limits must have an active grading permit.
87. Applicant to provide to the City a video record of the condition of all proposed public City haul roads. In the event of damage to such roads, the applicant shall pay full cost of restoring public roads to the baseline condition. A bond may be required to ensure payment of damages to the public right-of-way, subject to approval of the City Engineer.
88. All grading shall be done under the supervision of a geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City.
89. Review and approval of the project sediment and erosion control plan shall be completed. As warranted, a copy of the current SWPPP shall be kept at the project site and available upon request.
90. Approval of the project Final Water Quality Management Plan (WQMP) for post construction shall be received prior to issuance of a grading permit.
91. Applicant shall obtain applicable environmental clearance from the Planning Department and submit applicable clearance document to the Engineering Department. This approval shall

specify that the project complies with any and all required environmental mitigation triggered by the proposed grading activity.

PRIOR TO BUILDING PERMIT

92. Provide soils, geology and seismic report, including recommendations for parameters for seismic design of buildings, and walls prior to building permit.
93. Any dedications and easements shall be recorded with the recorded copy provided to the City prior to issuance of the building permit.

PRIOR TO OCCUPANCY / FINAL APPROVAL

94. All public improvements shall be completed in accordance with the approved plans or as condition of this development to the satisfaction of the City Engineer prior to issuance of first occupancy.
95. Proof of acceptance of maintenance responsibility of slopes, open spaces, landscape areas, and drainage facilities shall be provided.
96. Applicant shall provide a digital copy of the recorded Covenants, Conditions, and Restrictions (CC&Rs) to the Engineering Department.
97. As-built plans for all approved plan sets shall be submitted for review and approval by the City. The developer/owner is responsible for revising the original mylar plans. Once the original mylars have been approved, the developer shall provide the City with a digital copy of the "as-built" plans in .tif format.
98. In the event of the damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
99. Final soil report showing compliance with recommendations, compaction reports, grade certifications, monument certification (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted in .tif format on a USB flash drive or electronically to the Engineering Department before final inspection will be scheduled.
100. All required public right-of-way dedications, easements, vacations, and easement agreement(s) shall be recorded with a recorded copy provided to the City prior to first occupancy.
101. Applicant shall pay all outstanding applicable processing and development fees prior to occupancy and/or final approval.
102. Applicant shall submit documentation pursuant to City's *Security Release* handout.
103. Applicant shall submit as-built all Engineering Department approved project plan sets. After City approval of paper copy, applicant is responsible for revising the original mylar plans. Once the original mylars have been approved, the developer shall provide the City with a digital copy of the "as-built" plans in .tif format.

CITY OF LAKE ELSINORE FIRE MARSHAL

104. Deferred submittals, for any fire systems, shall be identified on all future plans.

105. The applicant or developer shall provide fire hydrants in accordance with the following:

- a. Prior to placing any combustibles on site, provide an approved water source for firefighting purposes.
- b. Required fire flow is estimated to be 1500 GPM at 20 PSI for a 2-hour duration based on 2022 California Fire Code and 980 square foot building area with Type V-B construction and buildings having a fire sprinkler system. The minimum fire flow shall be based on the largest single structure on the parcel.

106. Prior to issuance of Building Permits, the applicant/developer shall provide the Office of the Fire Marshal with an approved site plan for Fire Lanes and signage. (CFC 501.3)

107. Each parcel shall have independent access to the circulating roadway. Shared access shall be documented, and reciprocal access agreements or dedicated access shall be established.

108. The minimum inside turning radius for an access road shall be 24 feet. The minimum outside turning radius shall be 45 feet. As fire apparatus are unable to negotiate tight "S" curves, a 60-foot straight leg must be provided between these types of compound-turns or the radii and/or road width must be increased accordingly.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

109. Prior to issuance of a grading permit, the applicant shall submit an application to the Department of Administrative Services to initiate the annexation process into the Community Facilities District No. 2015-2 (Maintenance Services) or current Community Facilities District in place at the time of annexation to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, street maintenance, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. The annexation process shall be completed prior to issuance of the first certificate of occupancy for the project. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project with respect to Maintenance Services. Applicant shall make a non-refundable deposit of \$15,000 or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the City of Lake Elsinore Planning Commission on _____. I also acknowledge that all Conditions shall be met as indicated.

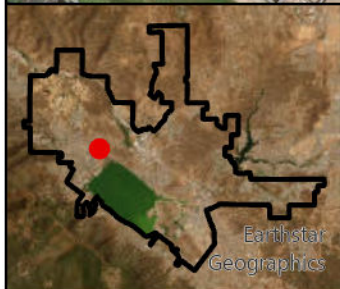
Date: _____

Applicant's Signature: _____

Print Name: _____

Address: _____

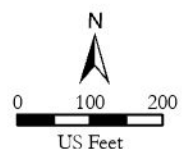
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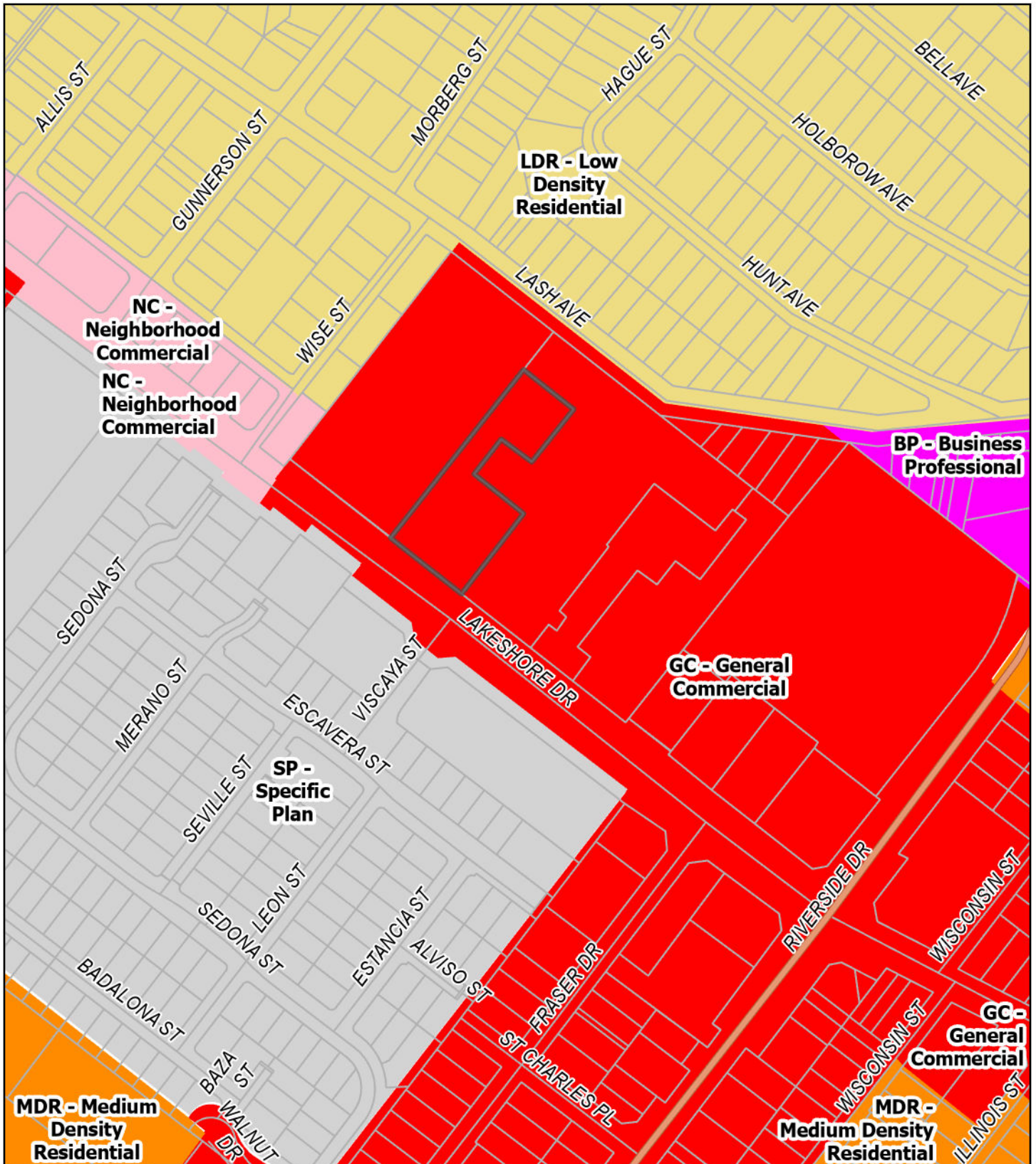


Aerial Map

Planning Application No. 2024-04
CUP No. 2024-03, CDR No. 2024-01

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet





**MDR - Medium
Density
Residential**

**NC -
Neighborhood
Commercial
NC -
Neighborhood
Commercial**

**LDR - Low
Density
Residential**

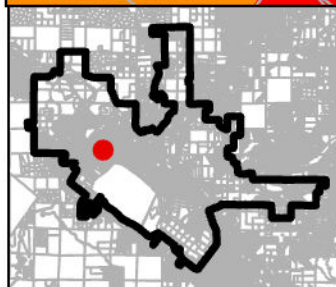
**BP - Business
Professional**

**GC - General
Commercial**

**SP -
Specific
Plan**

**GC -
General
Commercial**

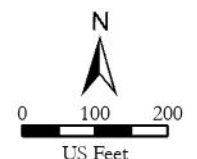
**MDR -
Medium Density
Residential**

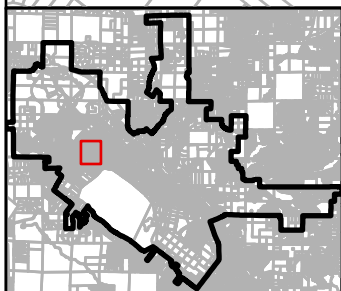


General Plan Exhibit

Planning Application No. 2024-04
CUP No. 2024-03, CDR No. 2024-01

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

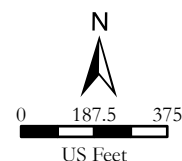


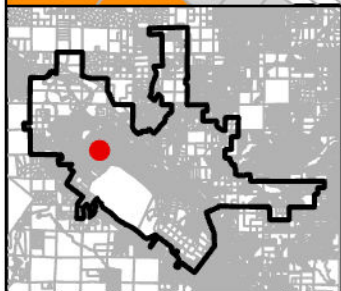


Vicinity Map

Planning Application No. 2024-04
CUP No. 2024-03, CDR No. 2024-01

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

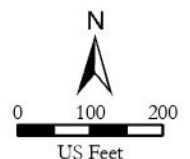


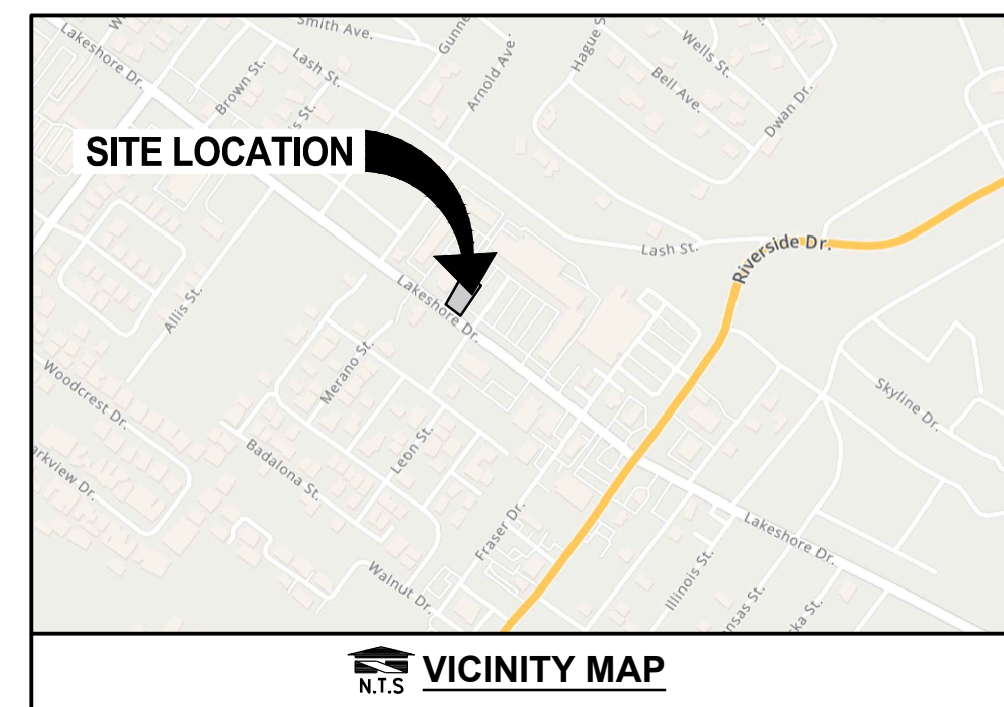


Zoning Exhibit

Planning Application No. 2024-04
CUP No. 2024-03, CDR No. 2024-01

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet





NAME: DUTCH BROS. COFFEE - LAKE ELSINORE, CA
ADDRESS: 16758 LAKESHORE DRIVE
LAKE ELSINORE, CA

APN: 378-290-015

PROJECT PROPOSED PARCEL AREA = 34,280 SF (0.787 ACRES)

ZONING: NEIGHBORHOOD COMMERCIAL (C-1)

STANDARD VEHICLE PARKING SPACES REQUIRED - ONE (1) SPACE FOR EACH 45 SF OF CUSTOMER AREA + (1) SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA

GROSS FLOOR AREA = 980 SQ. FT.
CUSTOMER WALKWAY CANOPY AREA = 330 SQ. FT.

REQUIRED PARKING = 13 SPACES

TOTAL VEHICLE PARKING SPACES = 25

VEHICLE QUEUING = 18
VEHICLE STORAGE LENGTH = $\pm 372'$
TRASH ENCLOSURE = 12' X 20'

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, CITY OF LAKE ELSINORE AND DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP NO. 15591, IN THE CITY OF ELSINORE, COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA, ON FILE IN BOOK 82, PAGES 72 AND 73 OF MAPS, IN THE OFFICE
OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 378-290-015

[illegible]

APN. 378290016
ZONE: C1 - NEIGHBORHOOD
COMMERCIAL

CONTACT: BRADEN BERNARDS
COLE VALLEY PARTNERS
TEL: (503) 228-2100
EMAIL: BRADEN.BERNARDS@CVPRE.COM

BARGHAUSEN CONSULTING ENGINEERS, INC
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: HAL P. GRUBB, P.E.
EMAIL: HGRUBB@BARGHAUSEN.COM
WEBSITE: [HTTP://WWW.BARGHAUSEN.COM](http://WWW.BARGHAUSEN.COM)

KRAZAN & ASSOCIATES, INC.
GEOTECHNICAL ENGINEERING DIVISION
1100 OLYMPIC DRIVE, STE 103
CORNOA, CA 92881
TEL: (951) 273-1011
CONTACT: JORGE A. PELAYO, P.E.
WEBSITE: [HTTPS://WWW.KRAZAN.COM/SITE](https://www.krazan.com/site)

DUTCH BROS COFFEE
110 SW 4TH STREET
GRANTS PASS, OR 97526
CONTACT: JOHN CAGLIA
TEL: (714) 883-9092
EMAIL: JOHN.CAGLIA@DUTCHBROS.COM
WEBSITE: [HTTPS://WWW.DUTCHBROS.COM](https://www.dutchbros.com)

TL GROUP
1442 IRVINE BLVD, SUITE 208
TUSTIN, CA 92780
TEL: (714) 982-4057
WEBSITE: WWW.TLGROUPCONSULTANTS.COM

1. PROPOSED 980 SF DUTCH BROS COFFEE.
2. PROPOSED TRASH ENCLOSURE.
3. PROPOSED CONCRETE BARRIER CURB, TYPICAL.
4. PROPOSED ASPHALT PAVEMENT.
5. PROPOSED CONCRETE PAVEMENT.
6. PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
7. PROPOSED PAVEMENT MARKING.
8. PROPOSED LANDSCAPE AREA, TYPICAL.
9. ACCESSIBLE PATH, TYPICAL.
10. PROPOSED ADA ACCESSIBLE RAMP.
11. PROPOSED BOLLARD.
12. PROPOSED SIGNAGE.
13. PROPOSED SAFETY FENCE.
14. PROPOSED CONCRETE SWALE.
15. PROPOSED SAWCUT LIMITS, TYPICAL.
16. EXISTING CURB TO REMAIN.
17. PROPOSED 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL.
18. PROPOSED DIRECTIONAL PAVEMENT MARKINGS, TYPICAL.
19. PROPOSED CURB CUT.
20. PROPOSED STOP SIGN AND STOP BAR.
21. PROPOSED "KEEP CLEAR" PAVEMENT MARKING.
22. PROPOSED CUSTOMER WALK-UP CANOPY AREA.

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

PRELIMINARY SHEET INDEX	
Sheet Number	Sheet Title
1 OF 2	PRELIMINARY SITE AND UTILITY PLAN
2 OF 2	GRADING AND DRAINAGE PLAN

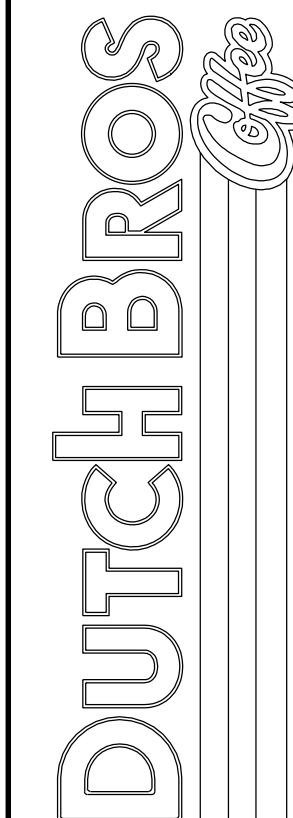
UTILITY REPRESENTATIVES		
UTILITY	REPRESENTATIVES	PHONE
GAS	SOUTHERN CALIFORNIA GAS COMPANY	(800) 427-2000
ELECTRICITY	SOUTHERN CALIFORNIA EDISON	(800) 655-4555
WATER	ELSINORE VALLEY MUNICIPAL WATER DISTRICT (EVMWD)	(951) 674-3146
FIRE	RIVERSIDE COUNTY FIRE DEPARTMENT	(951) 940-6900
SEWER	ELSINORE VALLEY MUNICIPAL WATER DISTRICT (EVMWD)	(951) 674-3146
DRAINAGE	CITY OF LAKE ELSINORE	(951) 674-3124
U.S.A.	N/A	(800) 227-2600

LEGEND

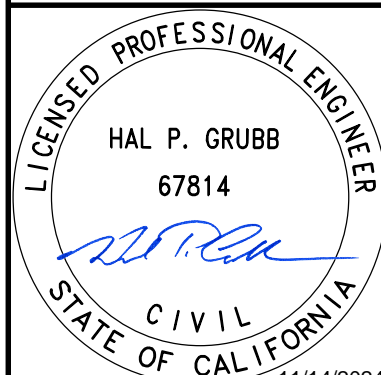
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

PRELIMINARY SITE AND UTILITY PLAN
16758 LAKESHORE DRIVE
LAKE ELSINORE, CALIFORNIA

Title:



For:



Scale:

Designed RAG

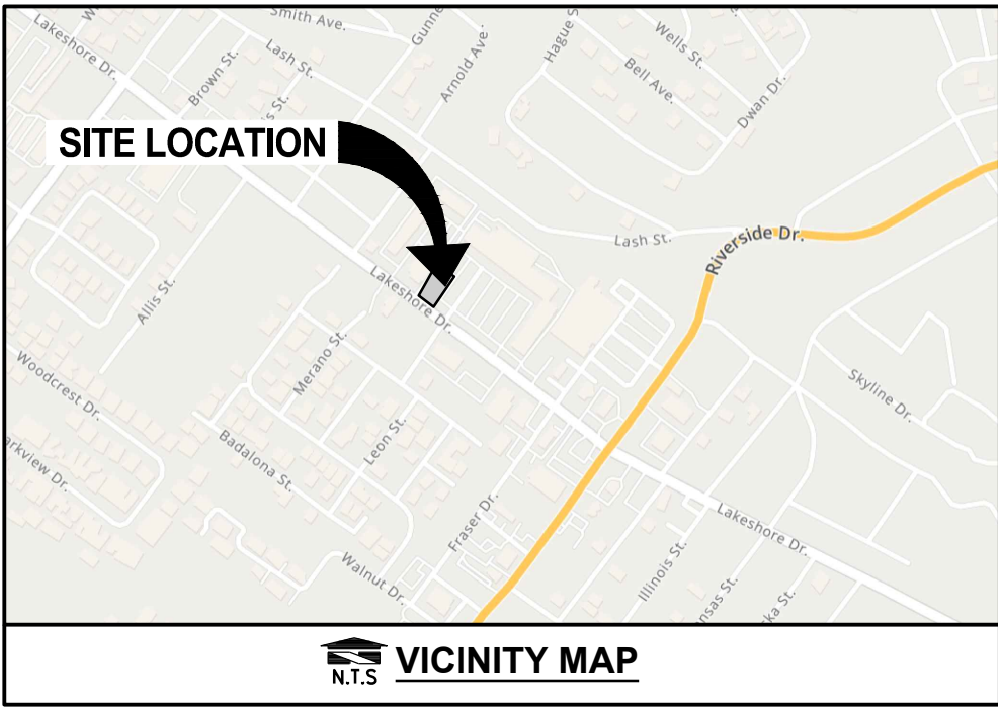
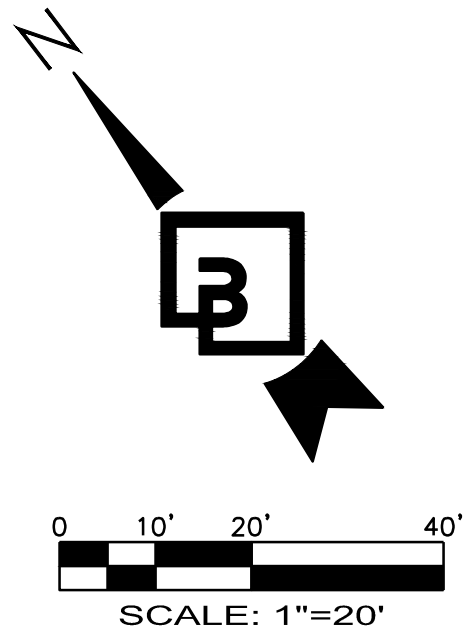
Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425-251-6222 **barghausen.com**

ob Number

Sheet
1 OF 2

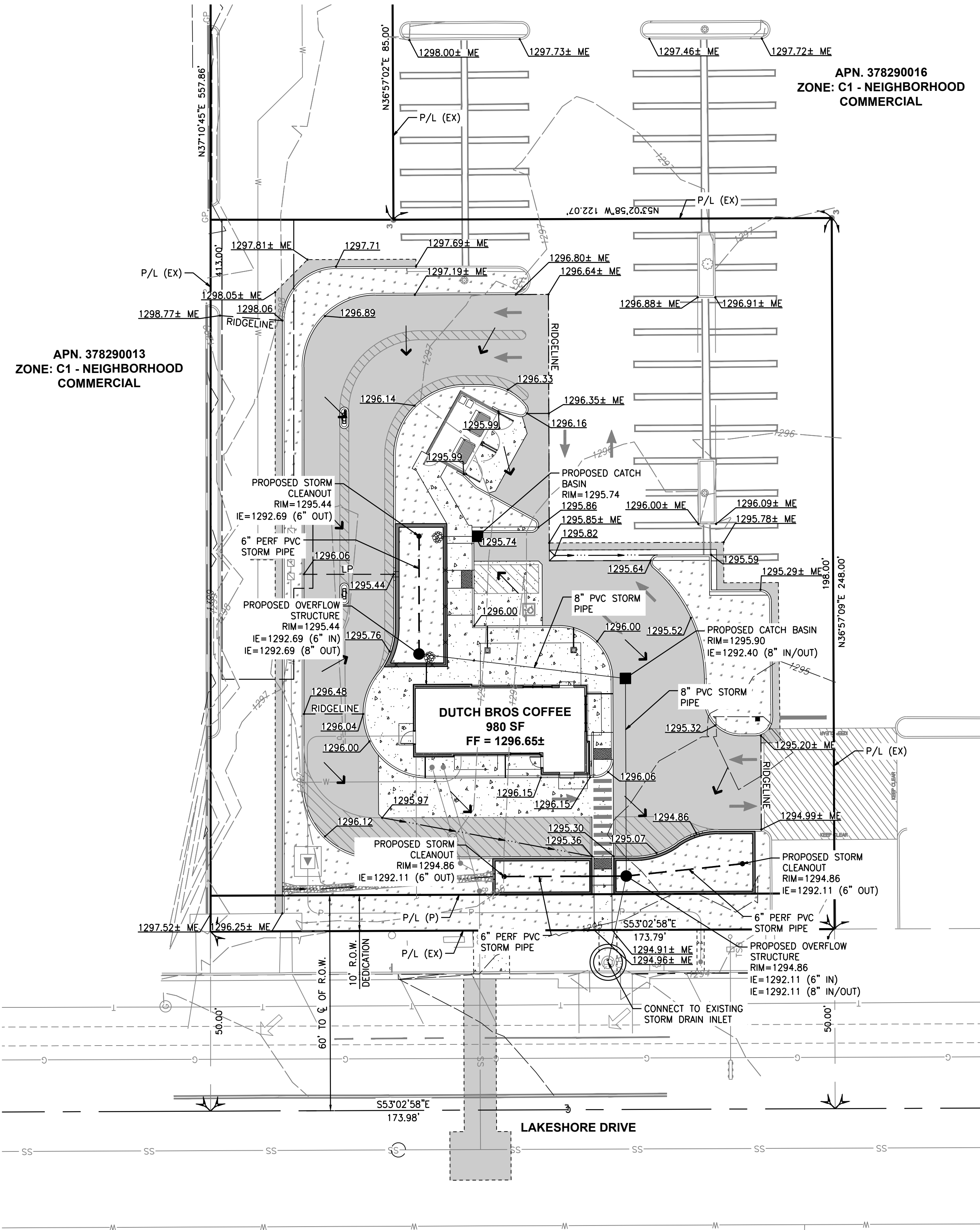
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DUTCH BROS. COFFEE - CA5808 - LAKE ELSINORE, CA
GRADING AND DRAINAGE PLAN



APN. 378290013
ZONE: C1 - NEIGHBORHOOD
COMMERCIAL

APN. 378290016
ZONE: C1 - NEIGHBORHOOD
COMMERCIAL



BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF LAKESHORE DRIVE, BEING N 53° 02' 58" W AS SHOWN ON PARCEL MAP 15591 FILED IN BOOK 82, PAGES 72 AND 73, RECORDS OF RIVERSIDE COUNTY.

BENCH MARK:

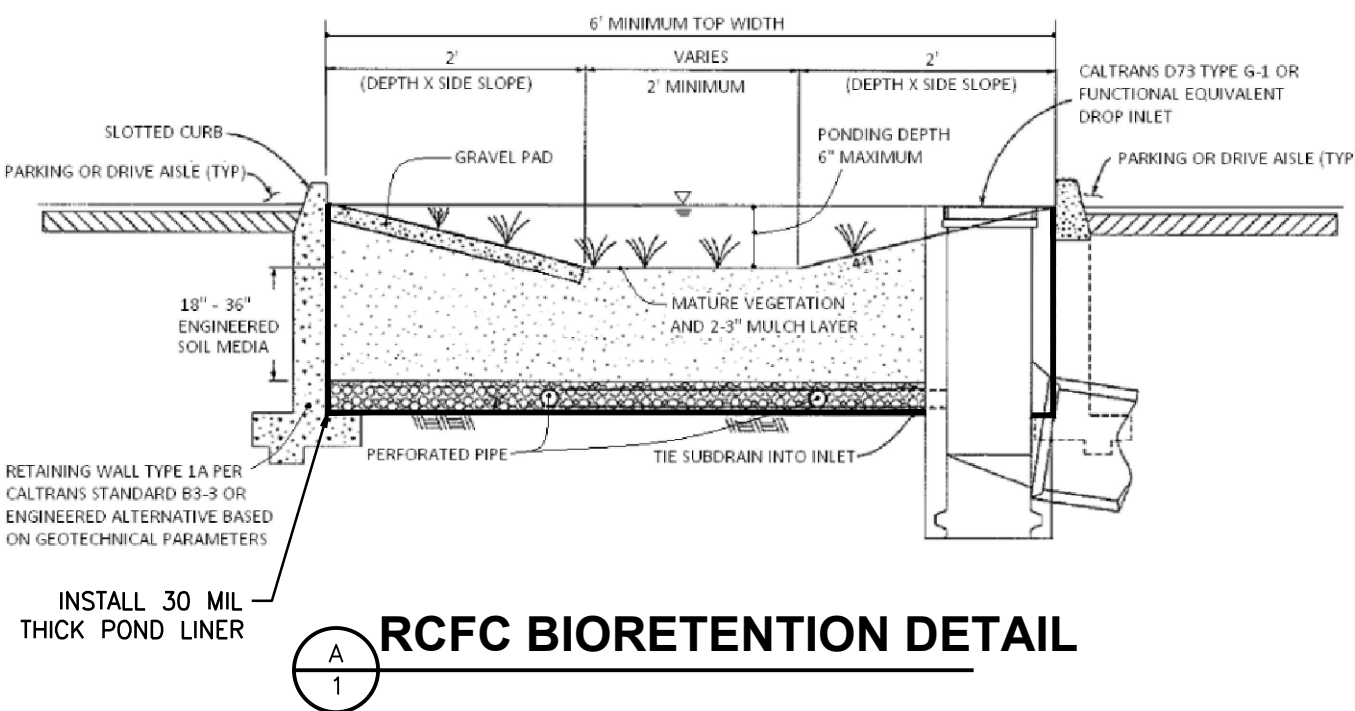
COUNTY OF RIVERSIDE BENCHMARK NO. BM 13-C-93
ELEVATION = 1,280.13 FEET 1995
CAL D.O.T. BRASS DISK IN WESTERLY CURB RIVERSIDE DRIVE (RTE. 74) 29 FEET NORTHERLY OF NORTHERLY CURB RETURN AT LAKESHORE DRIVE, 9 FEET SOUTHERLY OF CENTER OF 15 FOOT CURB INLET.

ESTIMATED EARTHWORK QUANTITIES:

CUT: 300 CY
FILL: 0 CY
NET: 300 CY (CUT)
AREA TO BE DISTURBED = 0.47 ACRES

- THE QUANTITIES LISTED DO INCLUDE PROPOSED PAVING SECTIONS AS LISTED BY THE GEOTECHNICAL ENGINEER.
- EARTHWORK QUANTITIES ARE APPROXIMATE AND DO NOT ACCOUNT FOR CLEARING AND GRUBBING, TRENCHING, OR OVER EXCAVATION ETC. AS REQUIRED BY THE GEOTECHNICAL REPORT.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING SITE CONDITIONS AND CALCULATE THEIR OWN EARTH WORK QUANTITIES FOR THE PROJECT PRIOR TO BID

- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE DATED: MARCH 26, 2024
PREPARED BY: KRAZAN & ASSOCIATES, INC.



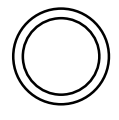
GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
- CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
- CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.

GRADING PLAN LEGEND:

FF - FINISHED FLOOR
ME - MATCH EXISTING
LP - LOW POINT

EXISTING CONTOURS

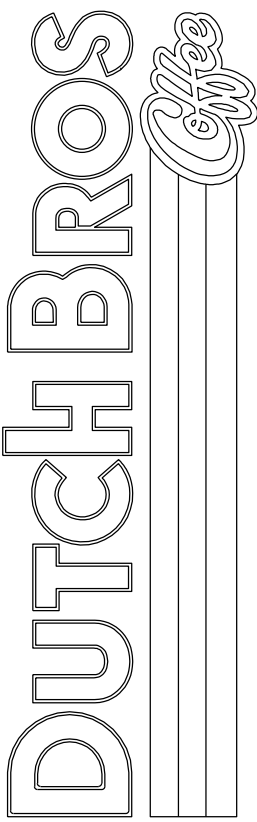


UTILITY POTHOLING NOTE:

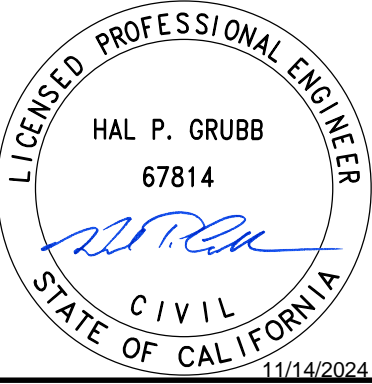
THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

GRADING AND DRAINAGE PLAN
16758 LAKESHORE DRIVE
LAKE ELSINORE, CALIFORNIA

Title:



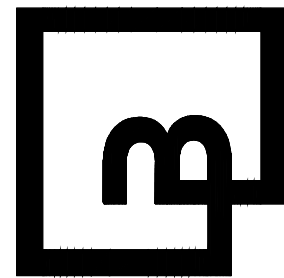
For:



Scale: Horizontal 1" = 20' Vertical N/A

Designed: RAG Draw: RAG Checked: AEM Approved: HPG Date: 05/06/24

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18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number
23317

Sheet
2 OF 2

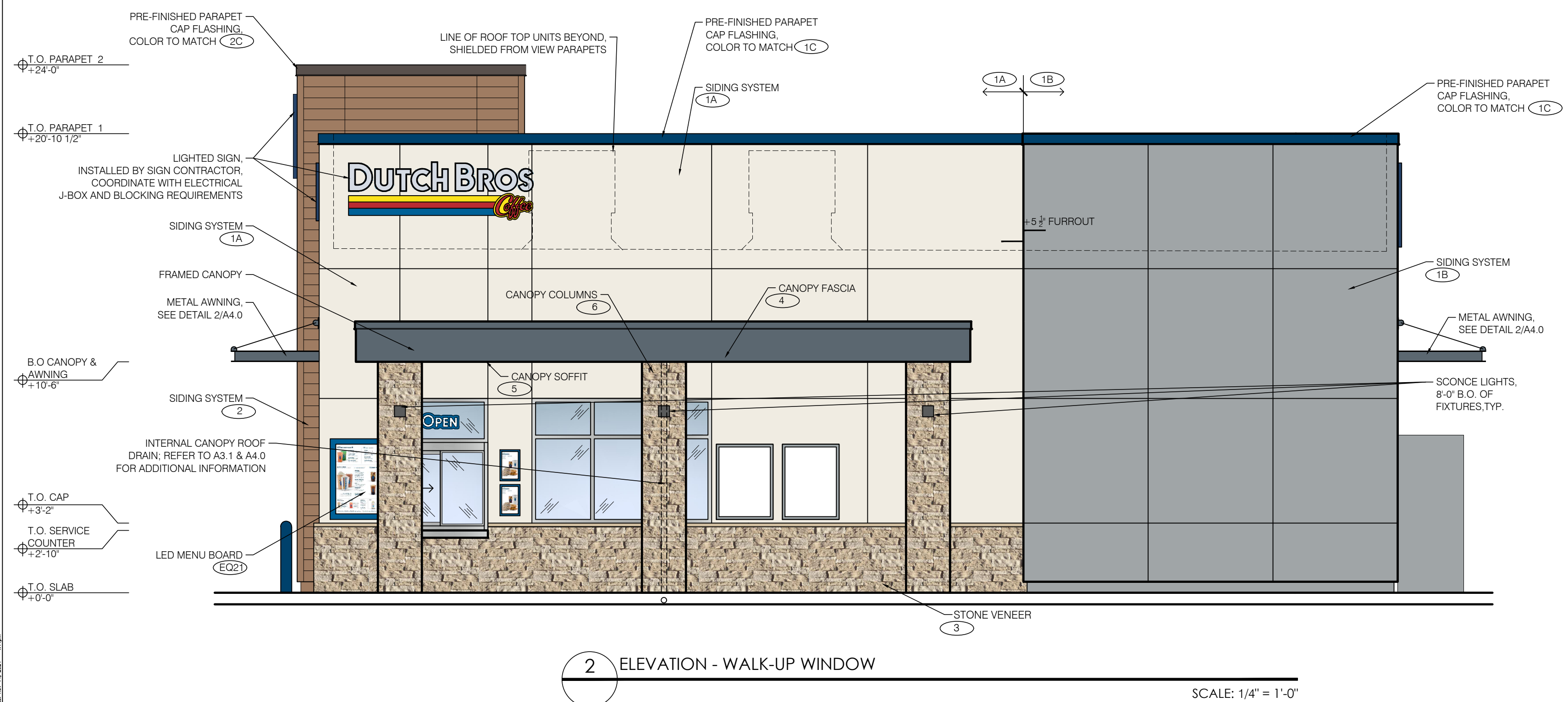
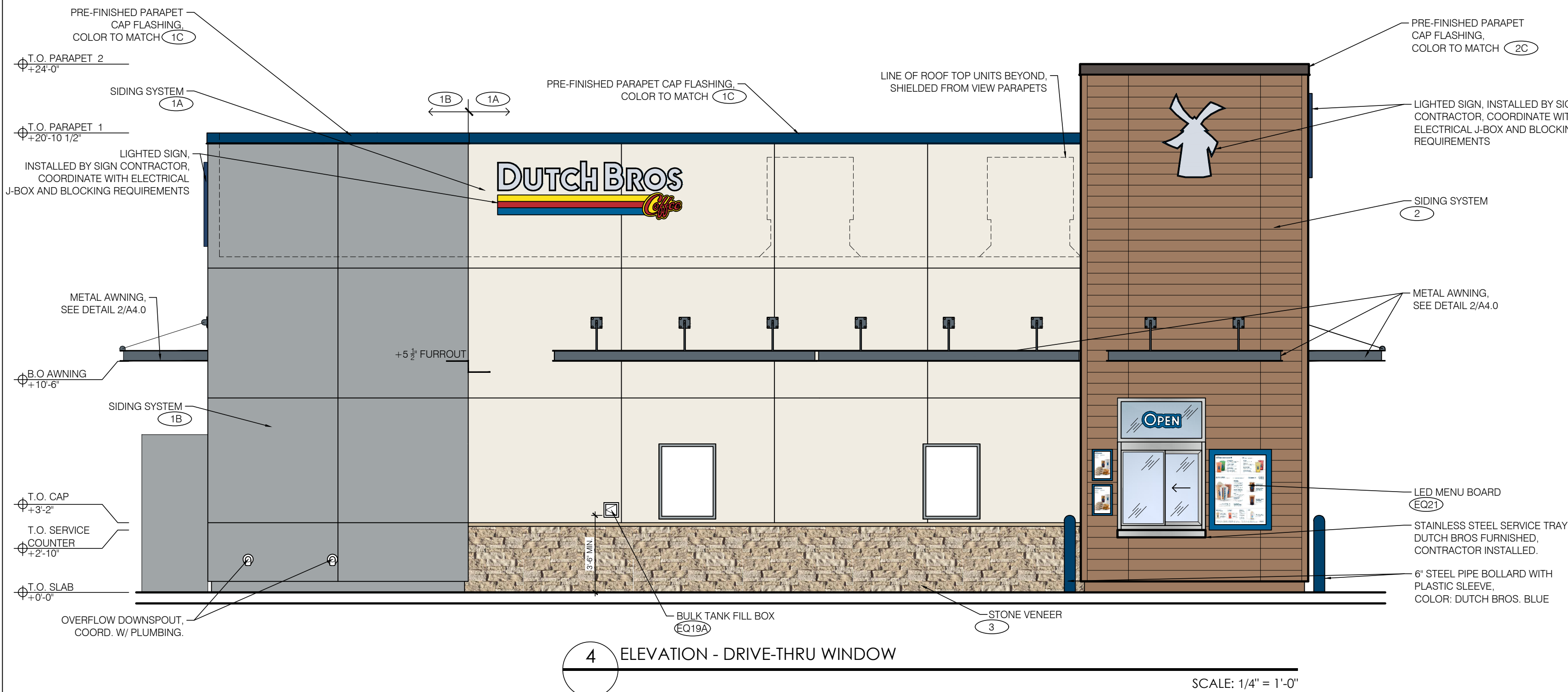
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Final Design USA, LLC

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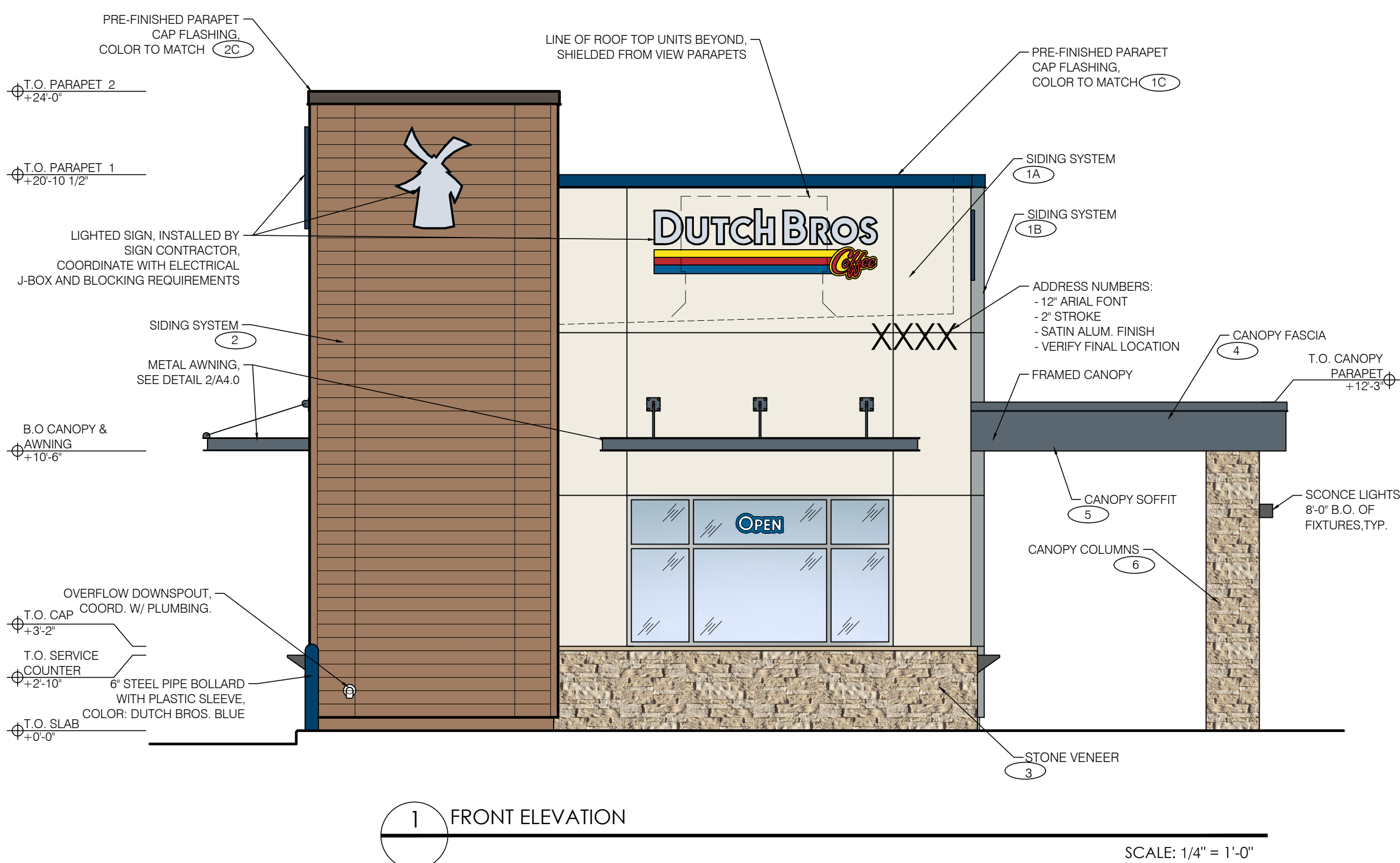
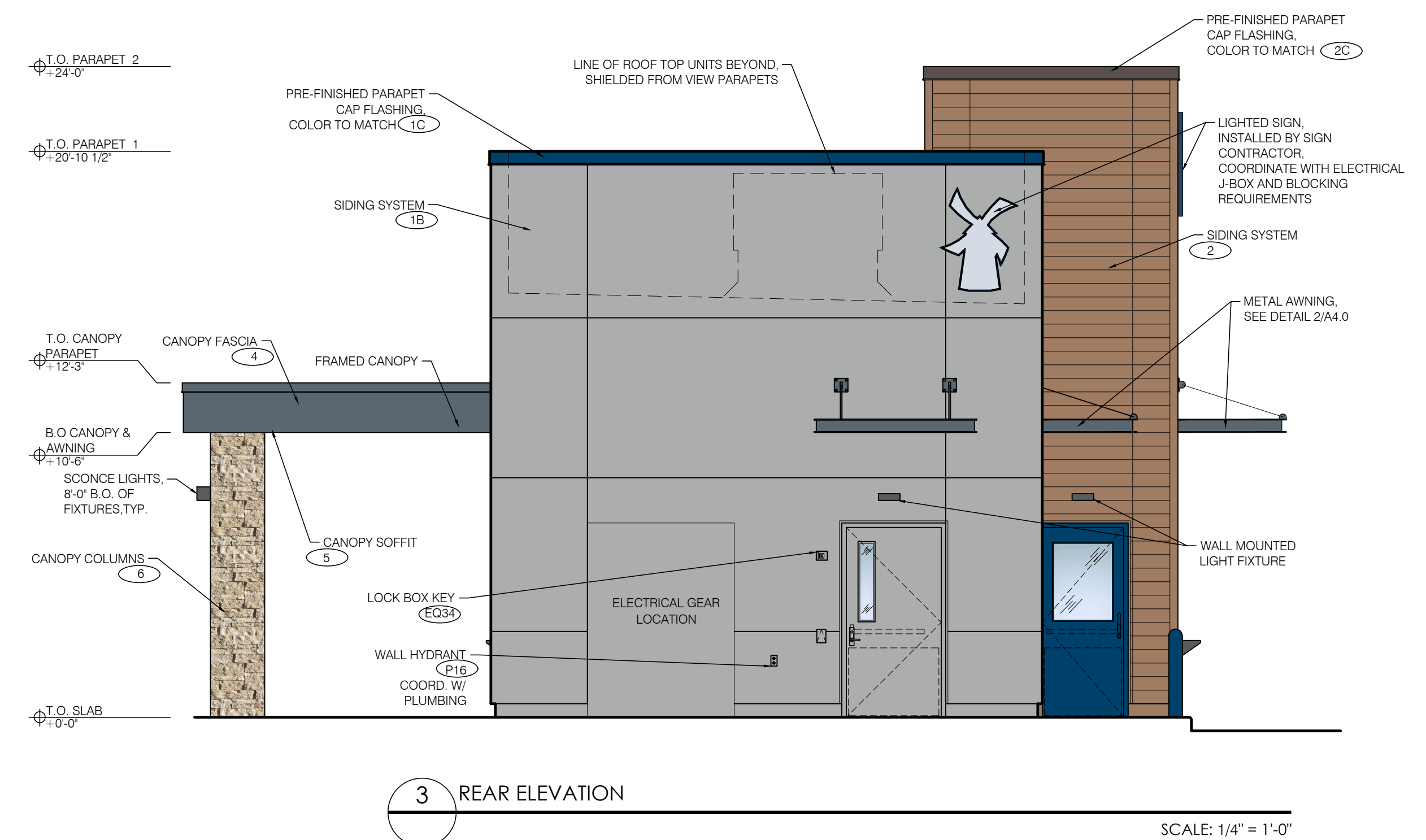
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EXTERIOR FINISH SCHEDULE				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	SW7551 - GREEK VILLA	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1B	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	SW7073 - NETWORK GRAY	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1C	METAL FASCIA		METAL FASCIA	COLOR TO MATCH DB BLUE
ZONE 2 (TOWER) (Z2)				
2	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD - AWP-3030 - CEDAR W/ OPEN OUTSIDE CORNERS	ORIENTATION: HORIZONTAL
2C	METAL FASCIA	WESTERN STATES METAL ROOFING		COLOR TO MATCH DEC 756 WEATHERED BROWN
ZONE 3 (3'-2" BASE)				
3	STONE VENEER	ELDORADO STONE	CUT COARSE STONE - SEASHELL	SILL TO MATCH
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x6, T&G, 3/8" REVEAL
6	COLUMNS	ELDORADO STONE	CUT COARSE STONE - SEASHELL	
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO MATCH BODY MATERIAL PER ELEVATION				



1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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Project No: CA5808
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
16758 LAKESHORE DR.
LAKE ELSINORE, CA 92530

DATE: 04/01/2024		
REV:	DATE:	DESCRIPTION:

SHEET NAME:

BUILDING ELEVATIONS
COLOR

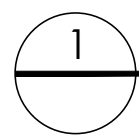
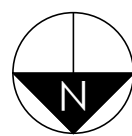
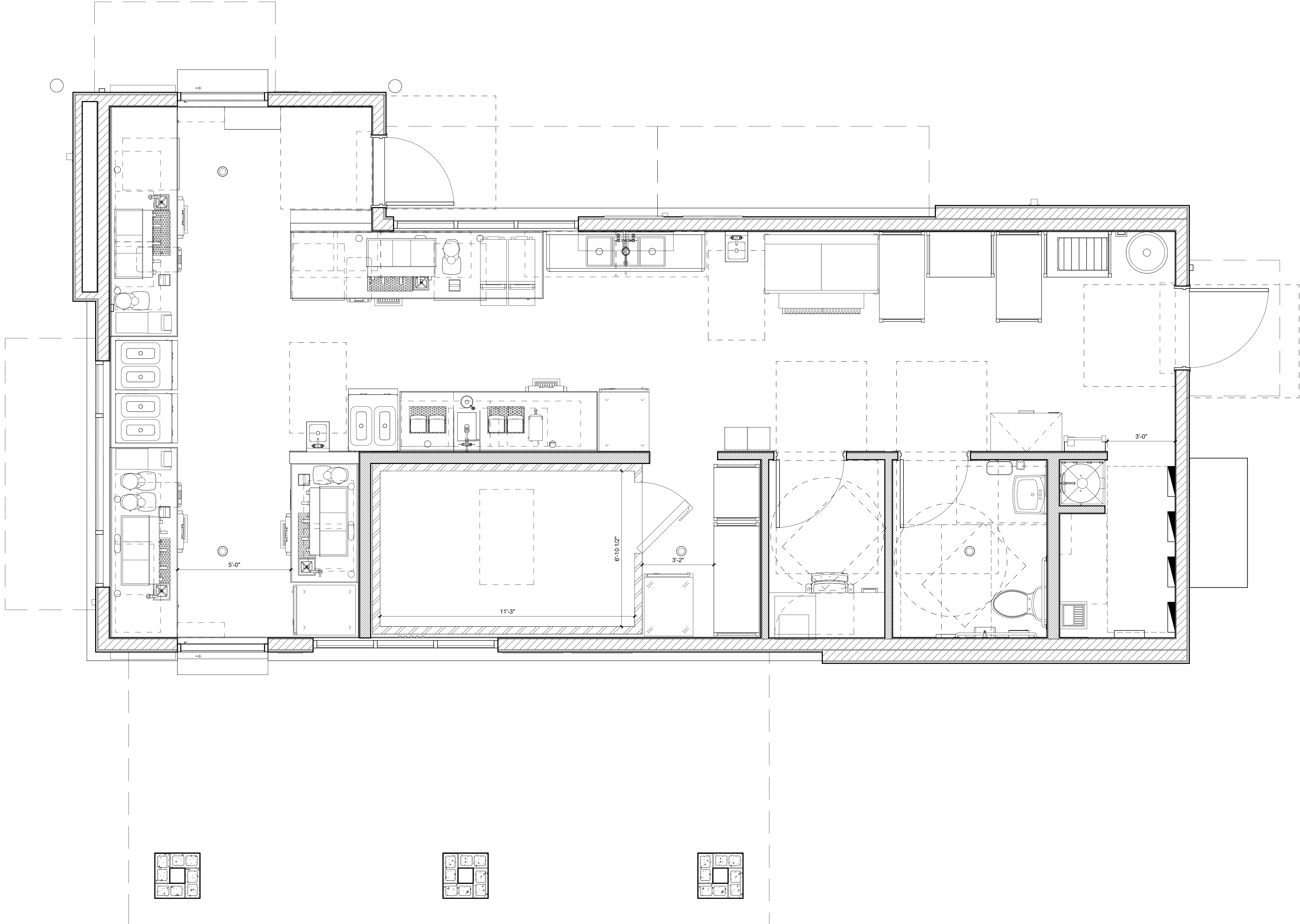
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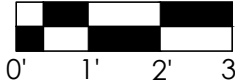
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FLOOR PLAN

SCALE: 3/8" = 1'-0"



Project No: CA5808

Dutch Bros Coffee - New Freestanding Store

2550 - A1 PROTOTYPE

16758 LAKESHORE DR.
LAKE ELSINORE, CA 92530

DATE: 04/01/2024	
REV: DATE:	DESCRIPTION:

SHEET NAME:
FLOOR PLAN/
DETAILS/ SCHEDULES

SHEET NUMBER:
A2.0

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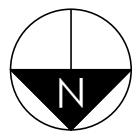
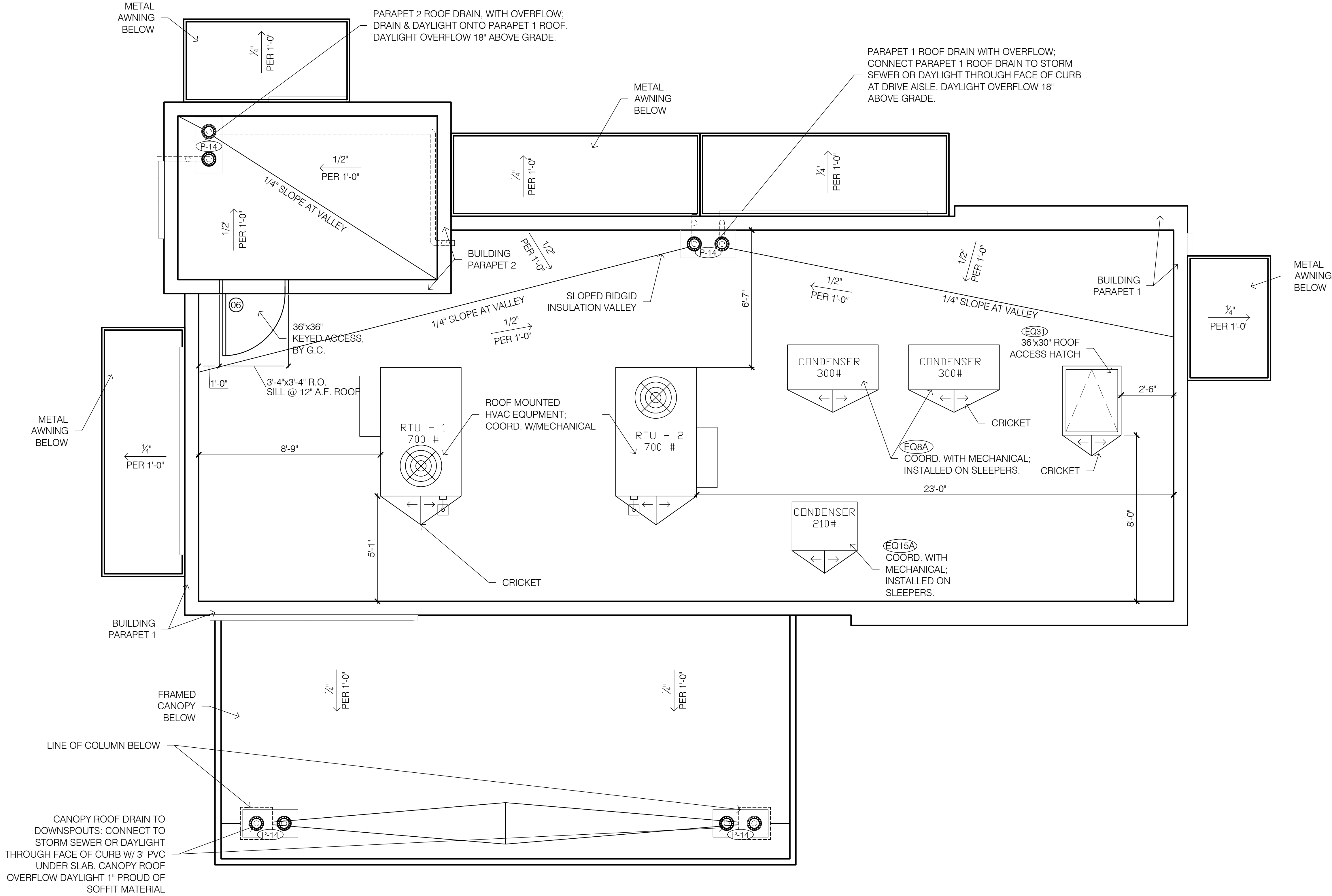
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ARMÉT DAVIS NEWLOVE &
ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742



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1 ROOF PLAN

SCALE: 3/8" = 1'-0"



ad
ARMÉT DAVIS NEWLOVE &
ASSOCIATES, AIA ARCHITECTS

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SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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Project No: CA5808
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
16758 LAKESHORE DR.
LAKE ELSINORE, CA 92530

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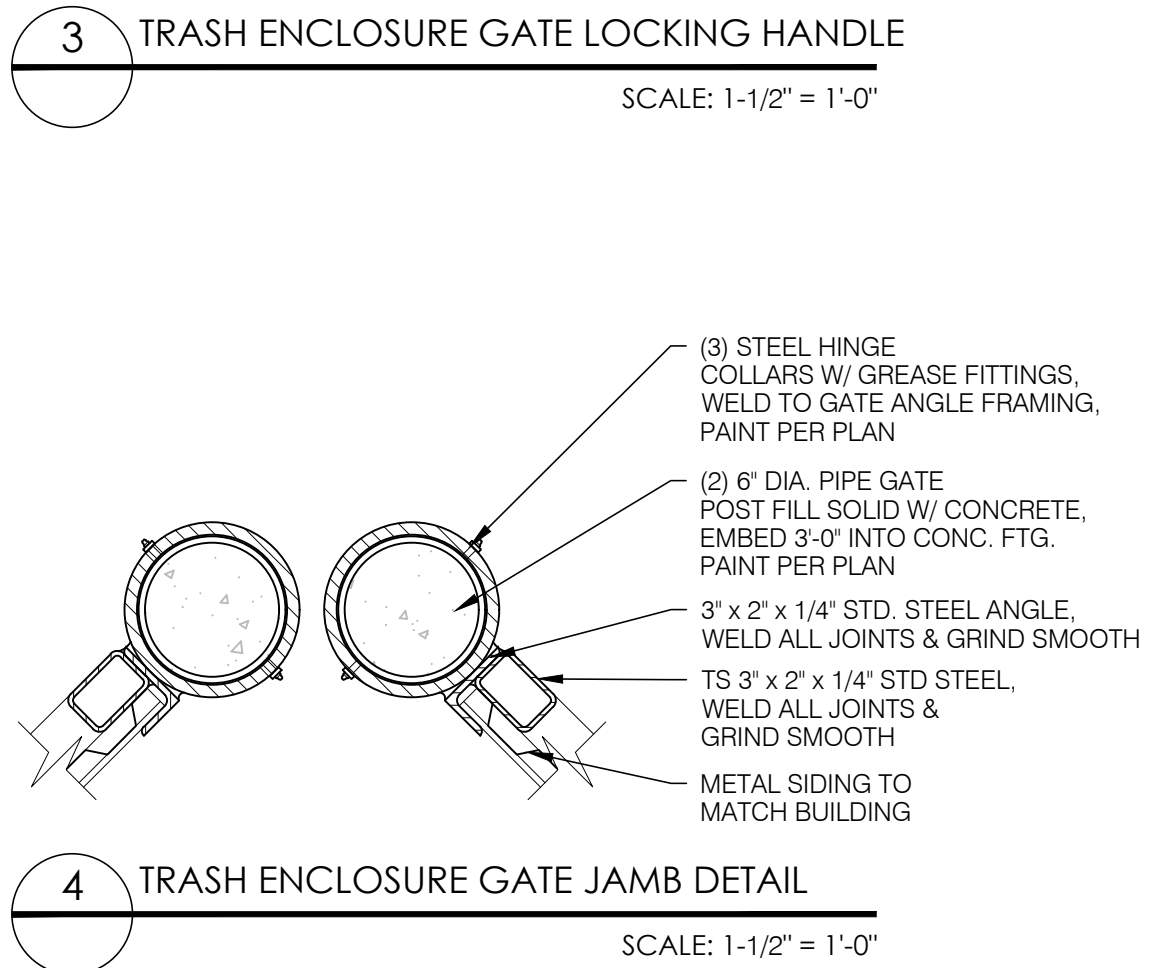
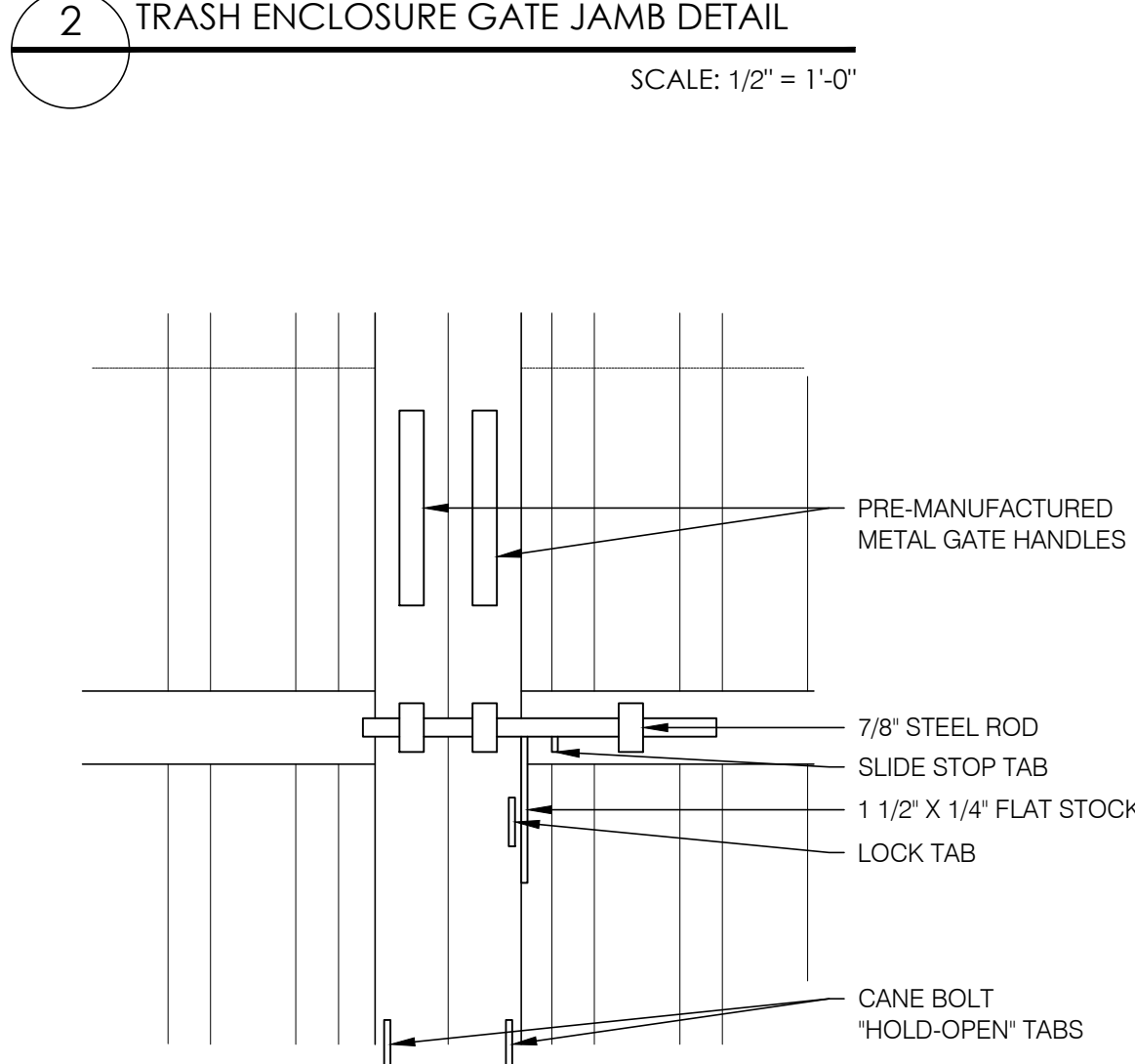
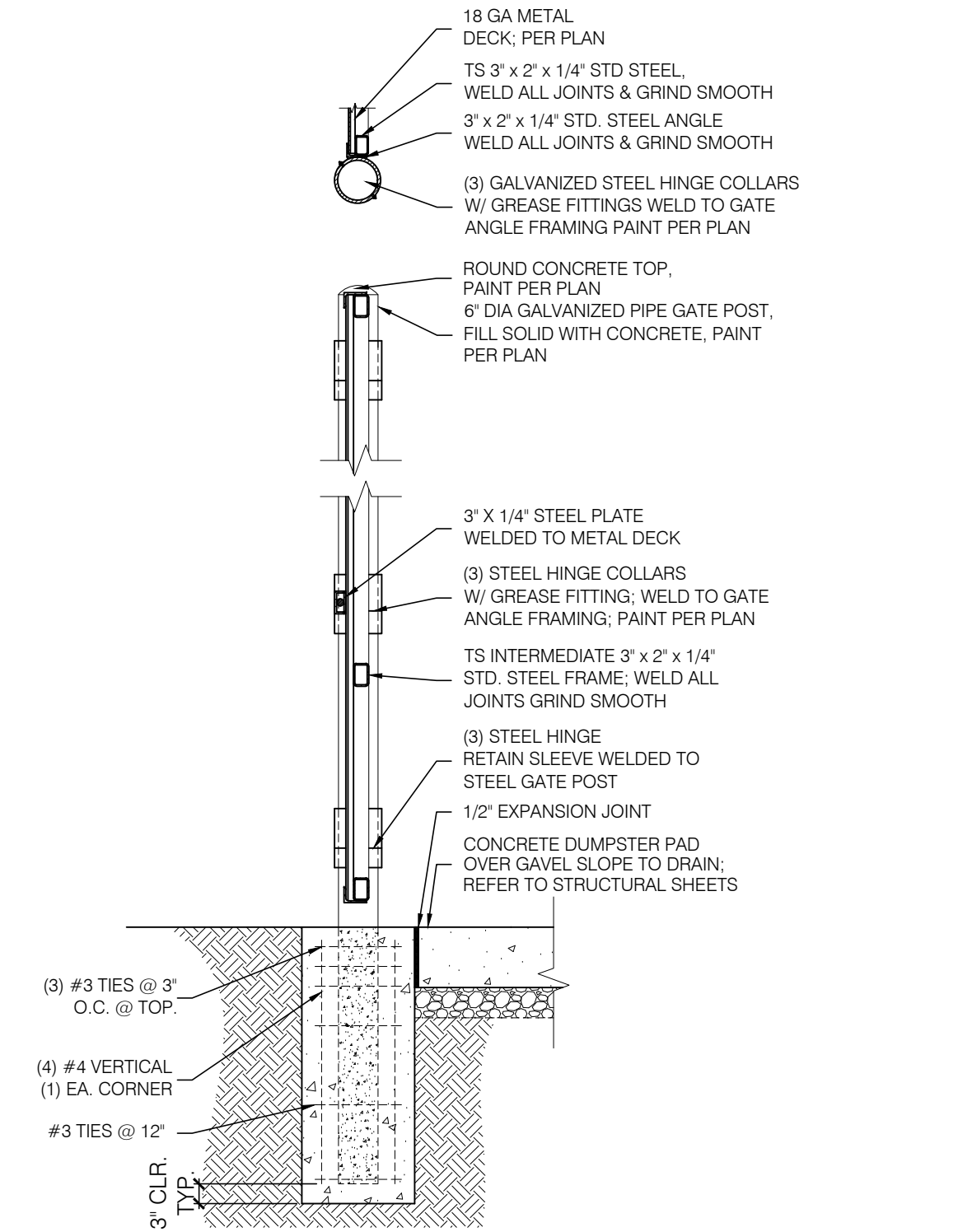
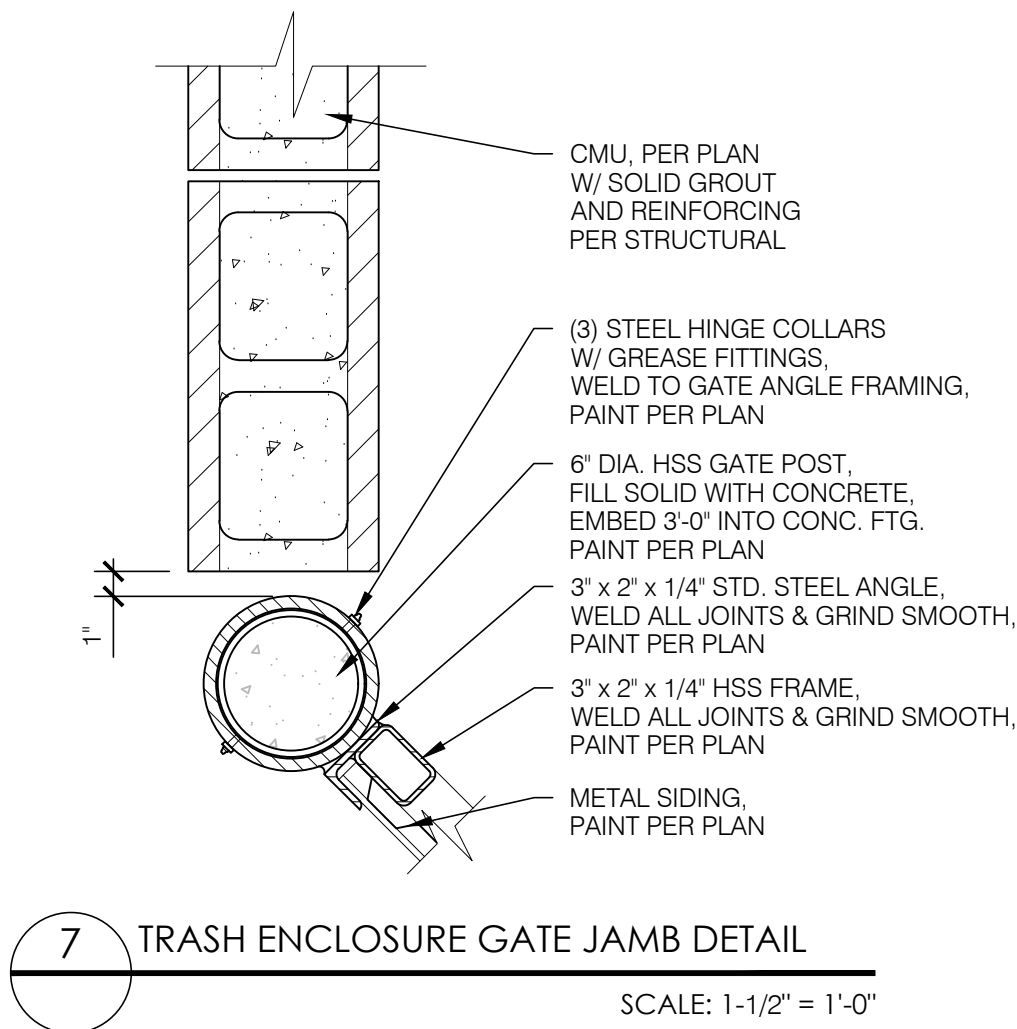
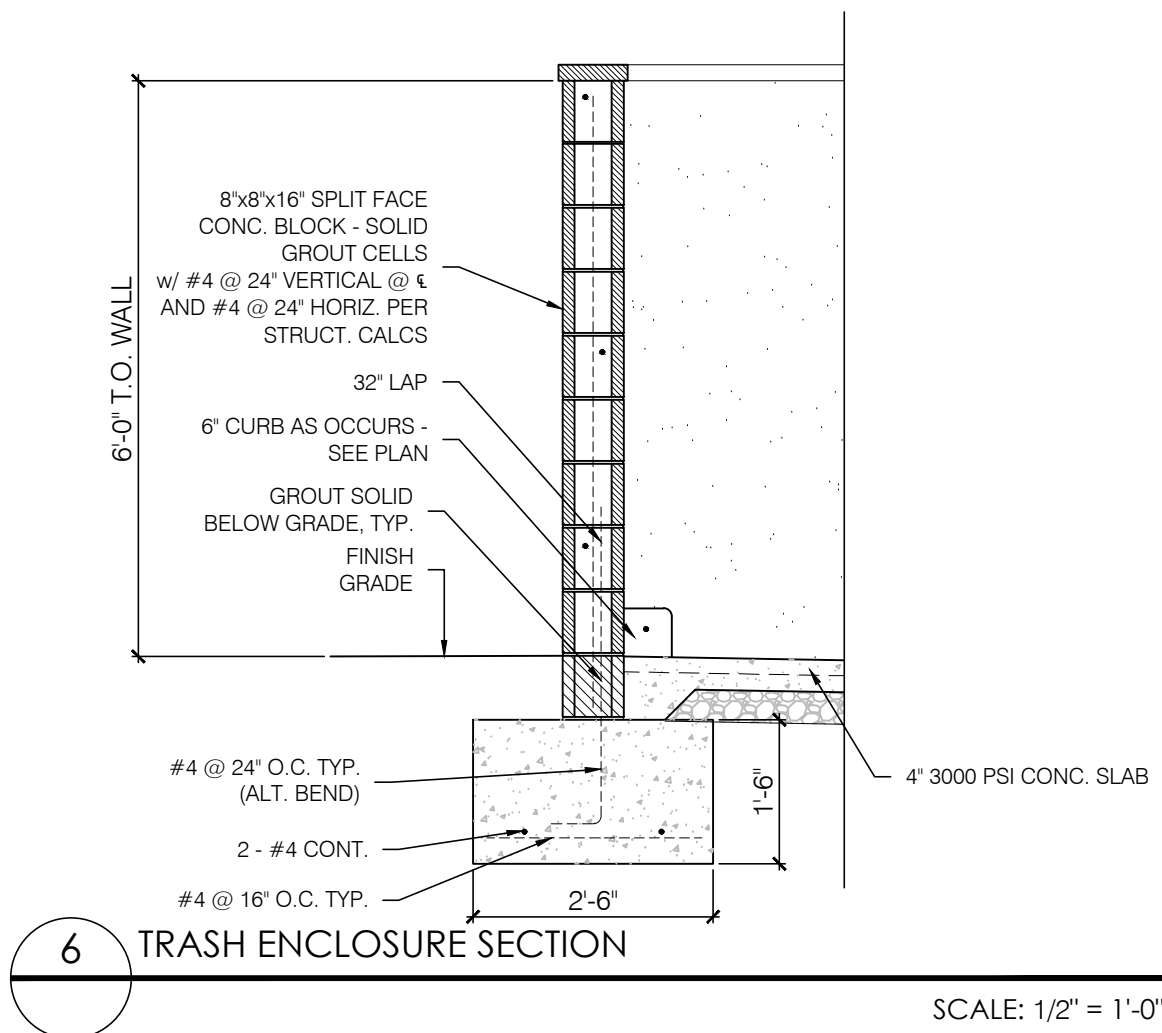
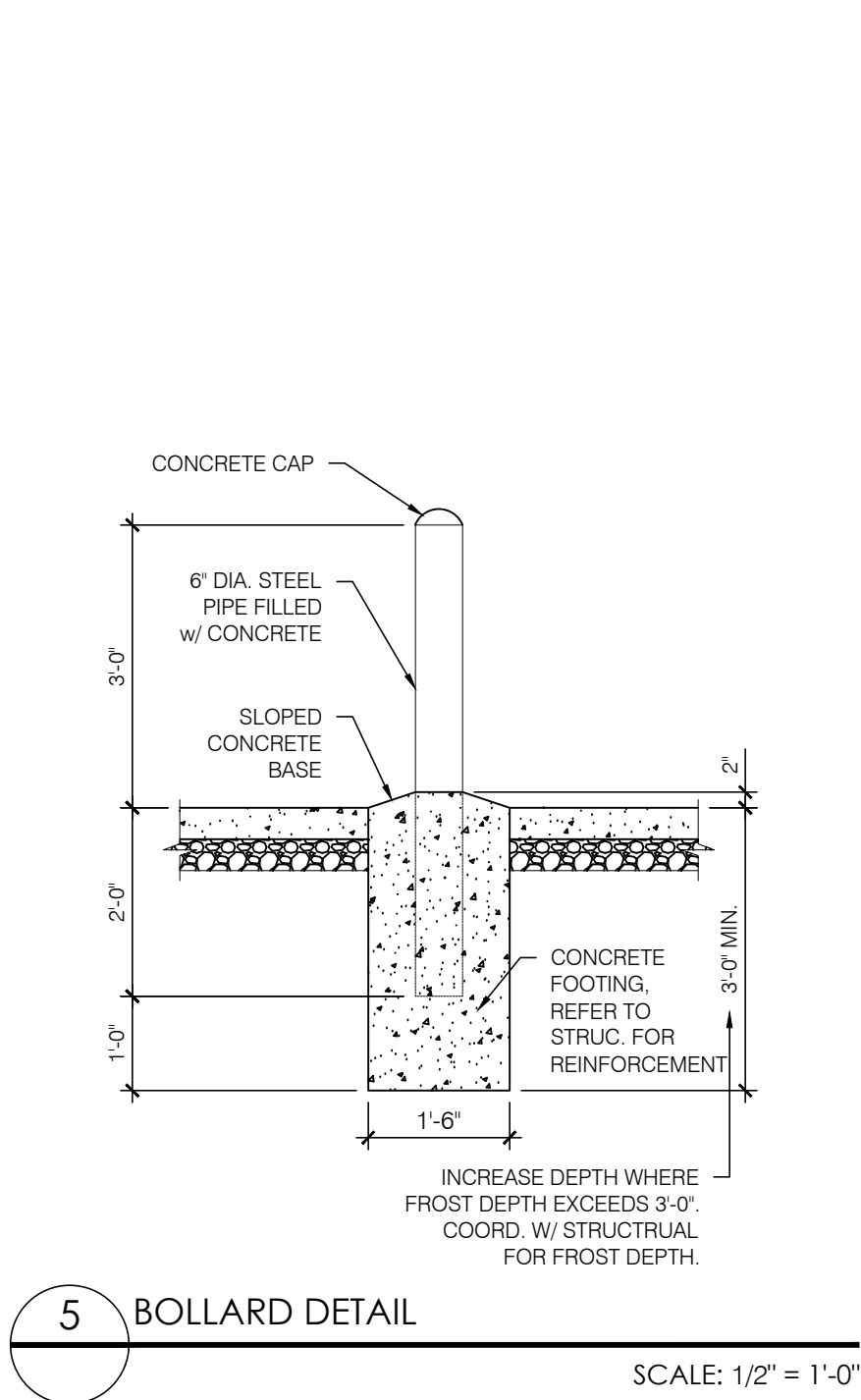
ROOF PLAN/ ROOF
DETAILS

SHEET NUMBER:

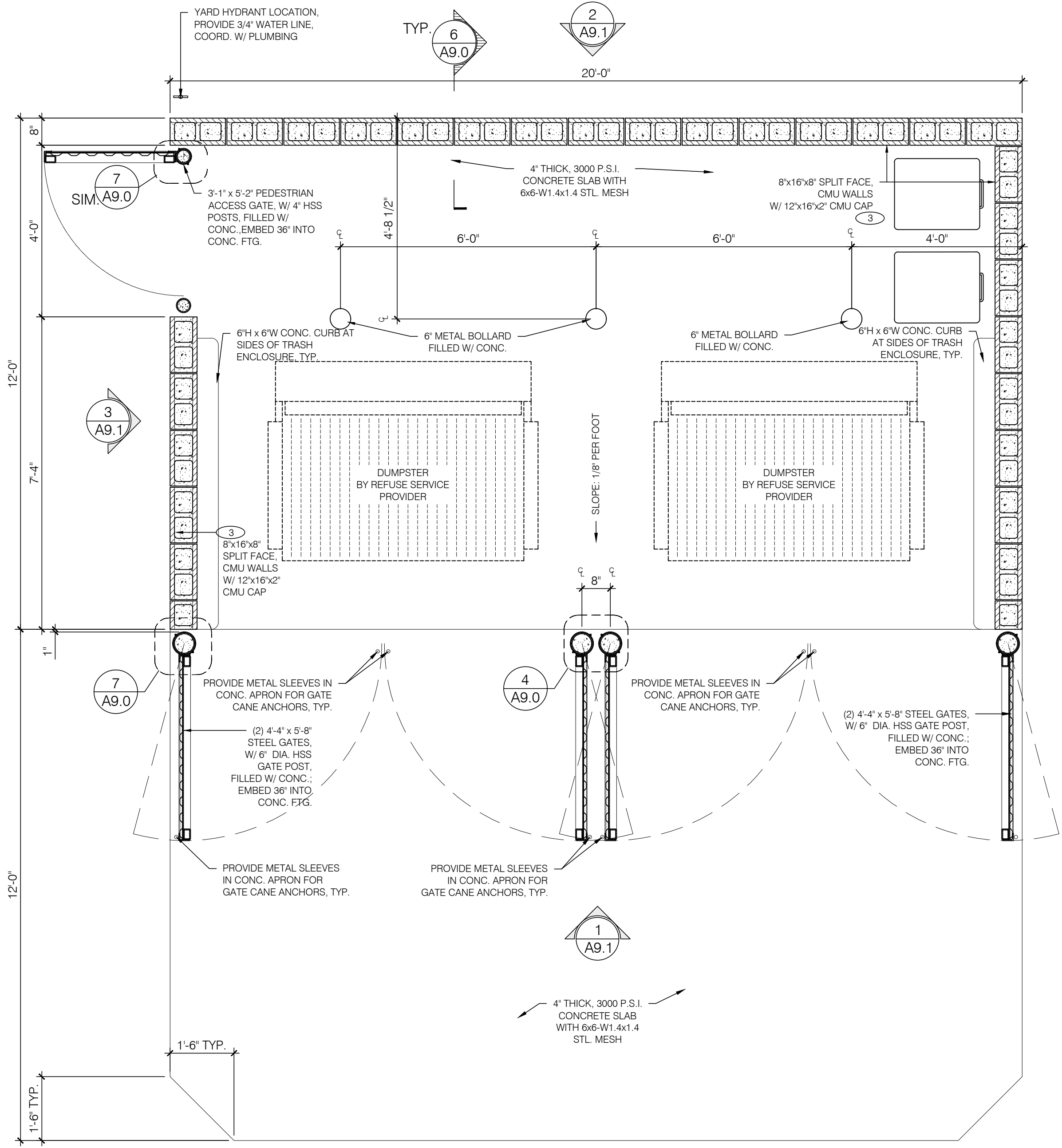
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- TRASH ENCLOSURE GENERAL NOTES:
1. REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
 2. PROVIDE LOCKING MECHANISM ON GATES AND PEDESTRIAN GATE.
 3. PROVIDE SITE LIGHTING AT TRASH ENCLOSURE. MIN. 5 FOOT CANDLE.
 4. GATE TO BE BUILT WITH 3"X 2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.



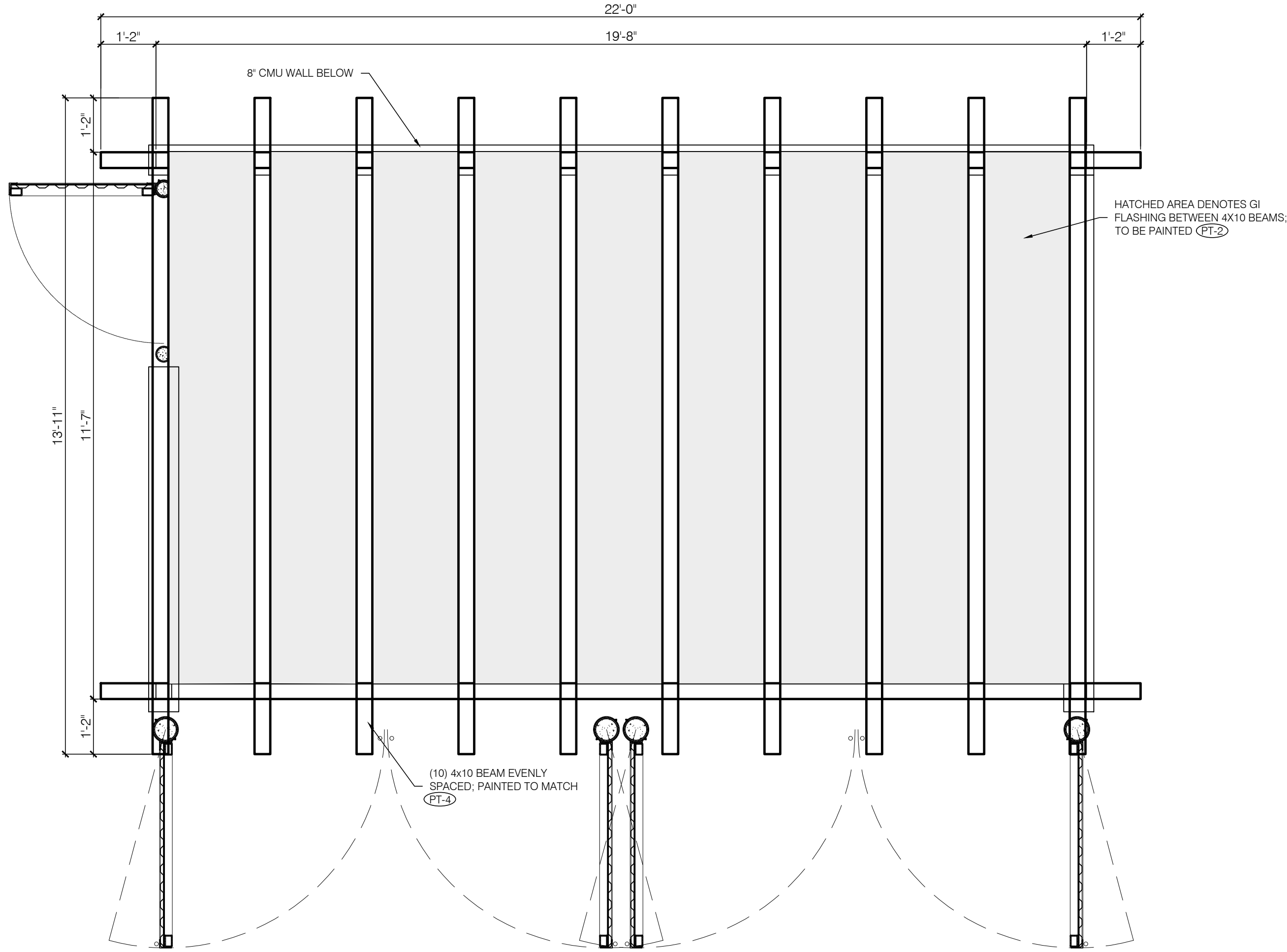
1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

Project No: CA5808
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
16758 LAKESHORE DR.
LAKE ELSINORE, CA 92530

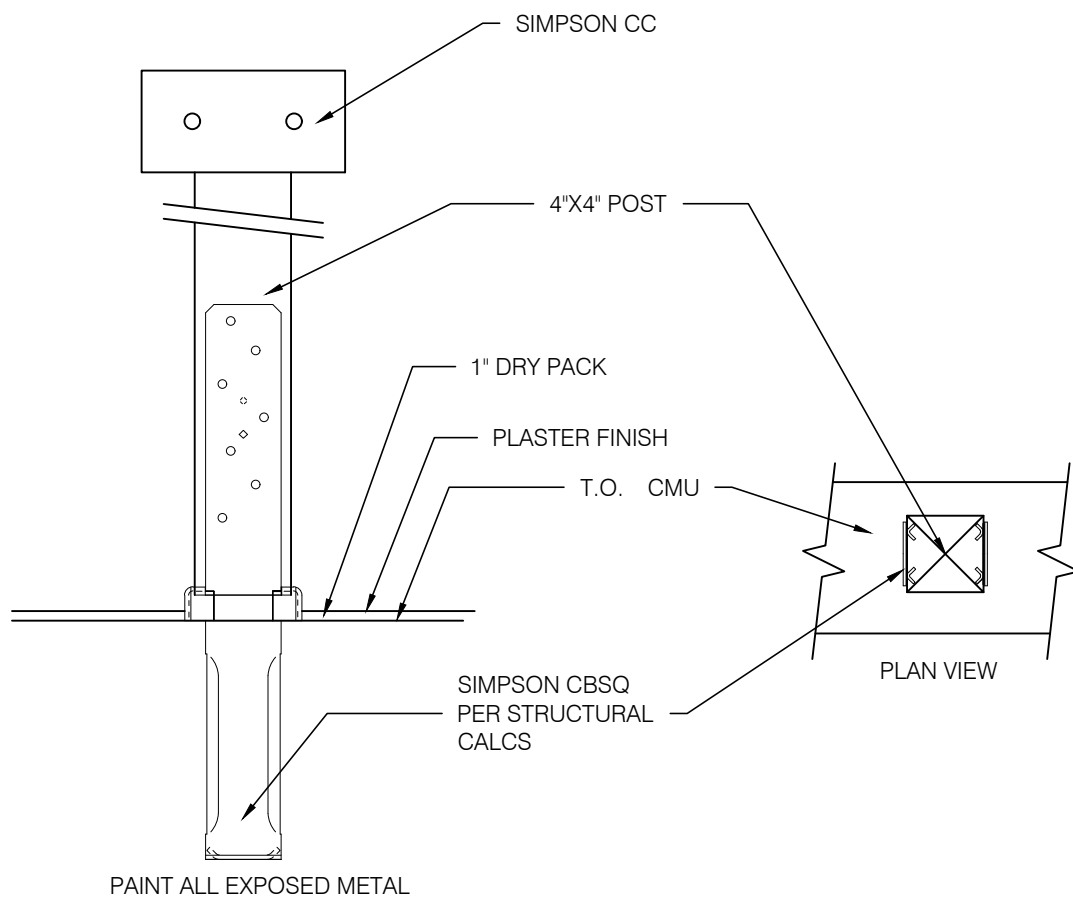
DATE: 04/01/2024	REV: DATE:	DESCRIPTION:
SHEET NAME:		
TRASH ENCLOSURE PLAN/ ELEVATIONS		
SHEET NUMBER:		
A9.0		

"The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws."



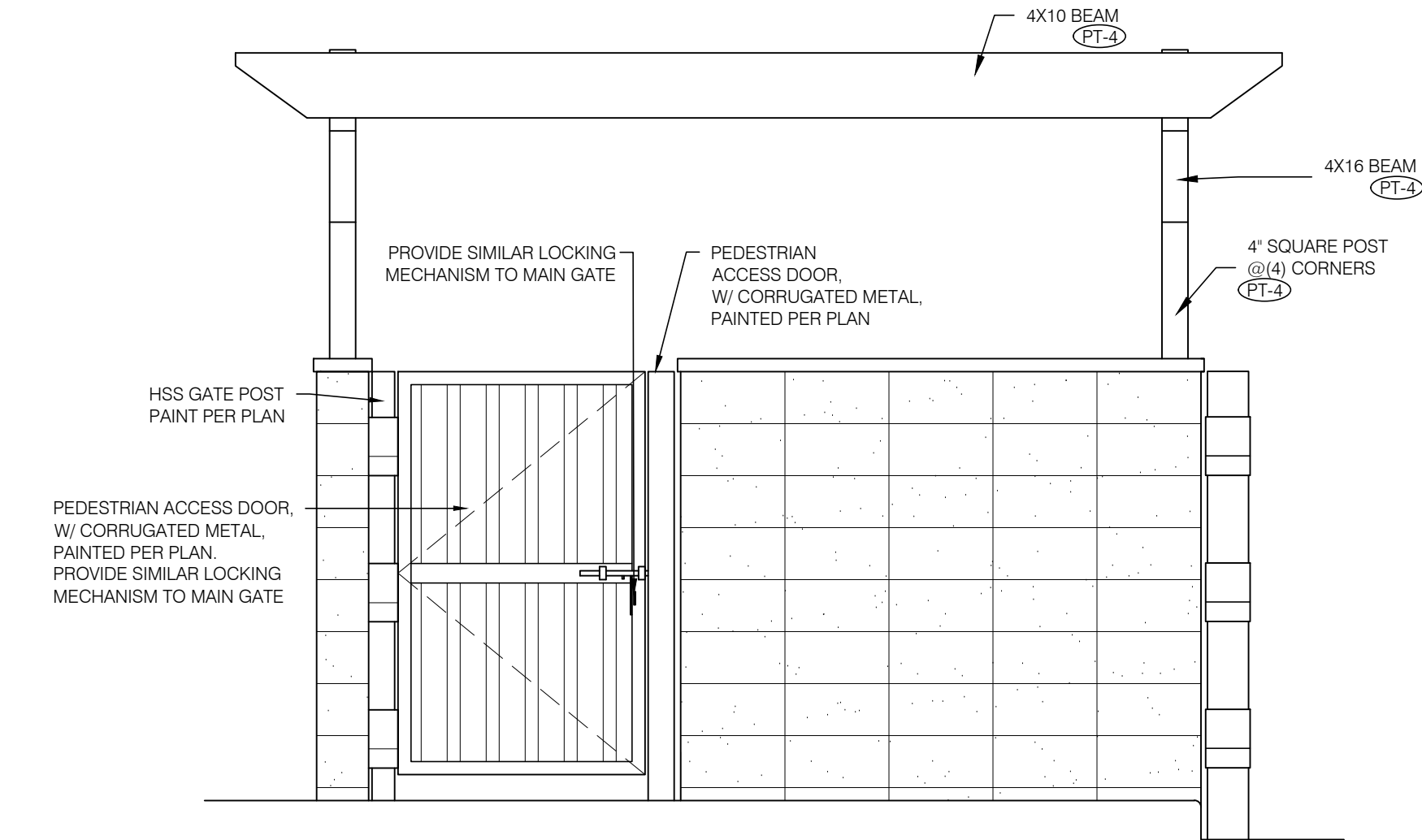
5 TRASH ENCLOSURE CANOPY- PLAN

SCALE: 1/2" = 1'-0"



4 TRASH ENCLOSURE TRELLIS SUPPORT DETAIL

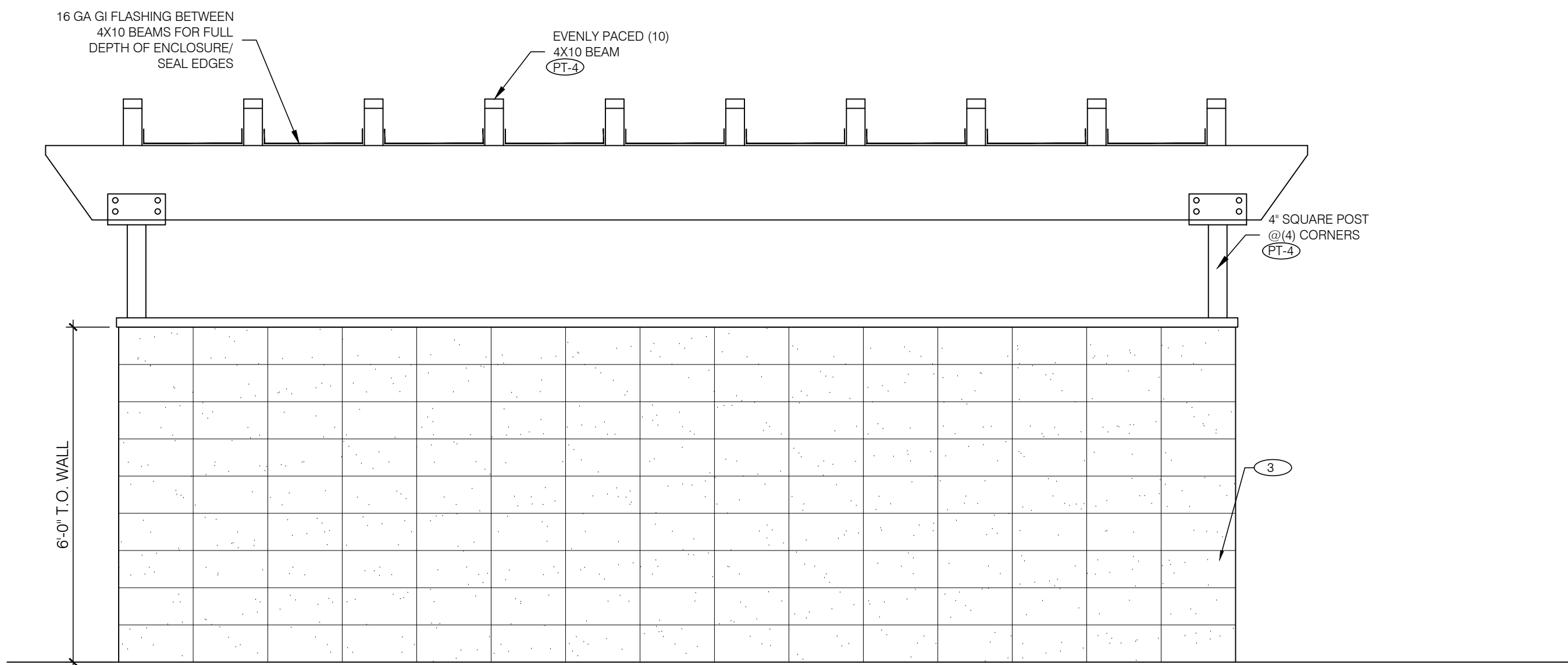
SCALE: N.T.S.



3 TRASH ENCLOSURE SIDE ELEVATION

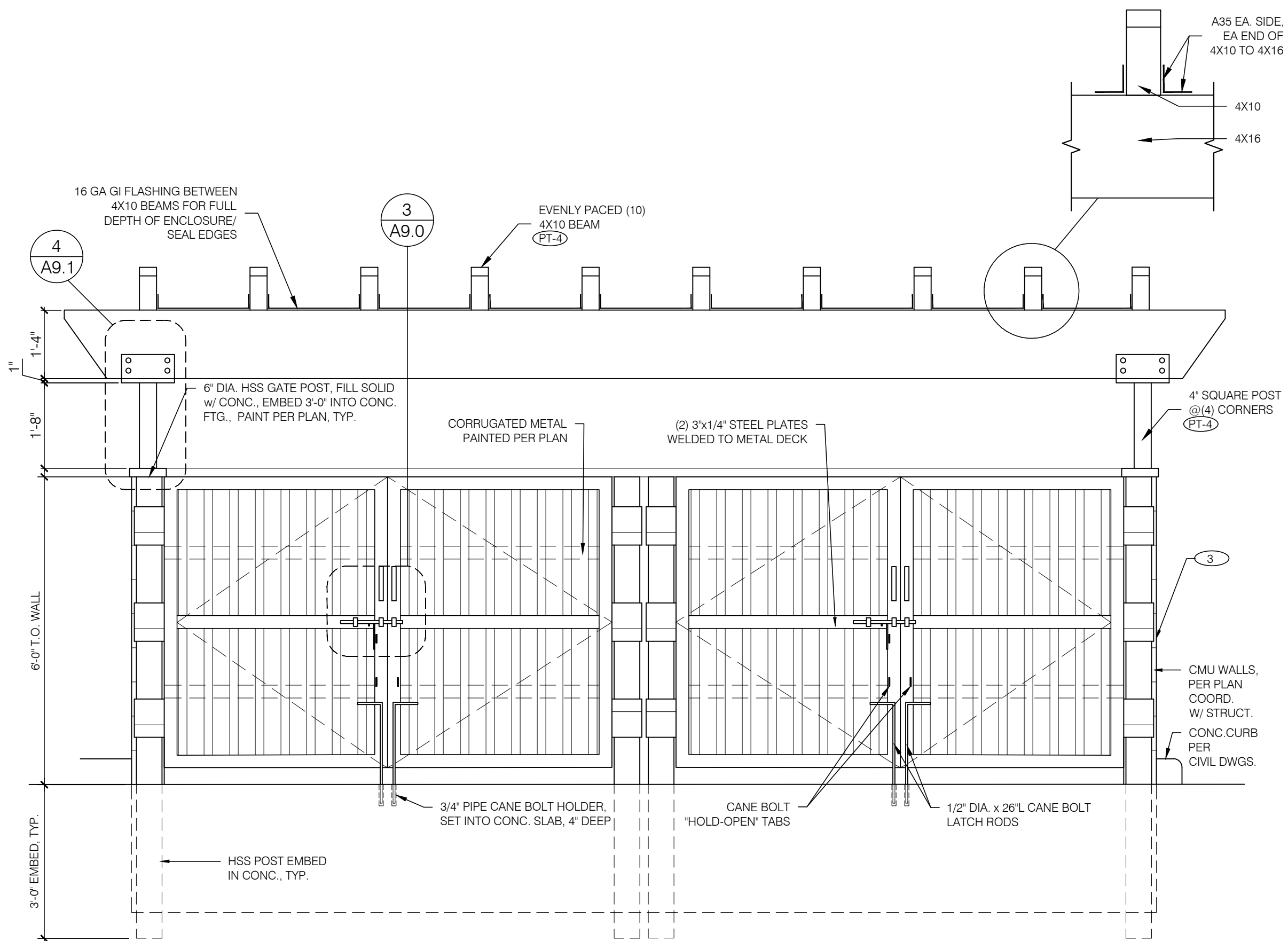
SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE MATERIALS				
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	SPLIT FACE 8X8X16	BASALITE	490	IF INTEGRAL COLOR BLOCK IS UNAVAILABLE, BLOCK TO BE PAINTED TO MATCH DB DARK GRAY
	CMU CAP	BASALITE	490	12X16X2
PT-2	PAINT	SHERWIN-WILLIAMS	8696-1125 - BLDG DB DARK GRAY	BLDG DB DARK GRAY, GATES BODY
PT-3	PAINT	SHERWIN-WILLIAMS	8696-12045 - BLDG DB BLUE	BLDG DB BLUE, GATE FRAMES & POSTS
PT-4	PAINT	DUNN EDWARDS	DEC 756 WEATHERED BROWN	ROOF BEAMS, AND POSTS



2 TRASH ENCLOSURE REAR ELEVATION

SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE FRONT ELEVATION

SCALE: 1/2" = 1'-0"



ad

ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

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Project No: CA5808
Dutch Bros Coffee - New Freestanding Store
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DATE: 04/01/2024	
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SHEET NAME:

TRASH ENCLOSURE
PLAN/ ELEVATIONS

SHEET NUMBER:

A9.1

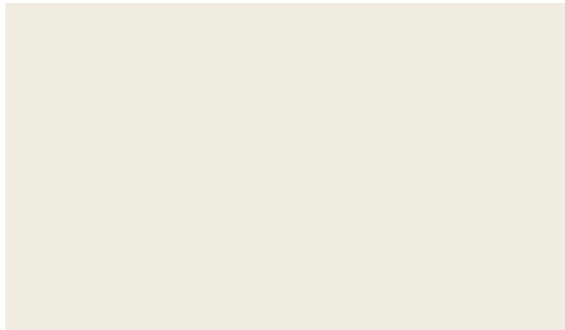
© 2024 DB Franchising USA, LLC



FIBER CEMENT SIDING AT TOWER
NICHHA - ILLUMINATION AWP-3030
COLOR: CEDAR



METAL FASCIA AT BUILDING
SHERWIN WILLIAMS 8656-12045
COLOR: DUTCH BROS BLUE



EXTERIOR CEMENT PLASTER AT BUILDING
SHERWIN WILLIAMS
COLOR: SW7551 - GREEK VILLA



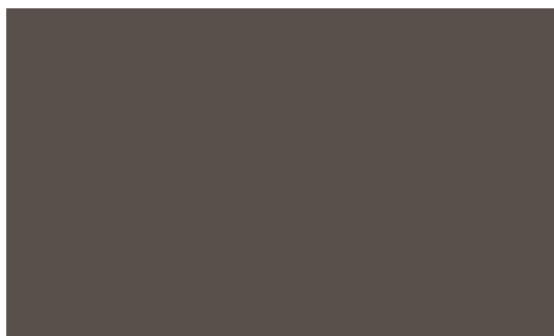
EXTERIOR CEMENT PLASTER AT BUILDING
SHERWIN WILLIAMS
COLOR: SW7073 - NETWORK GRAY



CANOPY FASCIA & METAL AWNINGS
SHERWIN WILLIAMS - 8656-11295
COLOR: DUTCH BROS DARK GRAY



STONE VENEER AT WAINSCOT & COLUMNS
ELDORADO STONE - CUT COARSE STONE
COLOR: SEASHELL



METAL FASCIA AT TOWER
WESTERN STATES METAL ROOFING
COLOR: DEC 756 WEATHERED BROWN



Dutch Bros Coffee CA5808
16758 Lakeshore Dr.
Lake Elsinore, CA 92530



ARMET DAVIS NEWLOVE ARCHITECTS
PHONE: 310-773-7772



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on April 15, 2025, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

Planning Application No. 2024-04 (Dutch Bros Coffee Shop at Lakeshore): The proposed project is a request by Sabrina Rushing, Barghausen Consulting Engineers, for a Conditional Use Permit (CUP No. 2024-03) and a Commercial Design Review (CDR No. 2024-01) to establish a new 980 square-foot (sq. ft.) two-lane drive-through for Dutch Bros Coffee Shop. The proposed project also includes related site improvements such as new parking spaces and landscaping. The project site is located on an existing 0.71-acre property within the Neighborhood Commercial (C1) District at 16758 Lakeshore Drive (APN: 378-290-015).

The proposed project is exempt from California Environmental Quality Act (CEQA), pursuant to California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15303 (Class 3: New Construction or Conversion of Small Structures).

ALL INTERESTED PERSONS are invited to submit written information, express opinions or otherwise submit written evidence by email to jmatie@Lake-Elsinore.org.

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 848-0493. All Agenda materials are available for review on the City's website at www.lake-elsinore.org the Friday before the Public Hearing.

FURTHER INFORMATION on this item may be obtained by contacting Jesse Rodriguez, Assistant Planner in the Planning Division at jrodriguez@lake-elsinore.org or (951) 777-7454.

Damaris Abraham,
Community Development Director

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011727773

FILE NO. 0011727773

PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

04/03/2025

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: April 3, 2025.
At: Riverside, California



Signature



NOTICE OF PUBLIC HEARING

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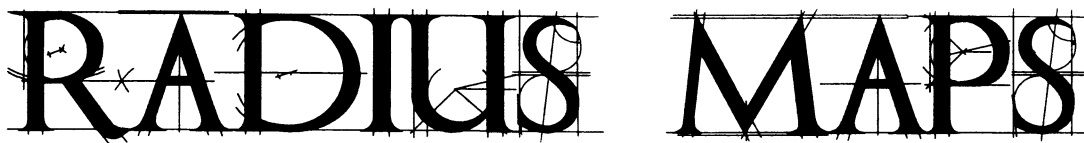
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Damaris Abraham,
Community Development Director
The Press-Enterprise
Published: 4/3/25



Data Management Services for Government and Business

CERTIFIED PROPERTY OWNERS' LIST

AFFIDAVIT

I, Gary Perkins, hereby certify that the attached list contains the names and addresses of all persons to whom all property is assessed, as they appear on the latest available assessment roll of RIVERSIDE County within the area described and within 300 feet of the exterior boundaries of the property located at:

Dutch Brothers Coffee
16758 Lakeshore Dr.
Lake Elsinore CA 92530

APN 378-290-015

I certify under penalty of perjury that the foregoing is true and correct.

Signed:

A handwritten signature in black ink, appearing to read "Gary Perkins". The signature is written over a horizontal line that serves as a baseline for the signature.

Gary Perkins
March 10, 2025




AFFIDAVIT OF NOTIFICATION LIST

Application No. _____

Applicant Name Dutch Bros. Coffee - John Caglia & Barghausen Engr. - Brianna Uy & Sabrina Rushing

Project Name/Location Dutch Bros. - 16758 Lakeshore Dr., Lake Elsinore, CA

I certify that on 10th day of March, 2025, we prepared a notification list and a radius map, including properties entirely and partially within 300 feet of the most exterior boundaries of the property being considered in the above referenced project known as (Property Address) 16758 Lakeshore Dr., Lake Elsinore, CA - APN: 378-290-015. The property owner names and addresses listed on the notification list, provided in an excel spreadsheet on a CD or external hard drive, were taken from the latest records of the Riverside County Assessor. Such names are recorded in the records of the Riverside County Assessor as being the present owner or owners of both the subject property and the property/properties within the required mailing radius of the subject property.



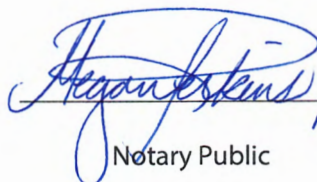
Gary Perkins
Applicant/Representative Signature

3-10-25

Date

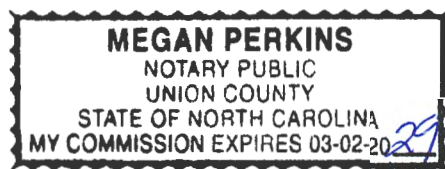
This instrument was acknowledged before me on this 10th day of March, 2025, by

In witness whereof I hereunto set my hand and official seal.

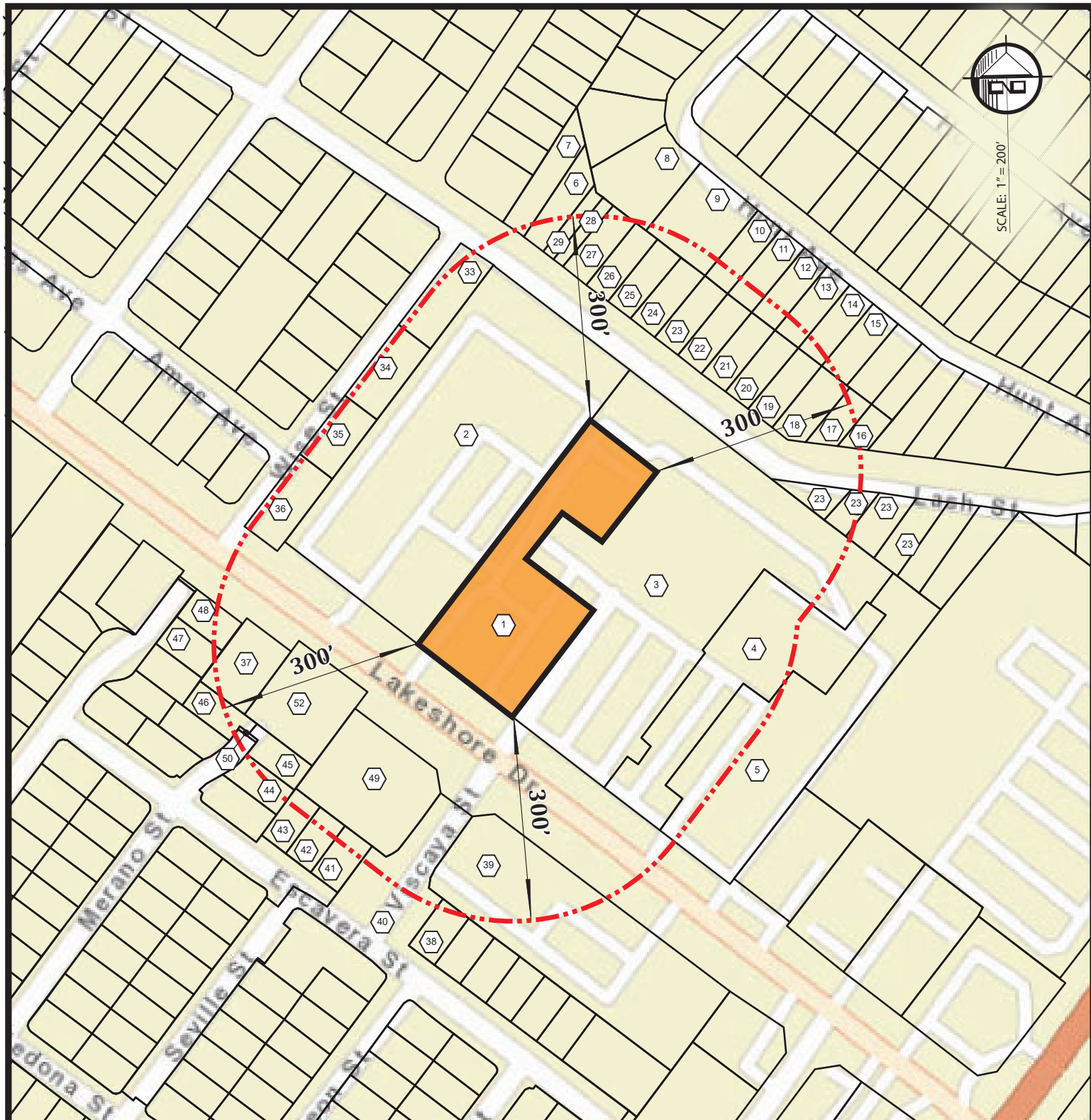


Megan Perkins
Notary Public

My Commission expires on: 03-02-2029



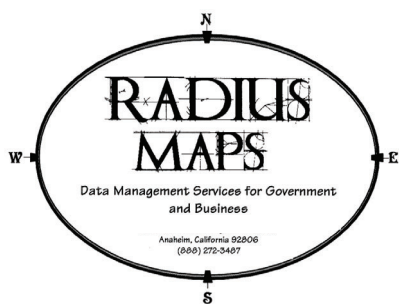
Pursuant to Government Code Sections 65090-65096 notification lists shall be from the most recent Assessor Tax rolls. In order for the application to be deemed complete please return the completed, notarized affidavit to the assigned case planner at your earliest convenience.



MAP LEGEND



Indicates Map Key Number



Public Notification Study

For
16758 Lakeshore Dr.
Lake Elsinore CA 92530
APN 378-290-015

March 10, 2025
 JN 25069

Ownership Listing



Data Management for Government
and Business

300'R PROPERTY OWNERS MAILING LIST
16758 LAKESHORE DR., LAKE ELSINORE CA 92530
MARCH 10, 2025

KEY NO.	APN	OWNERS	ADDRESS	CITY	STATE	ZIP
1	378-290-015	CHU H YUN	1333 DOROTHEA RD	LA HABRA	CA	90631
2	378-290-013	LAKESIDE CENTER	7303 WHITEGATE AVE	RIVERSIDE	CA	92506
3	378-290-016	SANFORD SANDELMAN	185 NW SPANISH RIVER #100	BOCA RATON	FL	33431
4	378-290-017	BVN COMPANY	1859 RED FOX RD	SANTA ANA	CA	92704
6	378-245-012	M & R IRREVOCABLE TRUST	10141 ANTIGUA ST	ANAHEIM	CA	92804
8	378-263-001	DEREK SCOTT JOHNSON	450 DULIN RD #173	FALLBROOK	CA	92028
9	378-263-002	DAVID C BERTOLDO	16769 HUNT AVE	LAKE ELSINORE	CA	92530
10	378-263-003	MARIA DE JESUS VICTORIO	16777 HUNT AVE	LAKE ELSINORE	CA	92530
11	378-263-004	ANTONIO LLAMAS	10905 ANGELL ST	NORWALK	CA	90650
12	378-263-005	CECELIA W FAIRFAX	5512 INNER CIRCLE DR	RIVERSIDE	CA	92506
13	378-263-006	CHRISTIAN LINDGREN JENSEN	MARVEJ 23	990 SKAGEN		
14	378-263-007	CHRISTIAN LINDGREN JENSEN	23 MARKVEJ			
15	378-263-008	JOHN CARREON	16819 HUNT AVE	LAKE ELSINORE	CA	92530
16	378-263-017	JUANCARLO FREEMAN	120 W ELLIS AVE	INGLEWOOD	CA	90302
17	378-263-018	MICHELLE EVANTHE PAWLAK	16792 LASH ST	LAKE ELSINORE	CA	92530
19	378-263-020	MICHELLE PAWLAK	16792 LASH AVE	LAKE ELSINORE	CA	92530
20	378-263-021	MICHELLE E PAWLAK	16792 LASH ST	LAKE ELSINORE	CA	92530
21	378-263-022	LUCIANE CAIXETA	31757 BIAGIO	WINCHESTER	CA	92596
22	378-263-023	PHAN THI THANH THUY	9452 LUDERS AVE	GARDEN GROVE	CA	92844
23	378-263-024	EMILY TOY	7851 ORANGEWOOD AVE	STANTON	CA	90680
24	378-263-025	JOHN JEFFERSON CARTER	23905 CLINTON KEITH #114289	WILDOMAR	CA	92595
25	378-263-026	JOVIAN MENDOZA	309 N BASQUE AVE	FULLERTON	CA	92833
26	378-263-027	SUSET ALI ARELLANO	1029 PEARL AVE	LAS VEGAS	NV	89104
27	378-263-028	EMILIO SOLIS	2745 VISTA SERENO CT	LEMON GROVE	CA	91945
28	378-263-029	EMILIO SOLIS	22711 TRANQUILITY CIR	WILDOMAR	CA	92595
30	378-264-001	LOREN M MCCLURG	935 S LOS ROBLES AVE	PASADENA	CA	91106
31	378-264-002	ROSE MOSERO	429 CAMINO MANZANAS	THOUSAND OAKS	CA	91360
32	378-264-003	CHARLES W RASMUSSEN	2275 HUNTINGTON DR #852	SAN MARINO	CA	91108
33	378-305-001	PEDRO VILLAREAL JR	29700 WISE ST	LAKE ELSINORE	CA	92530
34	378-305-002	AEK GLOBAL INVESTMENTS	4603 HURFORD TER	ENCINO	CA	91436
35	378-305-003	HT PROP	31902 AVENIDA EVITA	SAN JUAN CAPO	CA	92675
36	378-305-004	ALVIN J ADAMS	16636 LAKESHORE DR	LAKEELSINORE	CA	92530
37	379-224-021	FOUR CORNERS PLAZA	20651 PALOMAR ST	LAKE ELSINORE	CA	92595
38	379-470-006	RODNEY MONDINO	27871 RURAL LN	LAGUNA NIGUEL	CA	92677
39	379-470-083	LAKESHORE VISCAYA	177 HOLSTON DR	LANCASTER	CA	93535
40	379-470-092	VISCAYA HOMEOWNERS ASSN	32823 TEMECULA PKWY	TEMECULA	CA	92592
41	379-480-001	LAURA V SANDOVAL	16618 ESCAVERA ST	LAKE ELSINORE	CA	92530
42	379-480-002	ROCIO ALCALA	16616 ESCAVERA ST	LAKE ELSINORE	CA	92530
43	379-480-003	FANTA VONGAMATH	16614 ESCAVERA ST	LAKE ELSINORE	CA	92530
44	379-480-005	ROSALYN LEE	32022 MERANO ST	LAKE ELSINORE	CA	92530
45	379-480-006	KATELYN ANN QUESADA	32024 MERANO ST	LAKE ELSINORE	CA	92530
46	379-480-007	JILL THEA CATALIG MIRASOL	32025 MERANO ST	LAKE ELSINORE	CA	92530
47	379-480-013	DEV ARAIN	13512 PLUMMER CREEK CT	CORONA	CA	92880
48	379-480-014	BRETTANY GONZALEZ	2602 STAR CREST LN	CORONA	CA	92881
49	379-480-087	SAFAI FAMILY TRUST	68 CANYON CREEK	IRVINE	CA	92603
50	379-480-091	VISCAYA HOMEOWNERS ASSN	110 E AVENIDA PALIZADA #202	SAN CLEMENTE	CA	92672
52	379-480-094	GONZALES FAMILY TRUST	26819 MOUNTAIN GLEN DR	MENIFEE	CA	92584
	OWNER	COLE VALLEY PARTNERS/BRADEN BERNARDS	2188 PARK PLACE #100	PORTLAND	OR	97205
	APPLICANT	DUTCH BROS COFFEE/JOHN CAGLIA	PO BOX 1929	GRANTS PASS	OR	97528
	APPLICANT	BARGHAUSEN ENGR/SABRINA RUSHING	18215 72ND AVE S	KENT	WA	98032
	APPLICANT	BARGHAUSEN ENGR/BRIANNA UY	18215 72ND AVE S	KENT	WA	98032

378-290-015 CHU H YUN 1333 DOROTHEA RD LA HABRA CA 90631	1	378-290-013 LAKESIDE CENTER 7303 WHITEGATE AVE RIVERSIDE CA 92506	2	378-290-016 SANFORD SANDELMAN 185 NW SPANISH RIVER #100 BOCA RATON FL 33431	3
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378-245-013 SAME AS KEY #6 10141 ANTIGUA ST ANAHEIM CA 92804	7	378-263-001 DEREK SCOTT JOHNSON 450 DULIN RD #173 FALLBROOK CA 92028	8	378-263-002 DAVID C BERTOLDO 16769 HUNT AVE LAKE ELSINORE CA 92530	9
378-263-003 MARIA DE JESUS VICTORIO 16777 HUNT AVE LAKE ELSINORE CA 92530	10	378-263-004 ANTONIO LLAMAS 10905 ANGELL ST NORWALK CA 90650	11	378-263-005 CECELIA W FAIRFAX 5512 INNER CIRCLE DR RIVERSIDE CA 92506	12
378-263-006 CHRISTIAN LINDGREN JENSEN MARVEJ 23 990 SKAGEN	13	378-263-007 CHRISTIAN LINDGREN JENSEN 23 MARKVEJ	14	378-263-008 JOHN CARREON 16819 HUNT AVE LAKE ELSINORE CA 92530	15
378-263-017 JUANCARLO FREEMAN 120 W ELLIS AVE INGLEWOOD CA 90302	16	378-263-018 MICHELLE EVANTHE PAWLAK 16792 LASH ST LAKE ELSINORE CA 92530	17	378-263-019 SAME AS KEY #17 16792 LASH ST LAKE ELSINORE CA 92530	18
378-263-020 MICHELLE PAWLAK 16792 LASH AVE LAKE ELSINORE CA 92530	19	378-263-021 MICHELLE E PAWLAK 16792 LASH ST LAKE ELSINORE CA 92530	20	378-263-022 LUCIANE CAIXETA 31757 BIAGIO WINCHESTER CA 92596	21
378-263-023 PHAN THI THANH THUY 9452 LUDERS AVE GARDEN GROVE CA 92844	22	378-263-024 EMILY TOY 7851 ORANGEWOOD AVE STANTON CA 90680	23	378-263-025 JOHN JEFFERSON CARTER 23905 CLINTON KEITH #114289 WILDOMAR CA 92595	24
378-263-026 JOVIAN MENDOZA 309 N BASQUE AVE FULLERTON CA 92833	25	378-263-027 SUSET ALI ARELLANO 1029 PEARL AVE LAS VEGAS NV 89104	26	378-263-028 EMILIO SOLIS 2745 VISTA SERENO CT LEMON GROVE CA 91945	27
378-263-029 EMILIO SOLIS 22711 TRANQUILITY CIR WILDOMAR CA 92595	28	378-263-030 SAME AS KEY #6 10141 ANTIGUA ST ANAHEIM CA 92804	29	378-264-001 LOREN M MCCLURG 935 S LOS ROBLES AVE PASADENA CA 91106	30

300' Radius Property Owners Study – 16758 Lakeshore Dr., Lake Elsinore CA 92530 March 10, 2025

378-264-002 ROSE MOSERO 429 CAMINO MANZANAS THOUSAND OAKS CA 91360	31	378-264-003 CHARLES W RASMUSSEN 2275 HUNTINGTON DR #852 SAN MARINO CA 91108	32	378-305-001 PEDRO VILLAREAL JR 29700 WISE ST LAKE ELSINORE CA 92530	33
378-305-002 AEK GLOBAL INVESTMENTS 4603 HURFORD TER ENCINO CA 91436	34	378-305-003 HT PROP 31902 AVENIDA EVITA SAN JUAN CAPO CA 92675	35	378-305-004 ALVIN J ADAMS 16636 LAKESHORE DR LAKE ELSINORE CA 92530	36
379-224-021 FOUR CORNERS PLAZA 20651 PALOMAR ST LAKE ELSINORE CA 92595	37	379-470-006 RODNEY MONDINO 27871 RURAL LN LAGUNA NIGUEL CA 92677	38	379-470-083 LAKESHORE VISCAYA 177 HOLSTON DR LANCASTER CA 93535	39
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379-480-087 SAFAI FAMILY TRUST 68 CANYON CREEK IRVINE CA 92603	49	379-480-091 VISCAYA HOMEOWNERS ASSN 110 E AVENIDA PALIZADA #202 SAN CLEMENTE CA 92672	50	379-480-093 SAME AS KEY #40 32823 TEMECULA PKWY TEMECULA CA 92592	51
379-480-094 GONZALES FAMILY TRUST 26819 MOUNTAIN GLEN DR MENIFEE CA 92584	52	379-480-095 SAME AS KEY #52 26819 MOUNTAIN GLEN DR MENIFEE CA 92584	53	OWNER: COLE VALLEY PARTNERS BRADEN BERNARDS 2188 PARK PLACE #100 PORTLAND OR 97205	
APPLICANT: DUTCH BROS COFFEE JOHN CAGLIA PO BOX 1929 GRANTS PASS OR 97528		APPLICANT: BARGHAUSEN ENGR SABRINA RUSHING 18215 72ND AVE S KENT WA 98032		APPLICANT: BARGHAUSEN ENGR BRIANNA UY 18215 72ND AVE S KENT WA 98032	

Assessor's Maps



*Data Management for Government
and Business*

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

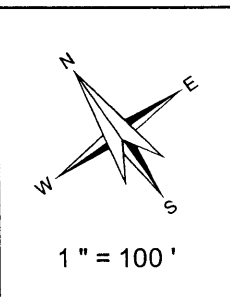
SEC 35 T5SR5W
POR. RANCHO LA LAGUNA

TRA 005-005

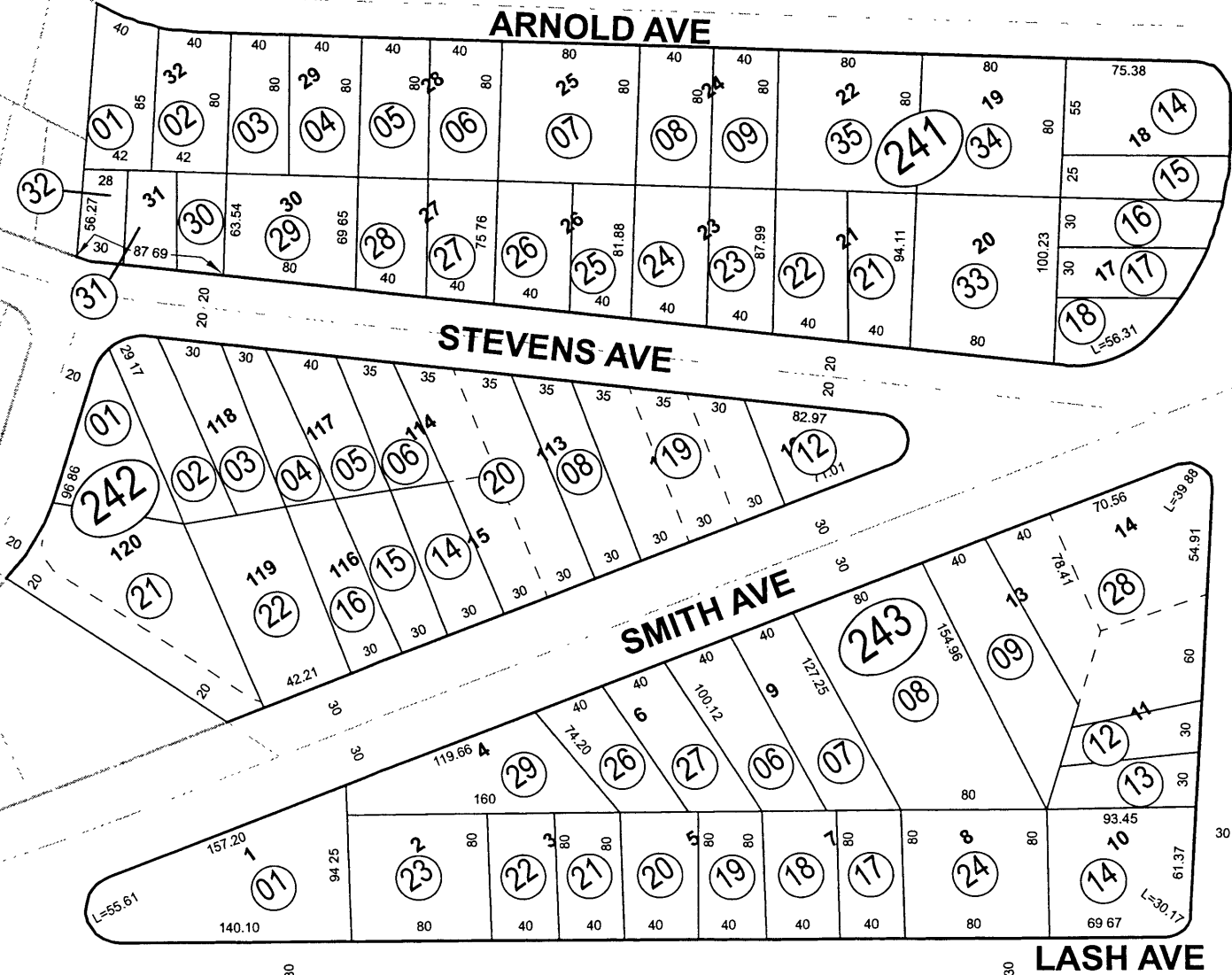
378-24

18-29-7
29-6

MAR 11 2009



1" = 100'



GUNNERSON ST

MORBERG ST

HAGUR ST

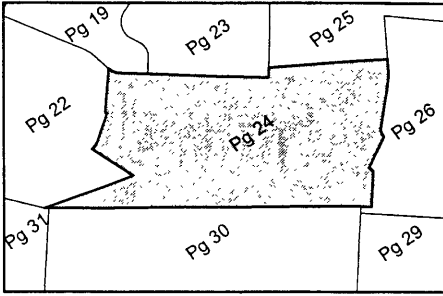
LASH AVE



ASSESSOR'S MAP BK378 PG.24
Riverside County, Calif.

M. HILLIG

Data
R.S. 80/67
R.S. 83/50
MERG. 03-01



MB 16 / 59 - 61 COUNTRY CLUB HEIGHTS UNIT A

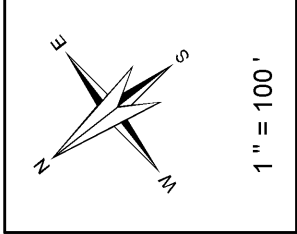
November 2008

Date	Old Number	New Number
8/1/1978	242 (9-11)	19
5/1/1981	244-12,13	19
4/1/1985	242-7,13	20
6/1/1985	241-19,20	33
2/1/1987	243-15,16	24
5/1/1987	243-4,5	25
5/1/1991	245-1,2	26
11/1/1994	243-25	26, 27
2/1/1995	242-18	21
2/1/1995	242-17	22
3/1/1995	10, 11	243-28
11/1/2004	9,10	244-20
7/1/2006	2,3	243-29
7/1/2006	12,13	241-34
7/1/2006	10,11	241-35
11/4/2008	244-1	21, ST
11/4/2008	244-18	22, ST

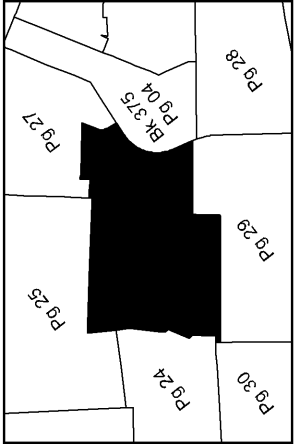
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POR. RANCHO LA LAGUNA
T.5S., R.5W.

378-26
18-29-7



Legend	
	Lot Lines
	Right-Of-Way
	Old Lot Lines
	Reference R.O.W
	Other Easements
	Lease Area
	Subdivision Tie Mark



Date	Old Number	New Number
3/1/1974	263-14,15	31
10/14/1975	262-20,21	262-61
2/1/1976	261-2,3	261-38
4/1/1978	261-32	39,40
4/1/1978	261-31,40	41
4/1/1978	261-33,39	42
2/1/1979	264-807	22
2/1/1980	261-28	43,44
2/1/1980	261-27,44	45
4/1/1980	261-29,43	46
12/1/1980	264-16	23,24
10/1/1981	262-61	62,63
12/1/1981	264-17,23	25
12/1/1983	261-14,17	47
4/1/1984	262-23,24	64
5/1/1986	262-57,58	65
9/1/1986	29-35	262-66
6/1/1989	17,18	262-67
1/1/1990	262-67	68 ST
10/1/1990	13,15,24,25	264-26
10/1/1990	18,20,21,26	264-27
10/1/1990	264-27	28,29
4/1/1992	1,37	261-48
5/1/1992	48	49,50
10/1/1996	13,31	263-32
8/1/1997	262-6	69 ST
3/1/2006	261-4,35	51
5/2/2015	264-28	30 ST

Data *
RS 75/1
CPM 88-2
LLA 90-3
RS 87/46-47



Map Reference *

MB 16/59 - 61 COUNTRY CLUB HEIGHTS UNIT A
MB 17/3 - 4 COUNTRY CLUB HEIGHTS UNIT C

ASSESSOR'S MAP BK378 PG.26

Riverside County, Calif.

JHernandez

May 2015

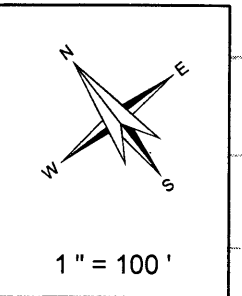
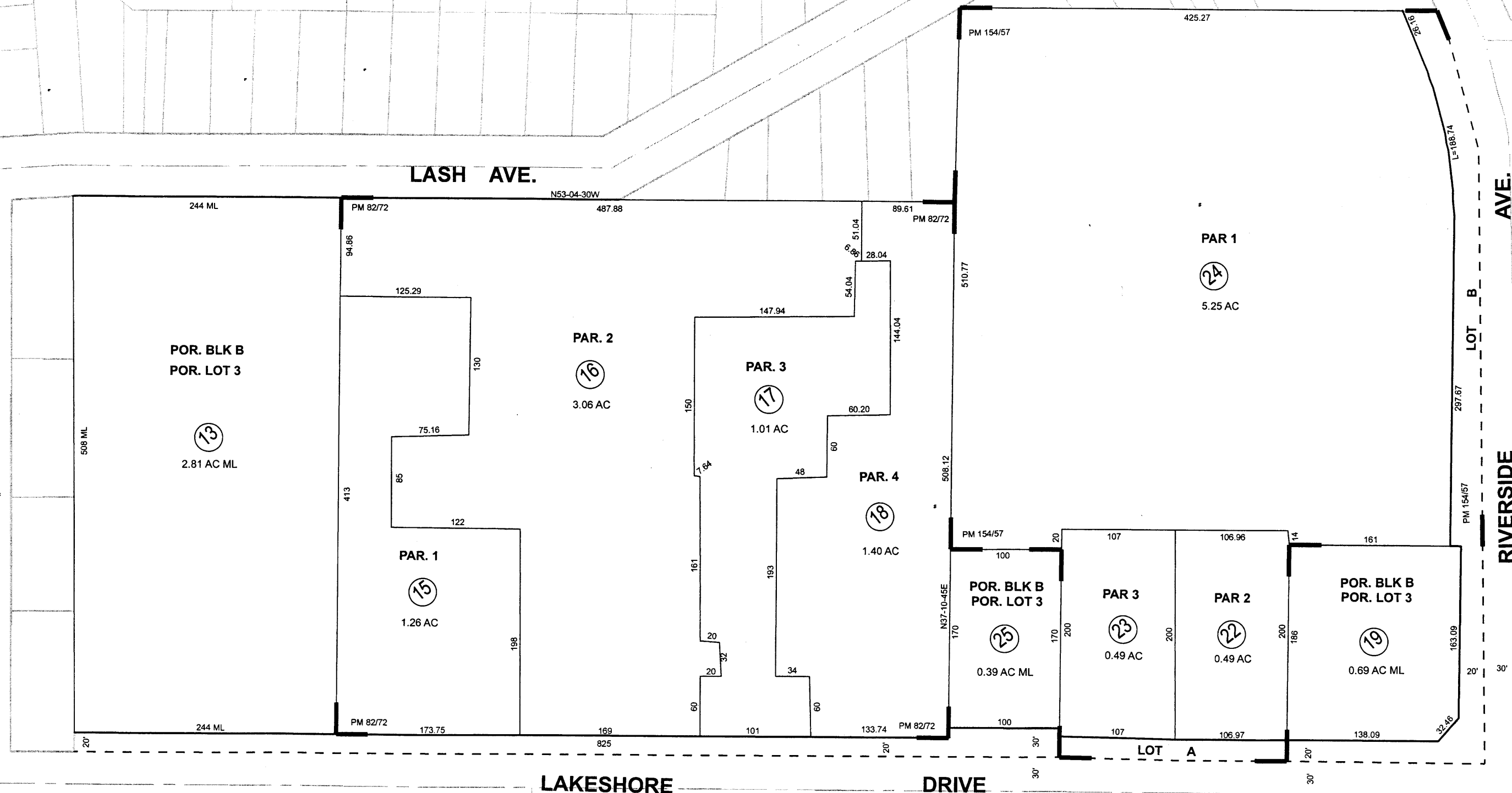
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

SEP 10 2013

POR. SEC. 35 T.5S R.5W
POR. RANCHO LA LAGUNA
CITY OF LAKE ELSINORE

TRA 005-029

378-29
18-32-1



Legend	
—	Lot Lines
—	Right-Of-Way
- - -	Old Lot Lines
- - -	Reference R.O.W
- - -	Other Easements
• • •	Lease Area
—	Subdivision Tie Mark



ASSESSOR'S MAP BK378 PG.29
Riverside County, Calif.

jmorgan

Data	
RS 8/1, RS 66/42-43	
RS 108/44	

Bk 378 Pg 24	Bk 378 Pg 26	Bk 375 Pg 04
Bk 378 Pg 30	Bk 378 Pg 29	Bk 378 Pg 28
Bk 379 Pg 48	Bk 379 Pg 47	Bk 379 Pg 22
Bk 379 Pg 21		

Map Reference	
MB 8/377 SD LOW ROLLING HILLS	
PM 82/72 - 73 PARCEL MAP NO. 15591	
PM 154/57 - 58 PARCEL MAP NO. 22613	

Sep 2013

Date	Old Number	New Number
7/1/1979	2	8
10/1/1979	1,8	9-12
2/1/1980	9,11	13
2/1/1980	10,12	14
10/1/1980	14	15-18
9/1/1986	7	19,ST
1/2/1989	3,4,6	20
1/2/1989	20	21-23
6/1/1999	21	24,ST
9/3/2013	5	25,ST

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FEB 19 2008

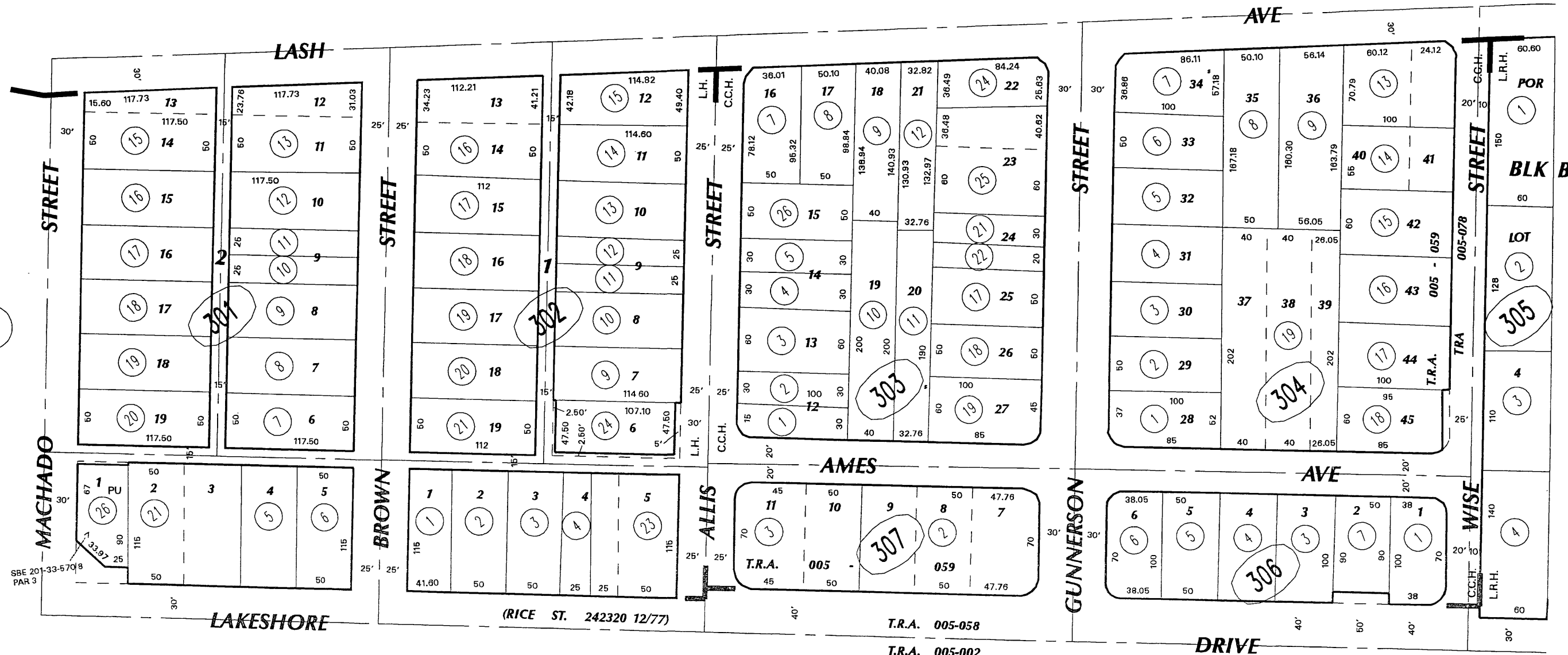
POR.PROTRACTED SEC. 35 T.5S.,R.5W
CITY OF LAKE ELSINORE

T.R.A. 005-058
005-059
005-078

378-30

18-32-1
33

1" = 100'



DATA: MER 539

ASSESSOR'S MAP BK378 PG.30
Riverside County, Calif.

JPH

MB 8/377 SD LOW ROLLING HILLS
MB 11/28 LAKEVIEW HEIGHTS
MB 17/95 COUNTRY CLUB HEIGHTS UNIT F

Feb 2008

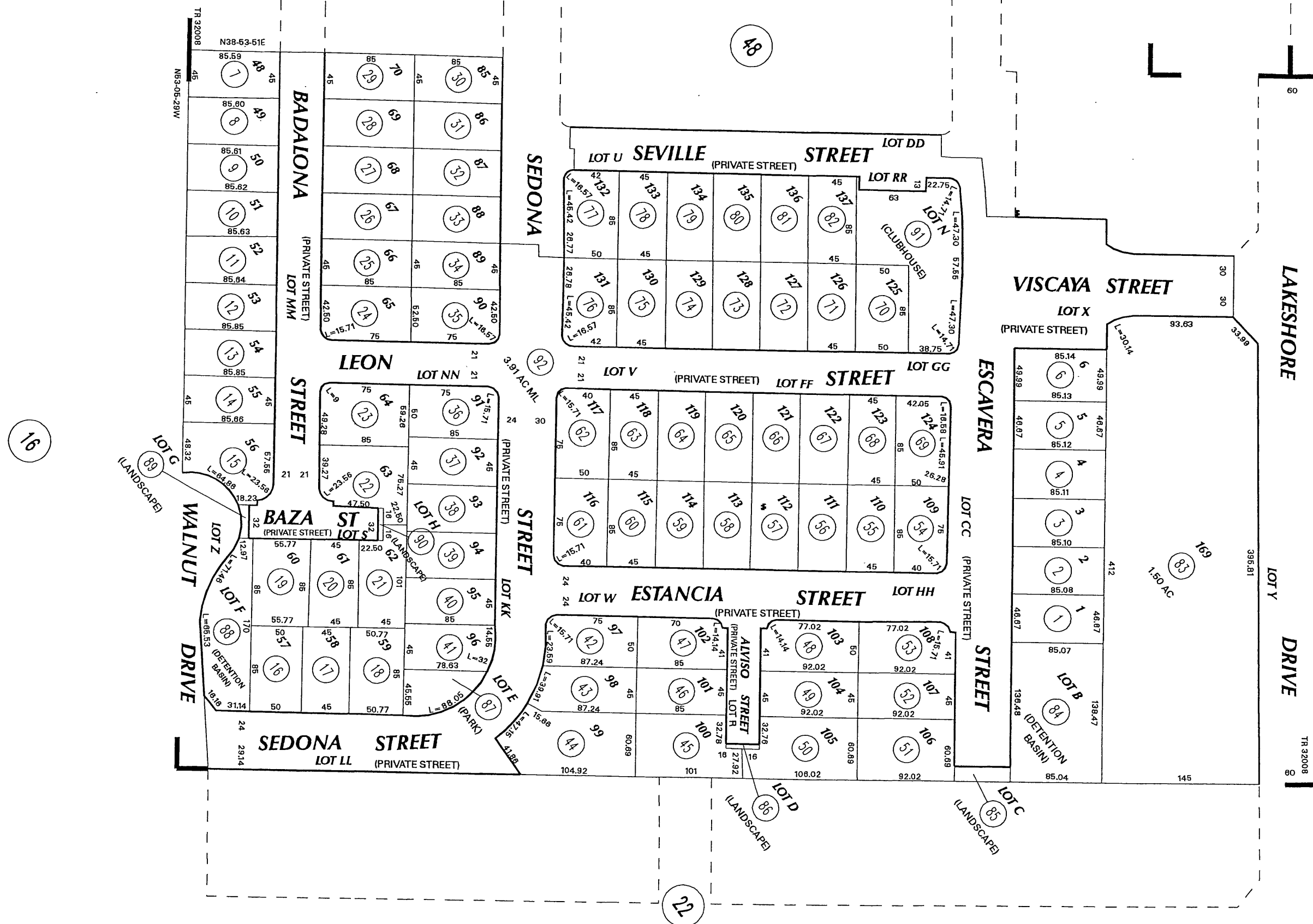
DATE	OLD NUMBER	NEW NUMBER
11/74	303-16	21,22
12/75	307-1	3,4
09/77	301-3,4	21
02/79	304-810	19
DATE	OLD NUMBER	NEW NUMBER
04/80	303-13-15	23
07/80	306-2	7
03/82	302-6,7	22
01/86	302-5,22	23
03/87	303-23	24,25
01/89	303-6,20	26
02/89	301-1,2	22,23,ST
03/89	301-22,23	24,25,ST
03/89	24,25	301-26
02/08	302-8	24,ST

FEB 23 2006

POR. PROTRACTED SEC. 35 T. 5S., R. 5W
~~POR. PROTRACTED SEC. 2 T. 6S., R. 5W~~
 CITY OF LAKE ELSINORE

T.R.A. 005-028

379-47
379-23



ASSESSOR'S MAP BK379 PG.47
Riverside County, Calif.

MB 386/21-27 TRACT MAP NO. 32008

Feb 2006

