



## REPORT TO PLANNING COMMISSION

**To:** Honorable Chair and Members of the Planning Commission

**From:** Damaris Abraham, Assistant Community Development Director

**Prepared by:** Joey Mendoza, Associate Planner

**Date:** February 6, 2024

**Subject:** Planning Application No. 2023-36 (Lake Oasis Spa) – A request for a Conditional Use Permit to establish a new massage establishment within a 1,530 sq. ft. suite within an existing multi-tenant building located at 31900 Mission Trail

**Applicant:** Michelle (Shuanglin) Hu

### **Recommendation**

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities); and
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2023-36 (CONDITIONAL USE PERMIT NO. 2023-13) TO ESTABLISH A NEW MASSAGE ESTABLISHMENT IN AN EXISTING 1,530 SQUARE FOOT UNIT WITHIN A MULTI-TENANT BUILDING LOCATED AT 31900 MISSION TRAIL SUITE 150 (APN: 363-172-006)

### **Project Location**

The project is located within an existing multi-tenant commercial building within the Mission Trail Center near the intersection of Campbell Street and Mission Trail, more specifically referred to as 31900 Mission Trail, Suite 150 (APN: 363-172-006).

### **Environmental Setting**

	EXISTING LAND USE	GENERAL PLAN	ZONING
Project Site	Commercial	Commercial Mixed Use	Commercial Mixed Use (CMU)
North	Commercial	Commercial Mixed Use	Commercial Mixed Use (CMU)
South	Commercial	Commercial Mixed Use	Commercial Mixed Use (CMU)
East	Commercial	Commercial Mixed Use	Commercial Mixed Use (CMU)
West	Commercial	Commercial Mixed Use	Commercial Mixed Use (CMU)

## **Project Description**

Planning Application No. 2023-36 (Conditional Use Permit No. 2023-13) proposes to establish a massage establishment within an existing multi-tenant commercial building within the Mission Trail Center. The proposed project will be located in one of the tenant suites, approximately 1,530 sq. ft. in size. The project proposes five (5) full-body massage rooms, a gender-neutral shower room, a gender-neutral restroom, and a separate reception area at the suite entry. This area will also serve as an office for daily administrative work. The facility will be open from 10:00 AM to 8:00 PM seven (7) days a week and will have two (2) to three (3) employees working different shifts. The facility expects to serve eight (8) to twelve (12) clients on a daily basis.

## **Analysis**

### **General Plan Consistency**

The project site has a General Plan Land Use Designation of Commercial Mixed Use (CMU). The CMU designation provides for a mixture of commercial and residential uses, such as retail and service-based commercial businesses, high-density residential uses, and similar and compatible uses. The project proposes to establish a body massage establishment, which is a service-based commercial business. Therefore, the project is consistent with the General Plan.

### **Municipal Code Consistency**

The current zoning designation for the subject property is Commercial Mixed Use (CMU). Per Section 17.134.020 (Table of land uses and glossary/definitions) of the CMU zone, massage establishments are permitted uses subject to the approval of a Conditional Use Permit.

According to Section 17.148.030.A of the Lake Elsinore Municipal Code (LEMC), the project is required to provide one (1) parking space for every 250 square feet of unit area. The total parking demand for the project will be seven (7) spaces. The proposed project will have sufficient parking as it has been allocated ten (10) non-exclusive parking spaces. Accessible parking is provided for multiple tenants by the existing Mission Trail Center.

The Design Review Committee that includes staff from Planning, Building and Safety, Fire, and Engineering have reviewed the requested Design Review application, and support the proposed application. Appropriate Conditions of Approval have been included approval to ensure compliance with adopted plans, policies, and regulations.

## **Environmental Determination**

Staff has determined that the proposed Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1: Existing Facilities). Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The proposed project will be located within an existing multi-tenant commercial

building and will utilize one of the suites, which is approximately 1,530 sq. ft. in size. No modifications will be made to the exterior of the building. Only minor modifications will be made to the interior of the unit.

### **MSHCP Consistency**

The project is consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). The project site is completely disturbed and is developed with an existing commercial center. The project site is not located in a Criteria Cell and was not required to be processed through the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) processes. The project complies with all other applicable requirements of the MSHCP.

### **Public Notice**

Notice of the hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 300 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

### **Attachments**

- Attachment 1 – CUP Resolution
- Attachment 2 – Conditions of Approval
- Attachment 3 – GIS Exhibits
- Attachment 4 – Use Description
- Attachment 5 – Project Plans
- Attachment 6 – Public Notice Materials

**RESOLUTION NO. 2024-\_\_\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2023-36 (CONDITIONAL USE PERMIT NO. 2023-13) TO ESTABLISH A NEW MASSAGE ESTABLISHMENT WITHIN AN EXISTING 1,530 SQUARE FOOT UNIT WITHIN A MULTI-TENANT BUILDING LOCATED AT 31900 MISSION TRAIL SUITE 150 (APN: 363-172-006)**

**Whereas**, Michelle (Shuanglin) Hu has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2023-36 (Conditional Use Permit No. 2023-13) to establish a new massage establishment within an existing approximately 1,530 sq. ft. unit located within an existing multi-tenant commercial building (Project). The Project is located within the Mission Trail Center near the intersection of Mission Trail and Campbell Street, more specifically referred to as 31900 Mission Trail, Suite 150 (APN: 363-172-006);

**Whereas**, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

**Whereas**, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

**Whereas**, Chapter 17.415.070 of the Lake Elsinore Municipal Code (LEMC) provides that certain uses have operational characteristics that, depending on the location and design of the use, may have the potential to negatively impact adjoining properties, businesses or residents and therefore are permitted subject to the issuance of a Conditional Use Permit, which allows the City to comprehensively review and approve the use;

**Whereas**, pursuant to Chapter 17.415.070 (Conditional Use Permits) of the LEMC, the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and

**Whereas**, on February 6, 2024, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1:** The Commission has considered the Project prior to making a decision and has found it acceptable.

**Section 2:** That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The Project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.



2. The Project is consistent with the Riparian/Riverine Areas, Vernal Pools Guidelines, and the Fuel Management Guidelines as the Project is wholly located within an existing building and does not include any earth disturbing activities therefore Sections 6.1.2 or 6.3.1 of the MSHCP are not applicable.
3. The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines and the Additional Survey Needs and Procedures because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.
4. The Project is consistent with the Fuels Management Guidelines because the Project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.
5. The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.

**Section 3:** The Commission hereby finds and determines that the Project is categorically exempt from California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq. "CEQA") and CEQA Guidelines (14. Cal. Code Regs. §§15000 et seq.), specifically pursuant to Section 15301 (Class 1 – Existing Facilities). Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The proposed project will be located within an existing multi-tenant commercial building and will utilize one of the suites, which is approximately 1,530 sq. ft. in size. No modifications will be made to the exterior of the building. Only minor modifications will be made to the interior of the unit.

**Section 4:** That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Conditional Use Permit No. 2023-13:

1. That the proposed use, on its own merits and within the context of its setting, is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

*The project site has a General Plan Land Use Designation of Commercial Mixed Use (CMU). The CMU designation provides for a mixture of commercial and residential uses, such as retail and service-based commercial businesses, high-density residential uses, and similar and compatible uses. The project proposes to establish a body massage establishment, which is a service-based commercial business. Therefore, the project is consistent with the General Plan. The current zoning designation for the subject property is Commercial Mixed Use (CMU). Per Section 17.134.020 (Table of land uses and glossary/definitions) of the CMU zone, massage establishments are permitted uses subject to the approval of a Conditional Use Permit.*

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

*The proposed use will be located within an existing building. The proposed use does not propose either directly or indirectly any detrimental effects to the existing surrounding community. The Project has been conditioned as such to avoid any possible negative impacts associated with the conversion and operation of the proposed facility.*

3. The site for the intended use is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

*The proposed use has been analyzed and staff has determined that the proposed use meets all applicable sections of the LEMC and will complement the existing uses, based on the submitted plans and attached conditions of approval.*

4. The site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

*The proposed use is located within an existing built environment, inclusive of streets. The existing streets are of adequate size to facilitate safe and convenient transportation to and from the site.*

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

*The Project has been thoroughly reviewed and conditioned by all applicable City departments thereby eliminating the potential for any adverse effects.*

6. Adequate conditions and safeguards pursuant to Section 17.415.070.B of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject Project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

*Pursuant to Section 17.415.070.B of the LEMC, the Project was considered by the Commission at a duly noticed Public Hearing on February 6, 2024, appropriate and applicable conditions of approval have been included to protect the public health, safety and general welfare.*

**Section 5:** Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby finds that the project is consistent with the MSHCP.

**Section 6:** Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the Project, the Commission hereby approves Planning Application No. 2023-36 (Conditional Use Permit No. 2023-13).

**Section 7:** This Resolution shall take effect immediately upon its adoption.

**Passed and Adopted** this 6<sup>th</sup> day of February, 2024.

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Jodi Peters, Chair

**Attest:**

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Damaris Abraham,  
Assistant Community Development Director

STATE OF CALIFORNIA            )  
COUNTY OF RIVERSIDE        ) ss.  
CITY OF LAKE ELSINORE        )

I, Damaris Abraham, Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2024-\_\_ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held on February 6, 2024, and that the same was adopted by the following vote:

AYES  
NOES:  
ABSTAIN:  
ABSENT:

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Damaris Abraham,  
Assistant Community Development Director

## CONDITIONS OF APPROVAL

**PROJECT:** PA 2023-36/CUP 2023-13  
**PROJECT NAME:** Lake Oasis Spa  
**PROJECT LOCATION:** APN: 363-172-006  
**APPROVAL DATE:**  
**EFFECTIVE DATE:**  
**EXPIRATION DATE:**

### **GENERAL CONDITIONS**

1. Planning Application No. 2023-36 (Conditional Use Permit No. 2023-13) proposes to establish a new massage establishment within an existing approximately 1,530 sq. ft. unit located within an existing multi-tenant commercial building (Project). The Project is located within the Mission Trail Center near the intersection of Mission Trail and Campbell Street, more specifically referred to as 31900 Mission Trail, Suite 150 (APN: 363-172-006).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning approval, implementation and construction of CUP 2023-13, which action is brought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension or modification of CUP 2023-13 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of Project approval and prior to issuance of any building permits, the applicant shall sign and complete an "Acknowledgement of Conditions," and shall return the executed original to the Community Development Department for inclusion in the case records.

### **PLANNING DIVISION**

4. Conditional Use Permit No. 2023-13 shall lapse and become void two years following the date on which the Conditional Use Permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (B) and (C) of LEMC Section 17.415.070. Subject to the provisions of LEMC Section 17.415.070, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall

continue to be valid upon a change of ownership of the site or structure which was the subject of the Conditional Use Permit application.

5. The Applicant shall meet all applicable City Codes and Ordinances.
6. The applicant shall at all times comply with Section 17.176 (Noise Ordinance) of the LEMC.
7. An application for modification, expansion or other change in a Conditional Use Permit shall be reviewed according to the provisions of the Section 17.415.070 of the LEMC, in a similar manner as a new application
8. A business license shall be obtained prior to a certificate of occupancy of the proposed establishment.
9. The use shall be operated as a Massage Establishment. Additionally, all future massage practitioner(s) or massage therapist(s), working under a conditionally approved Massage Establishment, must hold a valid massage practitioner or massage therapist certification issued by the California Massage Therapy Council (CAMTC) or apply for the City of Lake Elsinore Massage Technician Permit, pursuant to City's provisions.
10. There shall be no loitering around the business.
11. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application.
12. Business hours shall be Monday through Sunday from 10:00 AM to 8:00 PM. In the event the applicant proposes to modify the hours of operation, the modification shall be subject to review by the Community Development Director. The Community Development Director may approve the modification or refer the matter to the Planning Commission if judged to be substantial.
13. A Temporary Use Permit or Special Event Permit, as applicable, shall be obtained prior to conducting any and all outdoor events on the subject property.
14. If operation of this use triggers concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said Conditional Use Permit.
15. No individual signs are approved as part of this approval. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site.
16. Graffiti shall be removed within 24 hours.
17. The vicinity of the establishment shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.

**BUILDING DIVISION**

18. The Applicant shall meet all applicable Building Codes in effect at the time, including requirements for the occupancy.
19. Any internal or external modifications to the building shall require a building permit.

**CITY OF LAKE ELSINORE FIRE MARSHAL**

20. The applicant/operator shall comply with all requirements of the Riverside County Fire Department Lake Elsinore Office of the Fire Marshal.



I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the City of Lake Elsinore Planning Commission on \_\_\_\_\_. I also acknowledge that all Conditions shall be met as indicated.

Date: \_\_\_\_\_

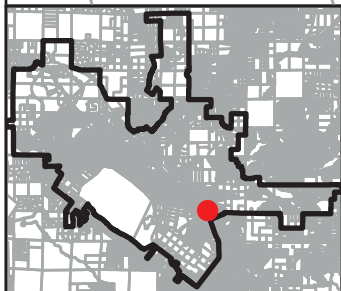
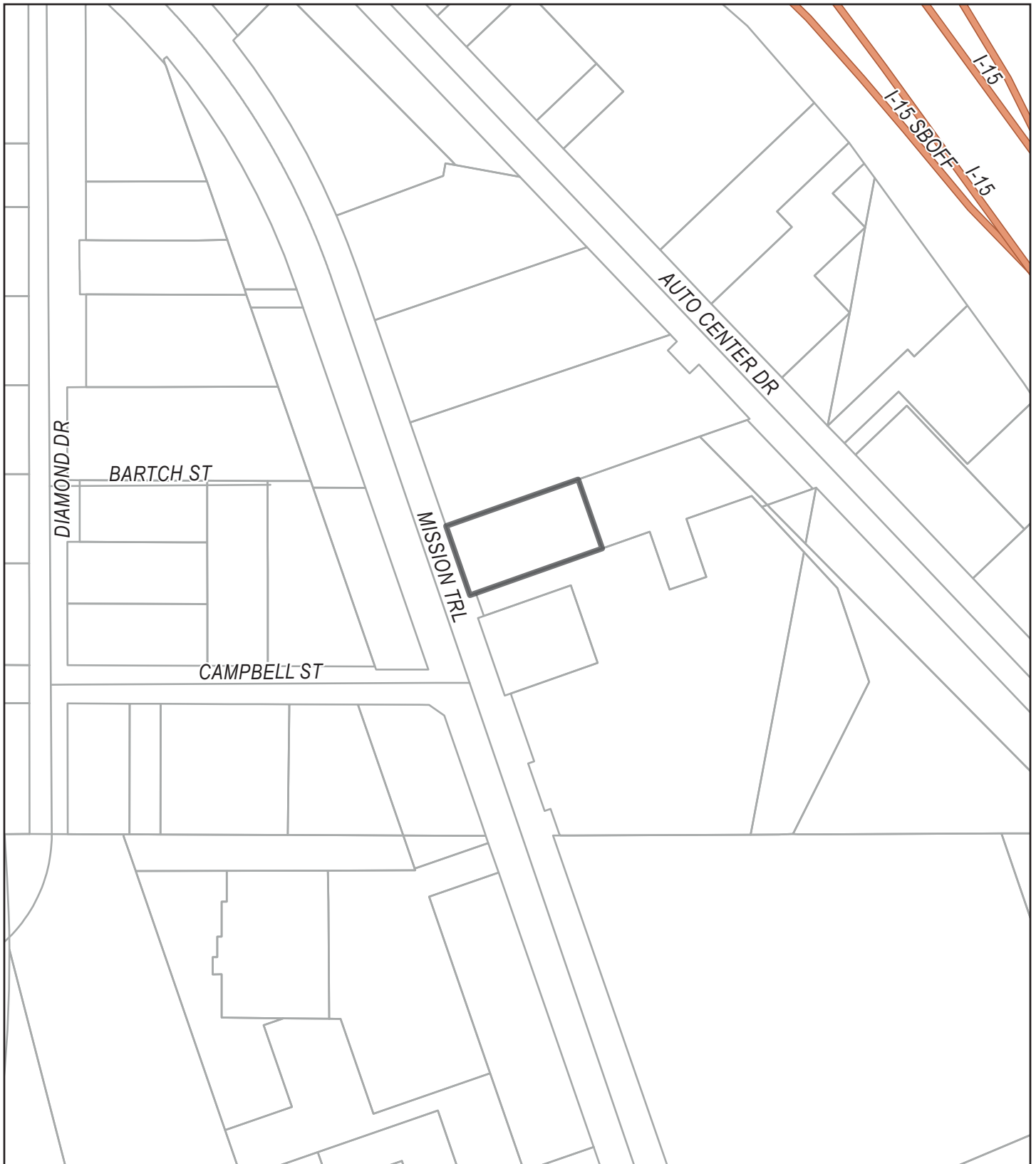
Applicant's Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

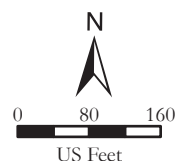
Phone Number: \_\_\_\_\_



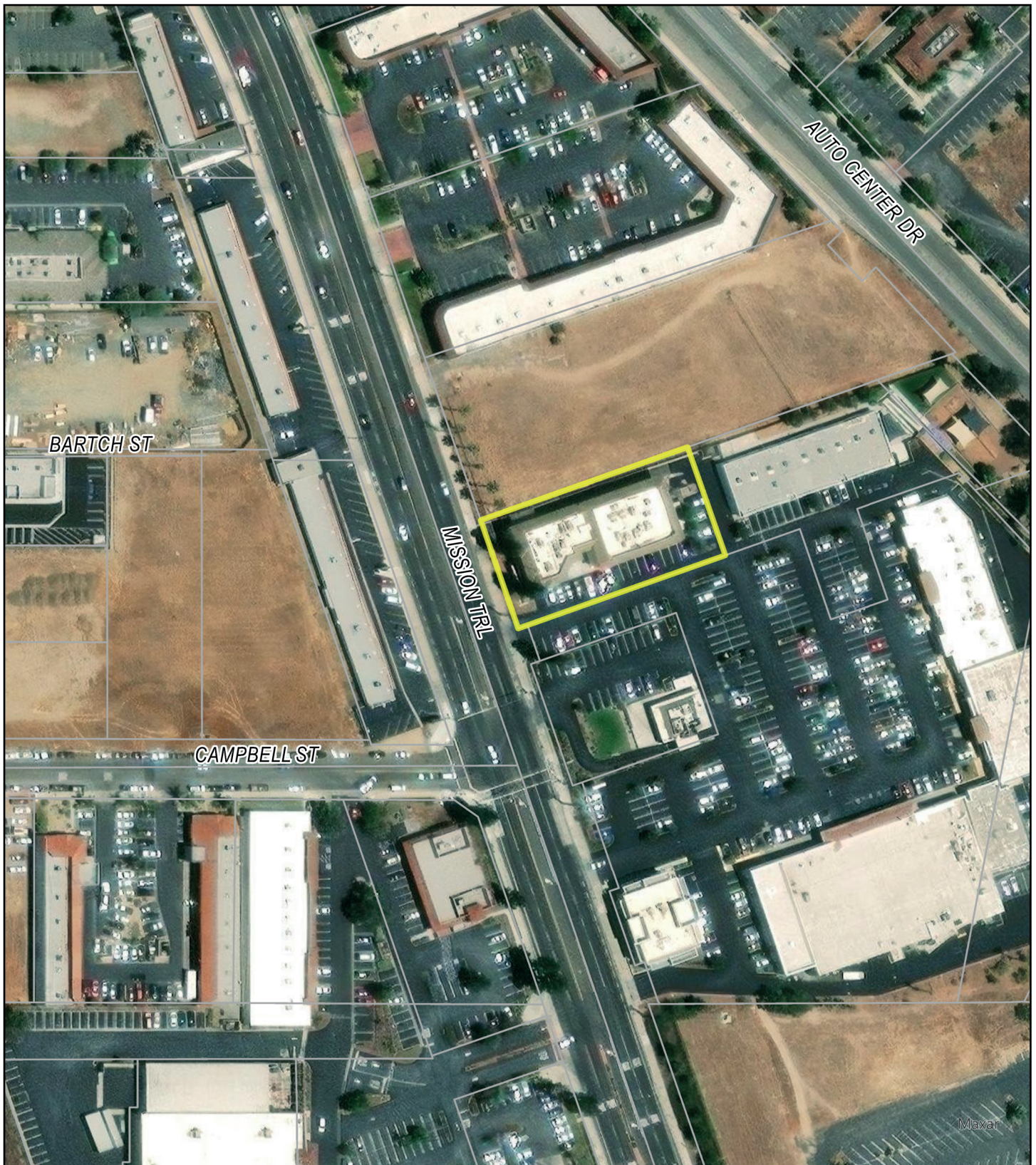
# Vicinity Map

Planning Application No. 2023-36  
CUP No. 2023-13

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet







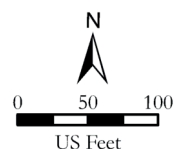
Maxar



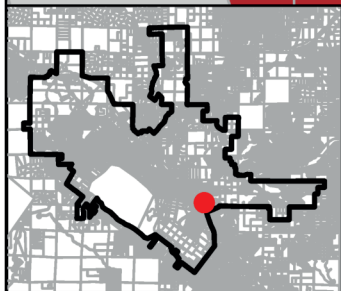
# Aerial Map

Planning Application No. 2023-36  
Conditional Use Permit No. 2023-13

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet



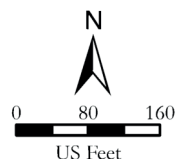


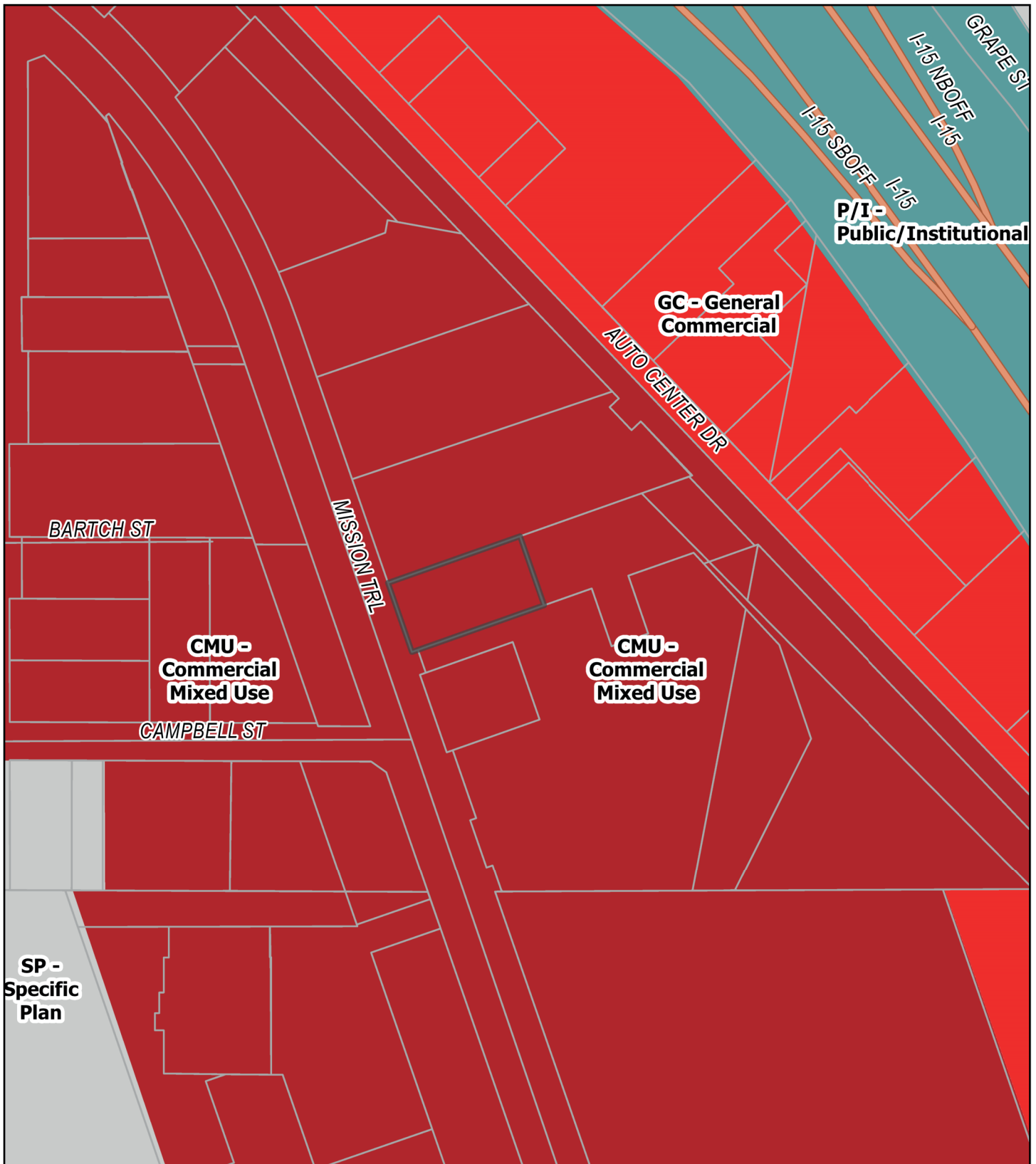


# Zoning Exhibit

Planning Application No. 2023-36  
Conditional Use Permit No. 2023-13

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

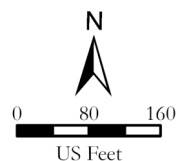




# General Plan Exhibit

Planning Application No. 2023-36  
Conditional Use Permit No. 2023-13

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet



### **Lake Oasis Spa Business Description**

Lake Oasis Spa is dedicated to providing clients an excellent healing massage experience to help them reduce stress, ease muscle tension, reduce aches and pains, and achieve inner and outer body balance.

Hours Of Operation: 10 AM-8 PM Monday-Sunday

Staffing: We expect to have 2-3 employees working different shifts to meet the needs of our clients and provide exceptional service. This gives us the flexibility to respond to changes in client traffic and ensures that each client receives a personalized massage experience.

Business Projection: We expect 8-12 clients to visit our massage establishment daily. This range can vary depending on the day and time, but we always strive to provide the best possible service to each client to ensure they have a satisfying massage experience.

Sanitation and Cleanliness: We use disinfectant water, laundry detergent, bleach and degreasing cleaners to clean and sanitize massage rooms, massage beds and equipment to ensure a high level of hygiene. Arrange for professional cleaning staff to carry out comprehensive cleaning on a daily basis, including floors, surfaces, decorations and other areas to ensure the cleanliness of the store environment. Regularly cleans, sanitizes and replaces sheets, towels and linens on massage beds to ensure that clients come into contact with clean massage bedding during each massage. Encourage staff and clients to follow proper sanitation rules, including diligent hand washing and wearing masks, to ensure sanitation and safety.

Services Offered: Our massages include but are not limited to: ● Japanese Shiatsu Massage: It utilizes fingers, thumbs and palms to apply moderate pressure to specific points on the body with the aim of promoting energy flow, relieving muscle tension and enhancing body balance. This massage focuses on pressure points and energy channels. ● Deep Massage: Deep massage focuses on applying deeper, more targeted pressure to target deep muscles and connective tissues. It is often used to relieve chronic muscle tension, pain and stress to provide deep relaxation ● Swedish Massage: Swedish massage is a relaxing type of massage that promotes a sense of comfort and relaxation in the body through the use of long gliding, kneading and light tapping techniques. This type of massage helps to reduce stress, improve circulation and soothe muscles. ● Foot Massage: Foot massage concentrates on points and areas on the bottom of the feet in order to stimulate relaxation and balance throughout the body through foot massage. Foot massage can help relieve discomfort and stress and improve circulation. ● Lymphatic Massage: Lymphatic massage focuses on stimulating the lymphatic system to help eliminate waste and toxins from the body and improve immune system function. This massage is generally gentle and designed to promote the body's natural cleansing process. ● Hot stone massage: Hot stone massage uses hot stones on specific areas of the body to promote deep muscle relaxation, increase circulation, and provide a deeply relaxing experience. Hot stone massage can be used in combination with other massage types. ● Use of Sea Salt Heat Packs: This service involves the use of warm sea salt heat packs during the massage to improve circulation and enhance relaxation. Sea salt compresses enhance the comfort of the massage experience.

7. Service Time: 30 mins, 60 mins, 90 mins.



**DESIGN  
ER:**

**BIG  
DIPPER  
GN**

**INDUSTRIAL COMMERCIAL  
AND RESIDENTIAL  
DESIGN**

The drawings and specifications and the ideas, designs and arrangements represented thereby are the sole property of the copyright holders. They are not to be the sole property of the client. They are not to be used for any other purpose without the written consent of BIG DIPPER GN. Violent contact with these drawings or specifications shall constitute evidence of acceptance of these conditions.

CONTRACTOR

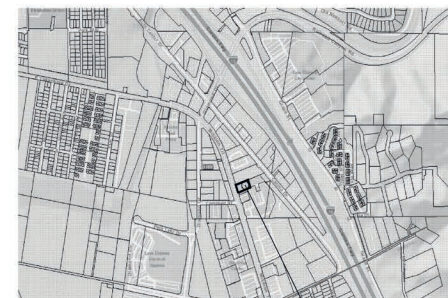
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SHEET  
INFO DATE 6-  
22-2023  
DESIGN BY  
Edward  
CHECK BY  
JustinALE  
PROJECT #  
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VICINITY MAP  
N.T.S.

APN: 363172006  
TAG: 005-017 LAKE ELSINORE  
ACREAGE: .58 ACRES

SPRINKLER:	NON SPRINKLERED
TYPE OF CONS.:	V-B
OCCUPANCY:	B
BUILD STORIES:	2
BUILD HEIGHT:	25'-0" +/-

**BUSINESS:** RELAX MASSAGE SPA  
**OWNER:** SHANSHAN LIU  
(626)-247-1398  
888 S BREA CANYON RD,  
UNITE-303  
DIAMOND BAR, CA 91789

LOT SIZE: .58 ACRES  
UNITE: 150  
UNIT SIZE: 1,530 SQ.FT +/-

2019 CALIFORNIA FIRE CODE (CFC)	2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (T-24)	2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)	2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 LOCAL ORDINANCES	2019 CALIFORNIA MECHANICAL CODE (CMC)
	2019 CALIFORNIA PLUMBING CODE (CPC)

NEW OWNER TO MESSAGE USE TOTAL ALTERATION AREA :1,530 SQFT  
(N)SERVICE ROOM X4  
(N)SHOWER ROOM X1  
(N)STORAGE ROOM X1

PLUMBING AND ELECTRICAL WORKS RELATED ABOVE.  
EXISTING HVAC SYSTEM TO REMAIN / HVAC LOAD WILL NOT BE ALTE  
EXISTING ENVELOPE NO CHANGED.

ARCHITECT: BIG DIPPER DESIGN WORKS  
CONTACT: EDWARD M  
(213)321-0035  
MAIYUYANG@HOTMAIL.COM

MEP: JS ELECTRICAL  
ENGINEER ENGINEERING INC.  
CONTACT: JOE ZHANG  
(626)456-2318  
JOEZHANG@SBCGLOBAL.NET

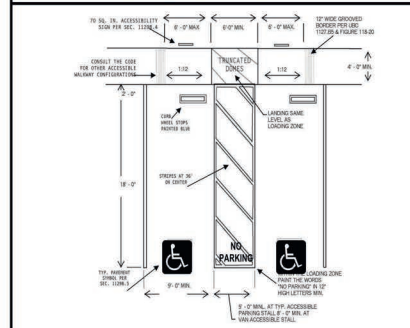
P1	TITLE SHEET	E1	TITLE SHEET	A-0	TITLE SHEET, SITE PLAN
P2	WASTE AND VENT HOT AND COLD	E2	POWER, LIGHTING AND ROO	A-1	FLOOR PLAN(EX.&PROP.)
		E3	T-24	A-2	CEILING PLAN
				A-3	ELEVATIONS & DETAILS

- 1 EXISTING ACCESSIBLE CONC. BUILDING PROPERTY SIDEWALK PATH OF TRAVEL TO THE BUILDING NO CHANGE
- 2 EXISTING ACCESSIBLE HANDICAP BUILDING PARKING PATH OF TRAVEL TO THE ENTRANCE
- 3 EXISTING FRONT ENTRANCE & EXIT.
- 4 EXISTING REAR EXIT.
- 5 EXISTING TRASH ENCL.
- 6 EXISTING CONC. DRIVEWAY
- 7 EXISTING LANDSCAPE
- 8 EXISTING ACCESSIBLE PARKING SIGN.

SCALE: N.T.S

REFERENCE ENTIRE  
EXISTING SITE PLAN  
NO CHANGE

### ACCESSIBLE PARKING SPACE

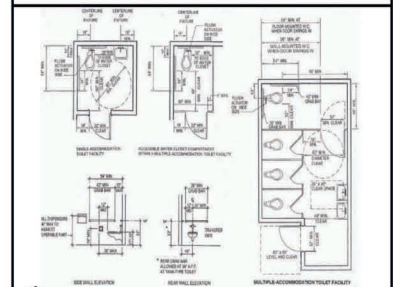


**PARKING SPACE SIZE:** Physically disabled parking spaces shall be located as near as possible to the building's primary entrance. The space shall be outlined to provide a 9' wide vehicle space and a 5' wide loading zone on the passenger side of the vehicle. At least one space shall have an 8' wide unloading zone for vans. When two spaces are provided they may share a single 5' wide loading zone. The minimum length of the parking space shall be 30'.  
**ARRANGEMENT OF PARKING SPACES:** A wheel bumper or curb shall be provided at each parking space to prevent encroachment of the vehicle over the required walkway. Spaces shall be located such that the path of travel to the building would not require a person to pass behind another person's vehicle. Ramps shall not encroach into any accessible parking space or the adjacent access aisle. The maximum cross slope in any direction of an accessible parking space and adjacent access aisle shall not exceed 1/4" per foot (2%) in any direction.  
**IDENTIFICATION OF PARKING SPACES:** Each space for the physically disabled shall be provided with a 70 sq. inch sign, displaying the international handicap symbol, located at the front of the space mounted either on a pole min. 80" above the walking surface or on the building min. 36" above the adjacent grade. Each space shall also have painted on the parking surface a 36" sq. international handicap symbol of white on a blue background. The words "NO PARKING" shall be painted on the ground within each loading and unloading access aisle in letters not less than 12" high and located so that it is visible to traffic enforcement officials. A 17" X 22" sign shall be provided at the entrance(s) to the parking lot with 1" letters which read: Unattended vehicles parked in designated handicapped spaces not displaying placards or license plates issued for physically disabled persons may be towed away at owner's expense. Toward vehicles may be reclaimed at \_\_\_\_\_ or \_\_\_\_\_ by telephoning \_\_\_\_\_.  
Blank spaces are to be filled in with appropriate information in a permanent part of the sign.

CBC 1129B.3 January 2008

U:\Building & Safety Forms\Accessible Parking Space-Created on 8/25/08

### ACCESSIBLE TOILET

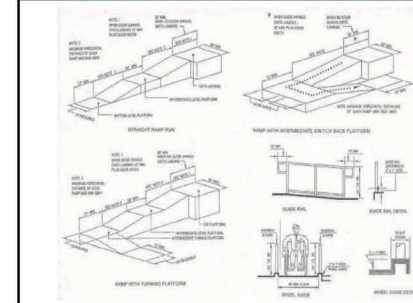


1. A clear space measured from the floor to a height of 27" above the floor shall be of sufficient size to inscribe a circle with a 60" diameter. A door, with the exception of the water closet compartment door, may encroach into this space a maximum of 12".
2. The compartment shall be a minimum of 60" wide.
3. If the compartment has side-opening doors, a minimum 60" wide and 60" deep clear floor space is required.
4. If the compartment has an end-opening door, a minimum 60" wide and 48" deep clear floor space is required in front of the water closet. The door shall be located in front of the clear floor space with a maximum 4" overhang.
5. The compartment door shall have an automatic closing device mounted below the lock that does not require user to grasp or twist. The door shall have a clear opening width of 32" when located at the end and 34" when located at the side.
6. Both sides of the compartment door shall be equipped with a large or U-shaped handle.
7. Access doors shall be mounted to provide a minimum 18" wide side clearance.
8. An unobstructed access of not less than 48" shall be provided to the compartment.
9. The centerline of the fixture shall be 18" from the side wall, and shall be located a minimum of 28" from another fixture and 32" to a wall.
10. A minimum 60" wide and 48" deep clear floor space shall be provided in front of the water closet.
11. The minimum height of an accessible water closet is 17", maximum height is 19".
12. Controls shall be mounted on the wide side of toilet areas, no more than 44" above the floor. Controls shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The maximum force to operate controls is 5 pounds.
13. Grab bars shall measure 1.25" - 1.50" in diameter, shall be located on the side, and rear walls, shall be mounted 33" above the floor, and shall not project more than 3" into the required floor space. They shall be capable of supporting a 250 lb load. The side grab bar shall be 42" long and located a maximum 12" from the rear wall, extending 24" past the front of the water closet. The rear grab bar shall be 36" long and shall extend 12" from the centerline of the fixture on one side and 24" on the other side.
14. The toilet tissue dispenser shall be mounted on the wall within 12" of the front of the front edge of the toilet seat and minimum 19" above the floor. The dispenser shall provide continuous paper flow.
15. Other dispensers such as soap dispensers and sanitary napkins shall be mounted so that all operable parts are within 48" from the finished floor.

CBC 1129B.4 January 2008

U:\Building & Safety Forms\Accessible Toilet-Created on 8/25/08

### ACCESSIBLE RAMPS

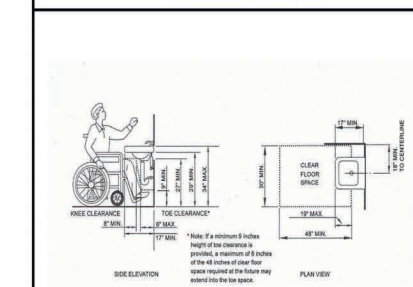


1. Any accessible route of travel shall be considered a ramp if its slope is greater than 1:20 (5%). The maximum slope of an accessible ramp shall be 1:12 (8.33%). The maximum rise for any run shall be 30".
2. Pedestrian ramps shall have a minimum clear width of 48". Ramps serving as the only exit discharge path from a building with an occupant load of 300 or more shall have a clear width of 60". Residential ramps serving an occupant load of 50 or less may have a clear width of 36". Ramps shall be slip resistant and shall not accumulate water.
3. The cross slope of a ramp surface shall be no greater than one unit in 50 horizontal units (2%).
4. Level ramp landings shall be provided at the top and bottom of each ramp. Intermediate landings shall be provided at intervals not exceeding 30" of vertical rise.
5. The top landing width shall be not less than 60 inches wide and shall have a length of not less than 60" in the direction of ramp run. Landings at the bottom of ramps shall have a dimension in the direction of travel of not less than 72".
6. Doors in any position shall not reduce the minimum dimension of the landing to less than 42" and shall not reduce the required width by more than 3" when fully open.
7. The width of the landing shall extend 24" past the strike edge of any door or gate for exterior ramps; 18" for interior ramps.
8. At bottom and intermediate landings, the width shall be at least the same as required for the ramps.
9. Intermediate and bottom landings at a change of direction in excess of 30 degrees shall have a dimension in the direction of ramp run of not less than 72" to accommodate the handrail extension.
10. Other intermediate landings shall have a dimension in the direction of ramp run of not less than 60 inches.
11. Required ramps shall have a curb at least 2" high or a wheel guide rail 2 to 4" on each side of the ramp.
12. Handrails are required when the slope exceeds 1:20 (5%). Handrails shall measure 1.25" min - 1.50" max, and shall be mounted 34"-38" above the ramp and extend minimum one foot past the top and bottom of the ramp. Review 1133B.5.5 for additional handrail requirements.

U:\Building & Safety Forms\Accessible Ramps-Created on 8/27/08

CBC 1133B.5 January 2008

### ACCESSIBLE LAVATORY



1. Faucet controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The maximum force to operate controls is 5 pounds. Self-closing valves are allowed if the faucet remains open for at least 10 seconds.
2. Lavatories, when located adjacent to a wall or partition shall be a minimum 18" to the centerline of the fixture. Accessible lavatories shall be a minimum of 17" in horizontal depth and mounted with the rim no higher than 34" above the finished floor. Vertical clearance from the bottom of the rim or counter edge is 29", reducing to 27" at a point located 9" back from the front edge. A minimum 9" high toe clearance shall extend toward the back wall to a distance no more than 6" from the back wall.
3. A clear floor space that measures 30" X 48" shall be provided in front of the accessible lavatory. The clear floor space shall adjoin or overlap an accessible route and shall extend a maximum of 19" into knee and toe space underneath the lavatory.
4. Hot water and drainpipes accessible under lavatories shall be insulated or covered. There shall be no sharp or abrasive surfaces under lavatories.

CBC 1115B.4.3 January 2008

U:\Building & Safety Forms\Accessible Lavatory-Created on 8/27/08

DESIGN  
ER:

ARCHITECT/  
ENGINEER:

CONTRACTOR:

BUSINESS:

PROJECT:

EX. MAS  
SAGE  
CHANGE  
OPEN  
OWNER  
SHEP  
MISSION  
TRAIL  
SUITE 150  
EL SINORE,  
CA 92530

PLAN  
CHECK  
NO REVISIONS

SHEET  
INFO: 6-  
DESIGN  
Edward  
CHECK BY  
JULIE  
BDB2 T 31900.150

SHEET  
CONTENT:

ACCESSI  
BLE  
DETAIL

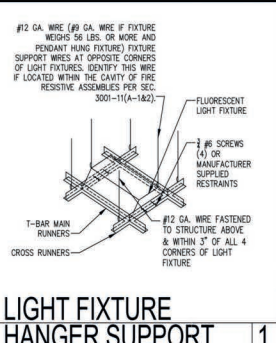
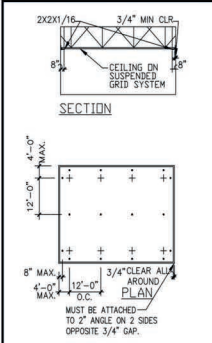
SHEET  
NO:

A-  
01







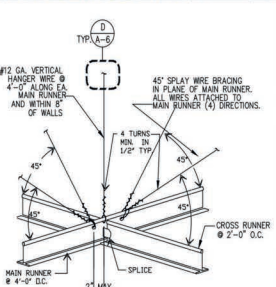


**LIGHT FIXTURE HANGER SUPPORT** 1

THE UNATTACHED PERIMETER SHALL HAVE A MINIMUM OF 3/4" CLEARANCE AT ENDS OF COMPONENTS. CONTINUOUS SPACER BAR TO BE LOCKED TO COMPONENTS ON THE UNATTACHED WALL. PERIMETER TERMINAL COMPONENT ENDS MUST BE SUPPORTED BY A 12GA. WIRE ON ALL WALLS. BRACING WIRES TO BE ATTACHED AT A MAXIMUM 45° TO THE PLANE OF THE CEILING AND PARALLEL TO COMPONENTS INTERSECTING AT THE BRACE LOCATION. BRACE WIRES TO BE TAUT AND TIED BOTH ENDS WITH A MINIMUM OF THREE TIGHT WIRES.

1/ SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2-INCH OVERSIZE RING, SLEEVE OR ADAPTOR THROUGH THE CEILING TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1 INCH IN ALL HORIZONTAL DIRECTIONS.

2/ CABLE TRAYS AND ELECTRICAL CONDUITS SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING.



**T-BAR HANGER WIRE DETAIL** 4

**USG CORPORATION**  
(ICC ESR-1308)  
SECT. 4.7.5.3

**ASTM E580/E580M-16**

**Standard Practice for Installation of Ceiling Suspension Systems for Acoustical Tile and Lay-in Panels in Areas Subject to Earthquake Ground Motions**

- 1.1 This practice covers the installation of suspended systems for acoustical tile and lay-in panels and their additional requirements for two groups of buildings that are constructed to resist the effects of earthquake motions as defined by ASCE 7 and the International Building Code. These groupings are for Seismic Design Category C and Seismic Design Categories D, E and F.
- 1.2 The authority having jurisdiction shall determine the applicability of this practice.
- 1.3 Specification C635 and Practice C636 cover suspension systems and their installation without special regard to seismic lateral restraint needs. They remain applicable and shall be followed when this practice is specified.
- 1.4 Ceilings less than or equal to 144 square feet and surrounded by walls connected to the structure above are exempt from the requirements of this practice.
- 1.5 This practice is not intended to stifle research and development of new products or methods. This practice is not intended to prevent the installation of any material or prohibit any design or method of construction not prescribed in this practice, provided that any such alternative has been substantiated by verifiable engineering data or full-scale dynamic testing that is acceptable to the authority having jurisdiction.
- 1.6 Ceiling areas of 1000 ft<sup>2</sup> [92.9 m<sup>2</sup>] or less shall be exempt from the lateral force bracing requirements of 5.2.8.
- 1.7 Ceilings constructed of gypsum board which is screw or nail attached to suspended members that support a ceiling on one level extending from wall to wall shall be exempt from the requirements of this practice.

COMPRESSION PIPE STRUT SIZE SCHEDULE (BASED ON L/R LESS THAN 200)

SIZE	MAX. HEIGHT
1/2" x 22 GA.	3'-0"
3/4" x 22 GA.	4'-0"
1" x 22 GA.	5'-0"
1-1/4" x 20 GA.	7'-0"
1-1/2" x 20 GA.	8'-6"
2" x 20 GA.	11'-0"
2-1/2" x 18 GA.	14'-8"
3" x 16 GA.	17'-3"
3-1/2" x 16 GA.	23'-3"



**COMPRESSION E.M.T. DETAIL** 2



**COMPRESSION STUD TOP CONNECTION** A



**COMPRESSION E.M.T. TOP CONNECTION** B

- T-BAR SYSTEM TOP CONNECTION DETAIL KEY NOTES**
- 1 EXISTING ROOF SHEATHING NO CHANGE
  - 2 EXISTING 2x8 ROOF RAFTERS @ 16" O.C. NO CHANGE
  - 3 3625150-30 COMPRESSION STUD @ 8'-0" MAX.
  - 4 PROVIDED NEW 2x10 W/ 2" BLOTTING W/ (2) 16d @ EACH END TYP. WHERE PERPENDICULAR TO EXISTING R/W
  - 5 (3) 1/4"x2" WOOD SCREWS
  - 6 COMPRESSION PIPE STRUT 1/2" E.M.T. @ 8'-0" MAX.
  - 7 12 GA. HANGER WIRE @ 90 DEGREE MIN. (4) TURNS
  - 8 1/4"x9" CLOSED EYE SCREW WITH FULL THREAD EMBEDMENT (1-1/4" MIN.) TO NEW 2x10 BLOTTING
  - 9 ANGLE CLIP SECURED TO 2x10 BLOTTING W/ (2) 1/4"x2" WOOD SCREWS

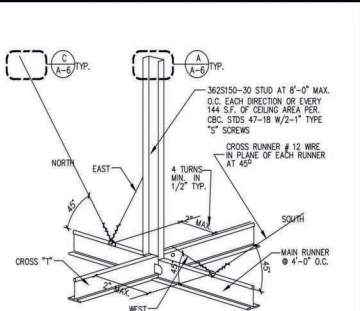
**4.7.5 Suspended Ceiling Members:**

**4.7.5.1 Main Runners:** Main runners are either the 8300, 8301 or HD 8201. The main runners are 12 feet (3657.6 mm) long and spaced a maximum of 4 feet (1219.2 mm) on center. The design loads for main runners must be less than or equal to the capacities shown in Table 2. Vertical hangers, perimeter hangers, and lateral-force bracing for the main runners are installed in accordance with the code. The distance from the bottom side of the floor decking to the bottom side of the main runners is a minimum of 19 3/4 inches (502 mm).

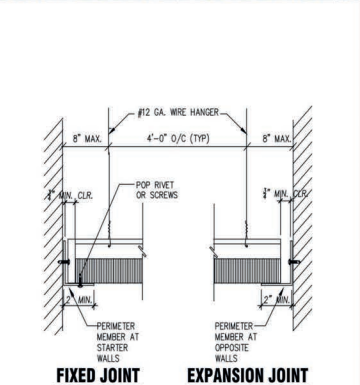
**4.7.5.2 Cross Runners:** Cross runners are either the XL 8200 series (Prelude Plus Fire Guard) or XL 8300 series (Prelude Fire Guard). Main runners must be located within 1/2 inch (0.79 mm) of the required center distances, and this tolerance must be noncumulative beyond 12 feet (3657.6 mm). Intersecting runners must be installed to form a right angle to the supporting members. The design loads for cross runners must be less than or equal to the capacities shown in Table 3. A cross runner that supports another cross member must have a minimum uniformly distributed load capacity of 12 pounds per linear foot (175 N/m).

**4.7.5.3 Hanger Wire:** The suspended ceiling is supported by No. 12 SWG [0.105 inch (2.7 mm) in diameter] galvanized steel wire that is attached to the concrete slab through the steel floor units, before concrete placement, or attached to hanger clips. The hanger clips are minimum 0.045-inch-thick (1.14 mm), 2-inch-wide (51 mm), 3 1/2-inch-long (90 mm), galvanized steel clips that are hooked at one end, for attachment over the male leg of steel floor units, and spaced as required for hanger wire attachment.

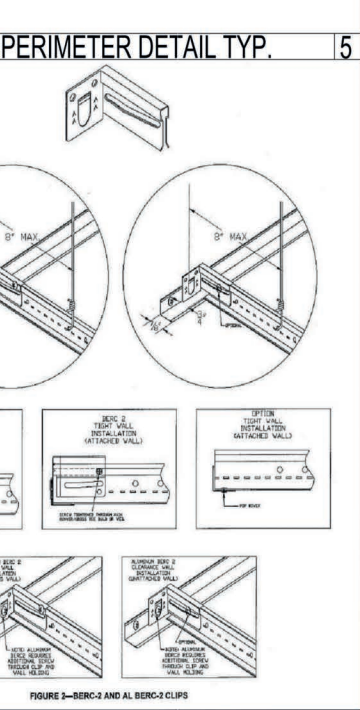
Hanger wires are spaced a maximum of 48 inches (1219 mm) on center or must be located at every other main runner/cross-tee intersection, whichever dimension is less along main runners. Hanger wire must be located at all four corners of light fixtures, in mid-span of cross tees next to 4- and 6-foot-long (1219 and 1829 mm) light fixtures and air duct outlets, and next to each main runner splice. Additional hanger wires are required at the mid-span of those cross tees running parallel and nearest to the walls and those near the end of cut cross tees longer than 2 feet (610 mm) that abut walls.



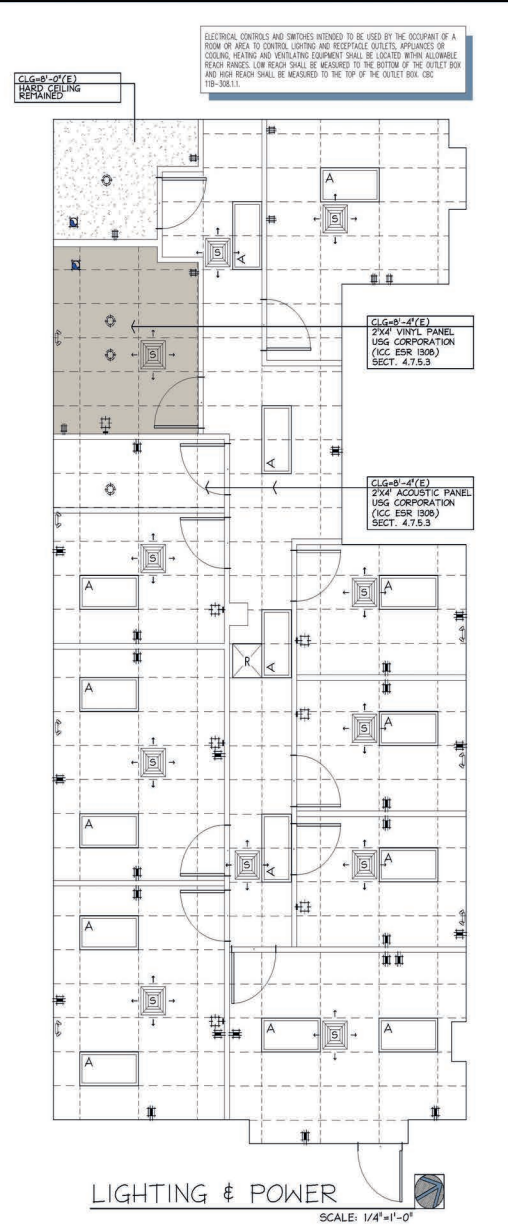
**COMPRESSION STUD DETAIL** 3



**PERIMETER DETAIL TYP.** 5



**EXISTING T-BAR CEILING DETAILS (EXISTING T-BAR REMAINED)**



- UTILITY LEGEND**
- LED WALL SCONCE LIGHT
  - 120V INTERRUPTER DUPLEX OUTLET (AFGI)
  - 120V GROUND FAULT CIRCUIT - INTERRUPTER DUPLEX OUTLET (GFGI)
  - (E)HARD DRYHALL CEILING
  - (E)HARD DRYHALL CEILING
  - 24" x 48" LED LIGHT FIXTURE, SUSPENDED
  - (E)3" RECESSED LED DOWN LIGHT
  - (E)24" x 24" SUPPLY AIR REGISTER
  - (E)24" x 24" RETURN AIR GRILL
  - EMERGENCY LIGHT

**DESIGNER:** BILGIER

**ARCHITECT/ENGINEER:** BILGIER

**CONTRACTOR:** BILGIER

**BUSINESS:** RELAX MASSAGE

**PROJECT:** SPA

**EXCHANGE:** SAGE

**OWNER:** SAGE

**MISSION:** TRAIL

**SALE:** 150

**ELSONORE, CA 92530**

**PLAN CHECK:** NO

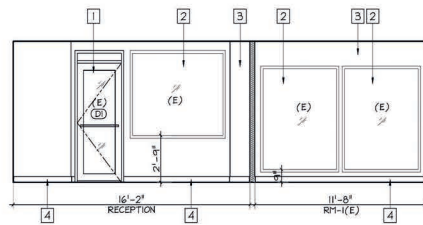
**REVISION:** NO

**SHEET INFO:** 6-Edward

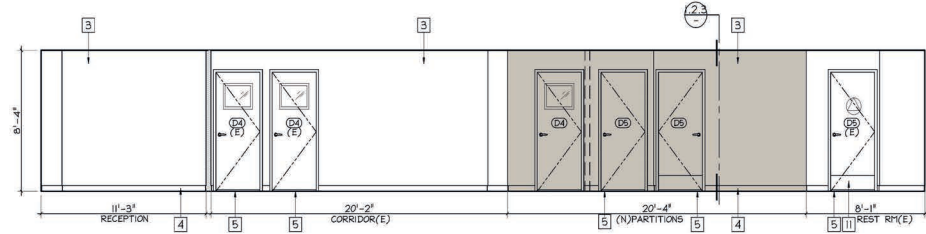
**CHECK BY:** J. B. 31900.150

**CONTENT:** LIGHTING & POWER DETAILS

**SHEET NO.:** A-0



3 ELEVATION-3  
SCALE: 1/4"=1'-0"

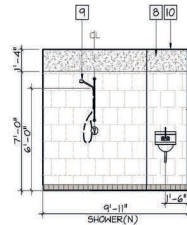


1 ELEVATION-1  
SCALE: 1/4"=1'-0"

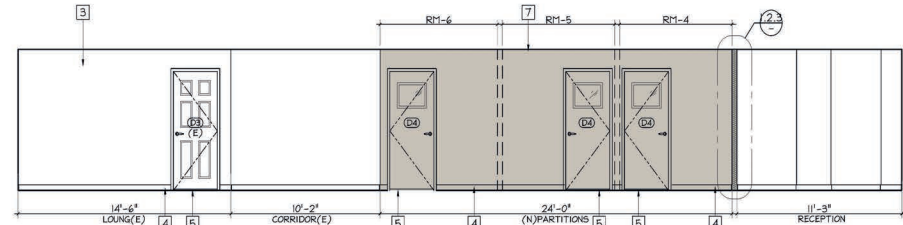
ELEVATION KEY NOTES:

- 1 EXISTING UNIT ENTRY DOOR, 34" MINIMUM CLEAR OPENING, NO CHANGE.
- 2 EXISTING ALUMINUM AND GLASS WINDOW SYSTEM, NO CHANGE.
- 3 WALL PAINT BENJAMIN MOORE OXFORD WHITE CC-30
- 4 4" BASEBOARD ENAMEL PAINT FINISH.
- 5 1" AIR GAP
- 6 PORCELAIN TILE, 12"x12"
- 7 2"x4" ACOUSTIC PANEL USG CORPORATION (ICC ESR 1308)
- 8 MOISTURE RESISTANCE DRYWALL W/ENAMEL PAINT FINISH
- 9 SHOWER FAUCET
- 10 (N) 2"x4" VINYL-PANEL
- 11 10" HIGH KICK PLATE

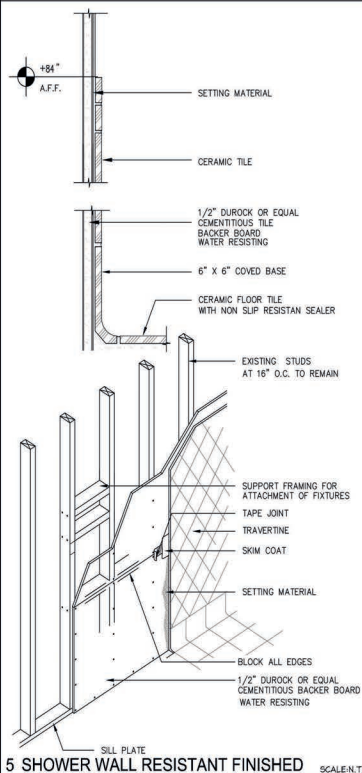
HALLS AND PARTITIONS WITHIN TWO FEET OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN FOUR FEET ABOVE THE FLOOR. USC 1202.2. DRYWALL BY ITSELF DOES NOT COMPLY. INCLUDE TOP SINK LOCATION.



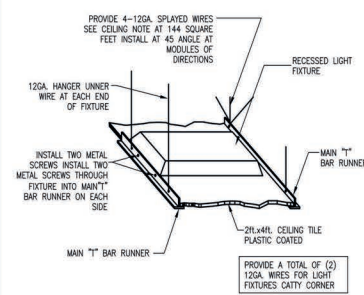
4 ELEVATION-4  
SCALE: 1/4"=1'-0"



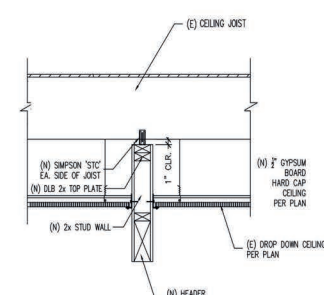
2 ELEVATION-2  
SCALE: 1/4"=1'-0"



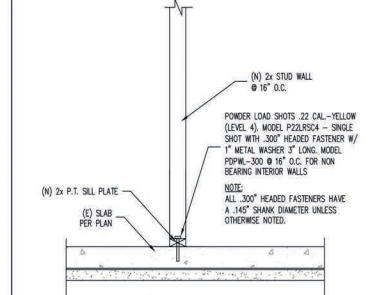
5 SHOWER WALL RESISTANT FINISHED SCALE: 1/4"=1'-0"



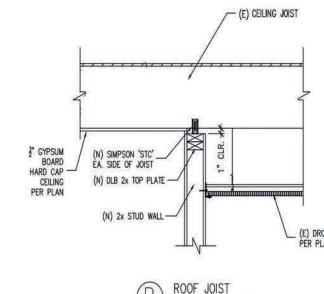
4 SUSPENDED CEILING (LIGHT FIXTURE) SCALE: 1/4"=1'-0"



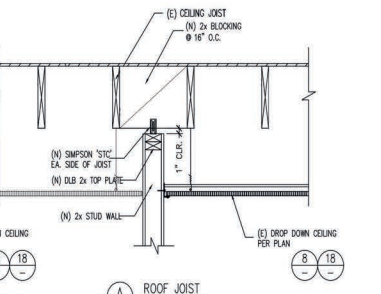
2 HEADER FRAMING SCALE: 1/4"=1'-0"



1 NON BEARING WALL SCALE: 1/4"=1'-0"



3 NO BEARING WALL CONN. SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

DESIGNER: **BIG B**

PROJECT: **RELA X MASSAGE SPA**

LOCATION: **EX. MAS SAGE CHANGE OPEN: OWNER SUIP MISSION TRAIL, SUITE 150, ELSONORE, CA 92530**

DATE: **NOV 15, 2015**

REVISION: **NO**

SHEET: **6**

DESIGNER: **Edward**

CHECK BY: **JOB**

PROJECT: **BD23 TT 31900.150**

CONTENT: **ELEVATION DETAIL**

SHEET NO: **A-0**



DESIGNER:

RESIDENTIAL, COMMERCIAL & INDUSTRIAL ARCHITECTURE

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ARCHITECT/ENGINEER:

CONTRACTOR:

BUSINESS: RELAX MASSAGE SPA

PROJECT: EX. MASSAGE CHANGE OPENING

MISSION TRAIL STATE 150 ELSINORE, CA 92530

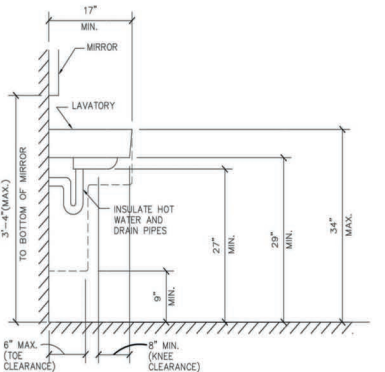
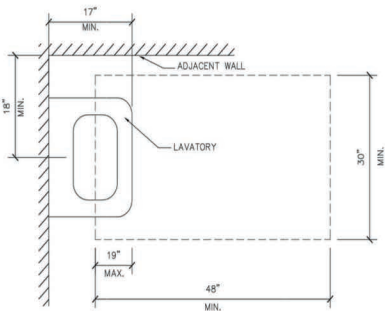
PLAN CHECK: NO REVISIONS

SHEET INFO: 6-DESK 193 Edward

CHECK BY: PROJECT # BD23 T 31900.150

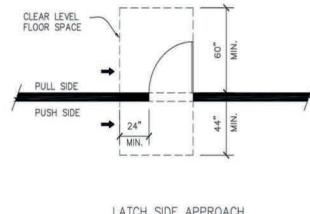
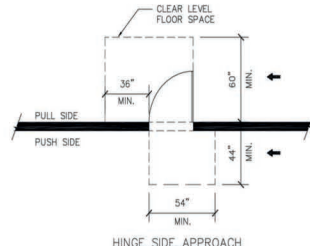
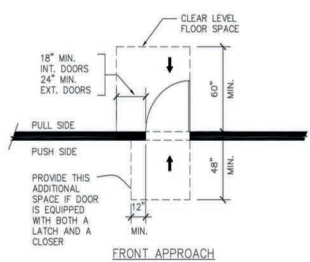
SHEET CONTENT: ALL GENDER RESTROOM DETAIL

SHEET NO: A-0



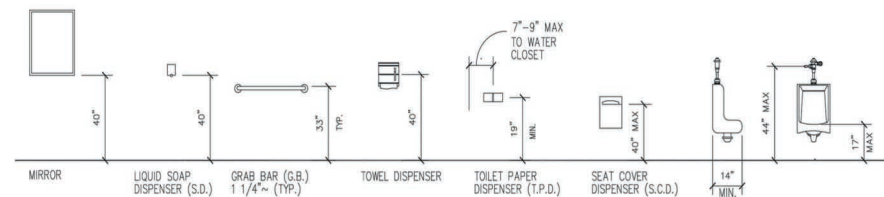
LAVATORY CLEARANCES

SCALE 1/2"=1'-0"



DOOR CLEARANCES

SCALE 1/4"=1'-0"



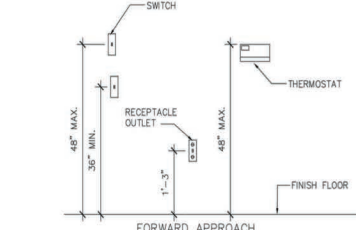
FIXTURE AND ACCESSORY MOUNTING HEIGHTS

SCALE 1/4"=1'-0"



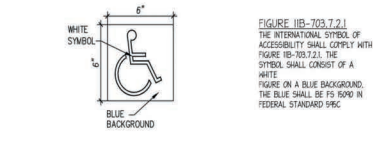
ACCESSIBILITY SYMBOL

SCALE N.T.S.



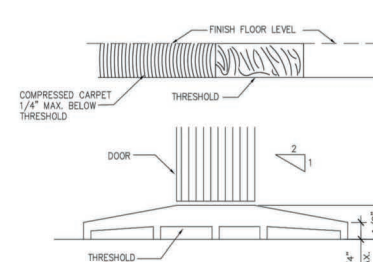
CONTROLS & OPERATING MECHANISMS

SCALE 1/4"=1'-0"



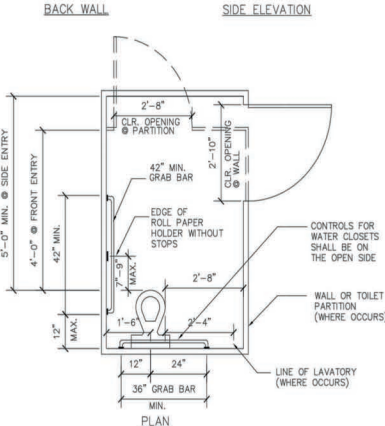
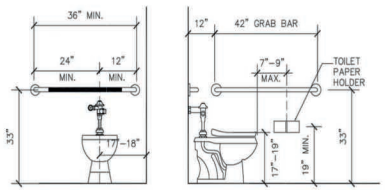
WALL - SIGNAGE

SCALE 1/2"=1'-0"



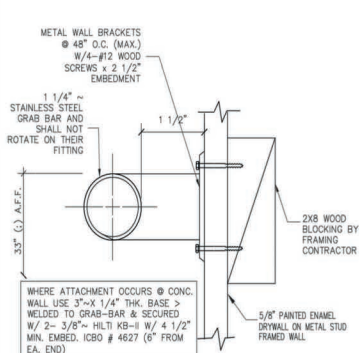
THRESHOLD / TRANSITIONS

SCALE 1/4"=1'-0"



TOILET STALL CLEARANCES

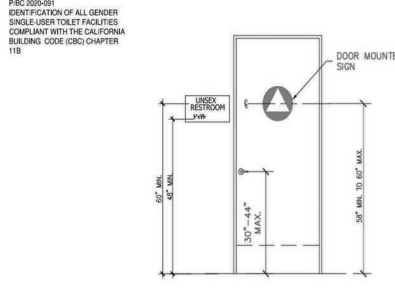
SCALE 1/2"=1'-0"



- NOTES:
- GRAB BARS SHALL BE LOCATED ON EACH SIDE, OR ONE SIDE AND THE BACK OF THE PHYSICALLY DISABLED TOILET STALL OR COMPARTMENT AND SHALL BE SECURELY ATTACHED 33 INCHES ABOVE AND PARALLEL TO THE FLOOR.
  - GRAB BARS AT THE SIDE SHALL BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 24 INCHES IN FRONT OF THE WATER CLOSET STOOL, AND GRAB BARS AT THE BACK SHALL BE NOT LESS THAN 36 INCHES.
  - THE DIAMETER (OR WIDTH OF THE GRIPPING SURFACES) OF THE GRAB BAR SHALL BE 1 1/4" TO 1 1/2" OR THERAPEUTICALLY PROVIDE AN EQUIVALENT GRIPPING SURFACE.
  - GRAB BAR SHALL NOT ROTATE WITHIN THEIR FITTINGS.
  - EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8"
  - GRAB BAR FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 POUNDS PER LINEAR FOOT LOAD.
  - IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1 1/2"

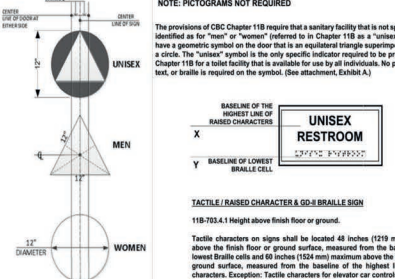
TYP. GRAB BAR DETAIL

SCALE 1/4"=1'-0"



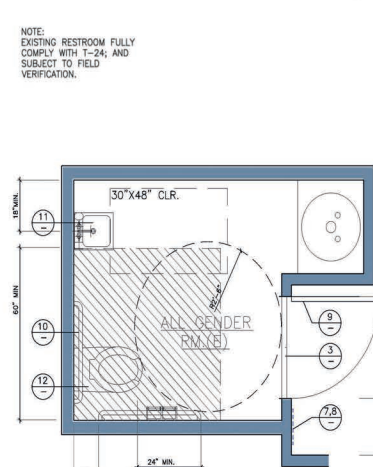
ALL GENDER DOOR MOUNTED SIGNAGE

SCALE 1/2"=1'-0"



ALL GENDER RESTROOM DOOR SIGN

SCALE 1/2"=1'-0"



ENLARGED RESTROOM PLAN

SCALE 1/2"=1'-0"





## NOTICE OF PUBLIC HEARING

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on February 6, 2024, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

**Planning Application No. 2023-36 (Lake Oasis Spa):** A request by Michelle Hu, requesting approval of Conditional Use Permit No. 2023-13 to establish a new massage establishment consisting of six individual massage rooms, a gender-neutral shower, reception area, and restroom at Mission Trail Center in an existing 1,530 sq. ft. suite. The project site is located at 31900 Mission Trail, Suite 150, Lake Elsinore, CA 92530. (APN: 363-172-006)

The proposed project is exempt from California Environmental Quality Act (CEQA) review, pursuant to CEQA Guidelines Section 15301 (Existing Structures), as it consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The project is consistent with the Commercial Mixed-Use Zone Classification.

**ALL INTERESTED PERSONS** are invited to submit written information, express opinions or otherwise submit written evidence by email to [dlongoria@Lake-Elsinore.org](mailto:dlongoria@Lake-Elsinore.org).

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124 ext. 297. All Agenda materials are available for review on the City's website at [www.lake-elsinore.org](http://www.lake-elsinore.org) the Friday before the Public Hearing.

**FURTHER INFORMATION** on this item may be obtained by contacting Joey Mendoza, Associate Planner in the Planning Division, at [jmendoza@lake-elsinore.org](mailto:jmendoza@lake-elsinore.org) or (951) 674-3124, ext. 273.

Damaris Abraham,  
Assistant Community Development Director



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Candice Alvarez, MMC  
City of Lake Elsinore, City Clerk

The Press-Enterprise  
Published: 1/26/24

City of Lake Elsinore  
130 South Main Street  
Lake Elsinore, California 92530

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011643833

FILE NO. 0011643833

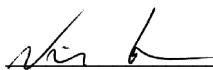
#### PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

01/26/2024

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: January 26, 2024.  
At: Riverside, California

  
\_\_\_\_\_  
Signature



## AFFIDAVIT OF NOTIFICATION LIST

Application No. PLANNING APPLICATION NO. 2023-36

Applicant Name MICHELLE HU

Project Name/Location LAKE OASIS SPA  
31900 MISSION TRAIL, UNIT 150, LAKE ELSINORE, CA 92586

I certify that on 11 day of Dec, 2023, we prepared a notification list and a radius map, including properties entirely and partially within 300 feet of the most exterior boundaries of the property being considered in the above referenced project known as (Property Address) 31900 MISSION TRAIL UNIT 150. The property owner names and addresses listed on the notification list, provided in an excel spreadsheet on a CD or external hard drive, were taken from the latest records of the Riverside County Assessor. Such names are recorded in the records of the Riverside County Assessor as being the present owner or owners of both the subject property and the property/properties within the required mailing radius of the subject property.

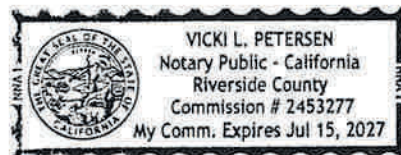
Applicant/Representative Signature

Dec 11, 2023

Date

This instrument was acknowledged before me on this 11th day of December, 2023, by Catherine Lewis In witness whereof I hereunto set my hand and official seal.

Notary Public



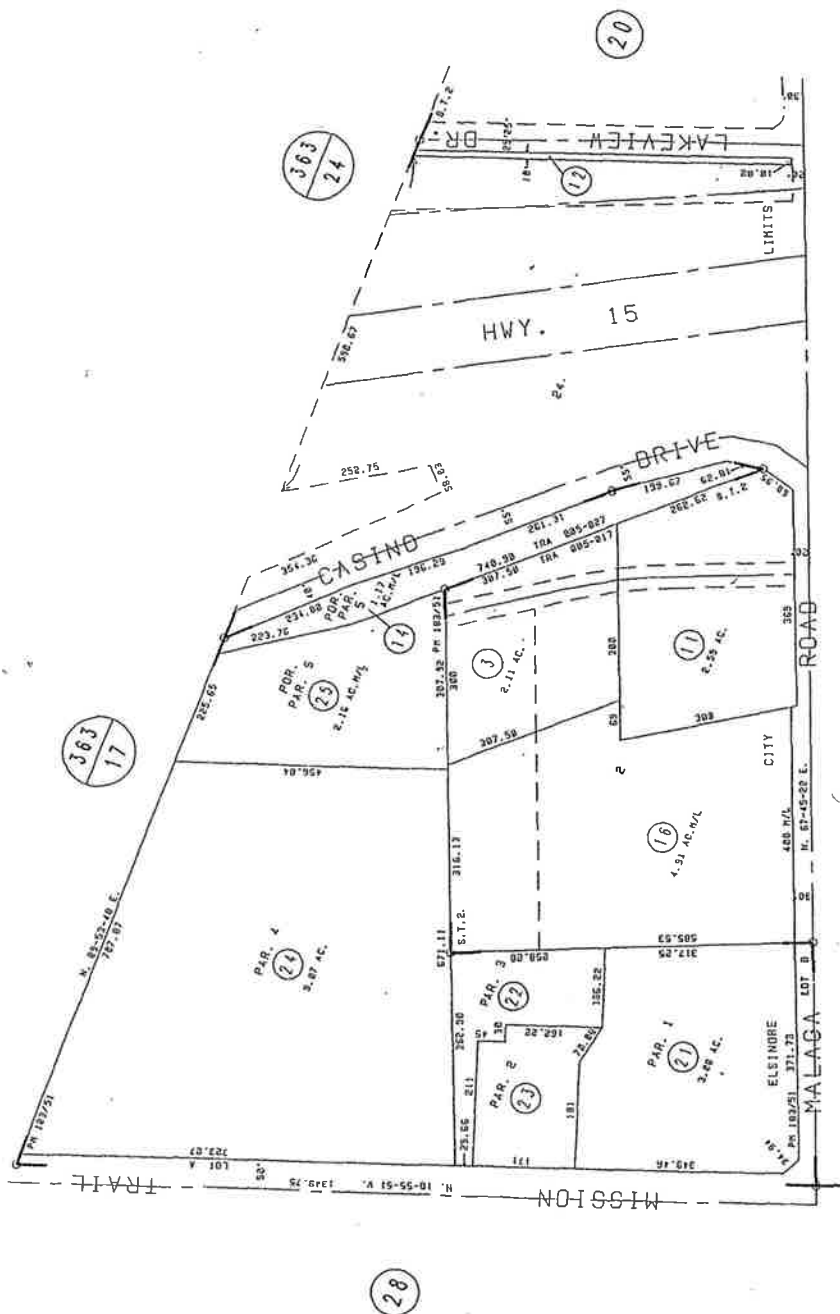
My Commission expires on: July 15, 2027

**Pursuant to Government Code Sections 65090-65096 notification lists shall be from the most recent Assessor Tax rolls. In order for the application to be deemed complete please return the completed, notarized affidavit to the assigned case planner at your earliest convenience.**

T. R. A. 005-017  
005-027

SEC.15 16 T.6S.,R.4W  
CITY OF LAKE ELSINORE

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.



REVISIONS		
DATE	OLD NO	NEW NO
1/17/5		10-41
1/17/4		11

REVISIONS		
DATE	OLD NO	NEW NO
1/27/7		PC-70
12/2/5	10-4	12
1/1/53		13
1/1/83	TRUST	14
10/1/83	TRUST	15
12/2/85		PC-17
3/2/88		16-17
5/2/91	15	17-19
9/24/7	17-19	20
10/2/90		21-22

DATA: 205014 12/82 FRONTAGE RD. MEL. CO.  
STATE HMT. WB 8/93-110 SEE A FILE  
23114 4756

ASSESSOR'S MAP BK. 365 PG. 04  
Riverside County, Calif. JPH

MB 10/76-78 SEDCO TRACT 2  
PM 183/51-53 PARCEL MAP NO. 27821

NOV. 1972  
REV. Sep 1994

363-171-003  
Smbd Inv  
200 4th Ave S  
Nashville, TN 37201-2255

363-150-039  
Walgreen Co W Union  
Po Box 1159  
Deerfield, IL 60015-6002

363-171-010  
J Fugate  
208 S Maize Rd  
Wichita, KS 67209-3110

365-040-014  
Inland Pacific  
Po Box 351979  
Westminster, CO 80035-1979

365-040-016  
Le Property Llc  
11723 S Eureka Way  
South Jordan, UT 84095-7917

365-040-003  
D U Co Inc  
Po Box 65644  
Salt Lake City, UT 84165-0644

365-040-012  
Southwest Capital Partners Inc  
8022 E Via Del Desierto  
Scottsdale, AZ 85258-3071

363-172-005  
Circle K Stores Inc  
1130 W Warner Rd  
Tempe, AZ 85284-2816

363-171-016  
James & Sylvia Thacker  
24564 Hawthorne Blvd 201  
Torrance, CA 90505-6854

363-172-015  
Chi & Ru Fan  
2008 Kanola Rd  
La Habra Heights, CA 90631-8222

363-171-017  
Samanci Group  
11971 Reagan St  
Los Alamitos, CA 90720-4131

363-171-006  
Ashok & Kay Talwar  
31461 Glenbridge Rd  
Westlake Village, CA 91361-4722

363-171-022  
E & R Rancho Pacific Inc  
10470 Foothill Blvd 100  
Rancho Cucamonga, CA 91730-3754

363-150-006  
Jic Diamond  
1 Pacific Plz  
Del Mar, CA 92014

363-172-004  
Msa Enterprises Inc  
82297 Indio Blvd  
Indio, CA 92201-3129

363-150-041  
Terrence & Douglas Jones  
Po Box 2427  
Palm Springs, CA 92263-2427

363-172-001  
At & Sf Rr  
740 Carnegie Dr  
San Bernardino, CA 92408-3571

363-171-025  
Kick Express Lp  
31706 Casino Dr  
Lake Elsinore, CA 92530-4525

363-171-004  
Dynasty Elsinore & Elsinore Lake  
250 Diamond Dr  
Lake Elsinore, CA 92530-4464

363-150-005  
Thomas & Jeep Jessup  
151 Diamond Dr  
Lake Elsinore, CA 92530-4463

363-171-019  
Rajrang Inc  
31808 Casino Dr  
Lake Elsinore, CA 92530-4587

363-172-012  
Ronald & Debra Armstrong  
38142 Stone Meadow Dr  
Murrieta, CA 92562-3025

363-172-006  
Bcc Heritage Plaza Llc  
41140 Chaco Canyon Rd  
Murrieta, CA 92562-1921

363-150-042  
Dmsd Prop  
41760 Ivy St 201  
Murrieta, CA 92562-9416

363-172-016  
Imperial Stations Inc  
3199 Red Hill Ave B  
Costa Mesa, CA 92626-3445

363-171-026  
Giuseppe & Vitina Napoli  
31797 Paseo La Branza  
San Juan Capo, CA 92675-3374

363-172-018  
Jack & Hilda  
31076 Flying Cloud Dr  
Laguna Niguel, CA 92677-2714

363-172-023  
Vroom Properties Llc  
29801 Santa Margarita Pkwy  
Rancho Santa Marga, CA 92688-3609

363-171-018  
Western Realty Partners  
505 S Villa Real 208  
Anaheim, CA 92807-3443

363-172-022  
Mission Trail  
751 S 1175 S Hidden Canyon Rd Rd 1  
Anaheim Hills, CA 92807

363-171-011  
Homayoun Pourshirazi & Negar Youss  
8152 E Bailey Way  
Anaheim, CA 92808-2513

363-150-038  
James & Laura Wolfe  
8502 E Chapman Ave 319  
Orange, CA 92869-2461

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