



REPORT TO PLANNING COMMISSION

To: Honorable Chair and Members of the Planning Commission

From: Damaris Abraham, Community Development Director

Prepared by: Carlos Serna, Associate Planner

Date: January 21, 2025

Subject: Planning Application No. 2023-13 (Collier Retail Shops) – Proposal to Construct an Approximately 7,200 Sq. Ft. Commercial Center with a Drive-through Restaurant on a 1.4-acre Site Located within the Alberhill Ranch Specific Plan

Applicant: Erwin Randhawa, PSR Investments LE, LLC

Recommendation

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures);
2. Adopt RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, ADOPTING FINDINGS THAT PLANNING APPLICATION NO. 2023-13 (CONDITIONAL USE PERMIT NO. 2023-05, COMMERCIAL DESIGN REVIEW NO. 2023-03, SIGN PERMIT NO. 2023-07) IS CONSISTENT WITH THE WESTERN RIVERSIDE COUNTY MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP);
3. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2023-05 TO ESTABLISH AND OPERATE A 2,397-SQUARE-FOOT DRIVE-THROUGH RESTAURANT WITH A 480 SQUARE-FOOT OUTDOOR DINING AREA IN THE ALBERHILL RANCH SPECIFIC PLAN'S HIGHWAY COMMERCIAL (C-H) DISTRICT LOCATED AT APN 389-200-031;
4. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2022-03 TO CONSTRUCT AN APPROXIMATELY 7,200-SQUARE-FOOT COMMERCIAL CENTER WITH A DRIVE-THROUGH RESTAURANT AND RELATED SITE IMPROVEMENTS LOCATED AT APN 389-200-031; and

5. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING SIGN DESIGN REVIEW NO. 2023-07 TO CONSTRUCT A FREE-STANDING BUILDING IDENTIFICATION SIGN AND A FREEWAY ORIENTED IDENTIFICATION SIGN LOCATED AT APN 389-200-031.

Project Location

The proposed project site is located along the easterly edge of Collier Avenue approximately 460 feet southeast of the Collier Avenue and Nichols Road intersection. The undeveloped and vacant 1.4-acre site is located within the Alberhill Ranch Specific Plan’s Highway Commercial Land Use Designation (C-H) and encompasses Assessor Parcel Number (APN) 389-200-031.

Environmental Setting

	EXISTING LAND USE	GENERAL PLAN	LAND USE DESIGNATION
Project Site	Vacant	Alberhill Ranch Specific Plan	Highway Commercial (C-H)
North	Vacant Naval Base	Alberhill Ranch Specific Plan	Highway Commercial (C-H)
South	Commercial Retail	Lake Elsinore Outlet Center Specific Plan	Community Commercial (C-C)
East	Vacant	Nichols Ranch Specific Plan	General Commercial
West	Floodway	Floodway	Floodway (F)

Table 1: Environmental Setting

Project Description

Planning Application No. 2023-05 is a request for a Commercial Design Review (CDR No. 2023-03), Conditional Use Permit (CUP No. 2023-05), and Sign Design Review No. 2023-07 to develop a new retail shopping center with a drive-through restaurant building. The project proposes the following construction and improvements:

- Construct a new one-story 7,220 sq. ft. retail shopping center with three separate tenant spaces including a new drive-through restaurant:
 - Unit A: 1,473 sq. ft.
 - Unit B: 1,470 sq. ft.
 - Unit C: 1,560 sq. ft.
 - Utility Room: 200 sq. ft.
 - Exterior Pilasters: 120 sq. ft.
- Construct a new 2,397 sq. ft. drive-through restaurant including:
 - Drive-through queue capacity for 10 vehicles
 - 480 sq. ft. outdoor dining area
- New signage including:
 - One (1) 6 ft. freestanding building identification sign

- One (1) 45 ft. freeway-oriented identification sign
- Related site improvements including:
 - 60 new parking spaces
 - Landscape and hardscape improvements

The site will be accessed by a full-movement driveway on Nichols Road and a full-movement driveway on Collier Avenue.

Analysis

The following analysis below provides a discussion of the proposed project's consistency with the nonresidential development standards and requirements pursuant to the Lake Elsinore Municipal Code (LEMC), the Alberhill Ranch Specific Plan as well as the General Plan. In addition, the Design Review Committee, including Staff from Planning, Building and Safety, Fire, and Engineering Departments and the Elsinore Valley Municipal Water District, has reviewed the project and have included recommended conditions of approval to ensure compliance with adopted plans, policies, and regulations.

General Plan Consistency

The project site is located within the Alberhill Ranch Specific Plan (ARSP) and has a Highway Commercial Land Use Designation. The Highway Commercial Designation accommodates a full range of retail stores, offices, personal and business services establishments offering commodities and services scaled to meet the needs of the future residents of the Alberhill Ranch and the region as a whole. The application proposes to construct an approximately 7,200 square-foot retail shopping center with a drive-through restaurant. The proposed center is designed to accommodate four potential retail businesses to meet the needs of the community. The project is also consistent with the General Plan because the ARSP was found to be consistent with the General Plan at its adoption.

Specific Plan and Municipal Code Consistency

The current land use designation of the subject site is Highway Commercial (C-H). According to the ARSP, drive-through restaurants and restaurants and eating places with outside eating areas are conditionally permitted uses (subject to approval of conditional use permits) in the C-H District.

Staff has reviewed the submitted development plans for compliance with the C-H District development standards and determined that the proposed development conforms to said development standards as shown in Table 2 below.

DEVELOPMENT STANDARD	REQUIRED/ALLOWED	PROPOSED
Floor Area Ratio (FAR)	0.75 maximum	0.11
Front Setback	20 ft.	252 ft. – 6 in.
Front Parking Setback	10 ft.	60 ft.
Interior Setback (Commercial/Residential)	0 ft./15 ft.	57 ft. – 8 in.
Rear Setback (Commercial/Residential)	0 ft./15 ft.	31 ft. – 2 in.

Building Height	35 ft.	29 ft. – 2 in.
Landscape Improvements:		
Landscape Coverage	15 %	28%
Drive-through planter separation (from driveways, parking and property lines)	5 ft. minimum	13ft. – 5 in. to 20 ft.
Signage:		
Freestanding Center Identification Sign	6 ft. maximum	6 ft.
Freeway Oriented Identification Sign	45 ft. maximum	45 ft.

Table 2: Development Standards

The project also meets the minimum parking requirements set forth in Section 17.148.030 of the LEMC as shown in Table 3.

LAND USE	REQUIRED	PROPOSED
Drive-Through Lane Storage	8 vehicles / 20 ft. per vehicle (160 ft.)	10 vehicles / 20 ft. per vehicle (200 ft.)
Drive-Through Restaurant	One (1) space per 45 sq. ft. of customer area One (1) space per 200 sq. ft. of non-customer area	Customer Area: 1,310 sq. ft. = 29.16 Non-Customer Area: 1,565 sq. ft. = 7.83
Business/Retail	One (1) space per 250 sq. ft. of gross floor area	Unit A: 1,473 sq. ft. = 5.89 Unit B: 1,470 sq. ft. = 5.88 Unit C: 1,560 sq. ft. = 6.24
TOTAL REQUIRED	55	
TOTAL PROVIDED	60	

Table 3: Parking Requirements

Architectural Elevations

The architectural design of the proposed building complies with the Nonresidential Development Standards (Chapter 17.112) of the LEMC. The proposed commercial building elevations employ a contemporary architectural style. The structure also employs recessed and pop-out walls to add additional architectural articulation and stone veneer will be employed throughout the structure to avoid long expanses of untreated open walls. The updated exterior consists of stucco in earth toned color palettes. The exterior architecture, including colors and materials, have been designed to be harmonious and compatible with the surrounding developments. Furthermore, the proposed landscaping improvements complement the proposed building design, provide shade, and breakup expanses of pavement.

Proposed Center and Freeway Oriented Identification Signage

The project proposes two separate freestanding signs which require the review and approval of the Planning Commission pursuant to LEMC Section 17.198.180 and are subject to the review

findings contained in LEMC Section 17.415.050. One sign is proposed to be six ft. in height and is located along Collier Avenue to serve as a freestanding center identification sign for the retail development and includes signage for four tenants. The other sign is proposed to be 45 ft. in height and situated along the rear of the property adjacent to the Interstate 15 Freeway and to serve as a freeway-oriented sign. Both signs have been designed to harmonize with the architecture of the proposed retail center and comply with the standards set forth in LEMC Section 17.196. The project is also located near one of the City's gateways as such the freeway oriented sign will incorporate the City's "E" branding logo to alert passersby on Interstate 15 that they are entering the City of Lake Elsinore.

Environmental Determination

Staff recommends that the Planning Commission find the project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures).

Class 3 consists of the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. A store, motel, office, restaurant, or similar structure not involving the use of significant amounts of hazardous substances and not exceeding 2,500 square feet. In urbanized areas, the exemption also applies to up to four such commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

The subject site is located within the Alberhill Ranch Specific Plan's and is located in a location that meets the definition of an urbanized area as outlined in Section 21071(a)(2) of the Public Resources Code; therefore, the project qualifies for the Class 3 exemption given that the proposed building is under 10,000 sq. ft. in floor area. Furthermore, the project is located within the Highway Commercial (C-H) District of the Alberhill Ranch Specific Plan which allows for the proposed type of development including retail and drive-through uses. The project does not involve significant amounts of hazardous substances, all public services and facilities are available, and the surrounding area is not environmentally sensitive as the surrounding properties have been developed and heavily disturbed. Therefore, the project is categorically exempt from CEQA review pursuant to Section 15303 (Class 3 - New Construction or Conversion of Small Structures).

MSHCP Consistency

The project has also been reviewed for consistency with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). The site is located within MSHCP Criteria Cell No. 4067 and No. 4166. On December 11, 2023, the Western Riverside County Regional Conservation Authority (RCA) completed the Joint Project Review (JPR No. 23-10-25-02) process and concluded that the project is consistent with the both the Criteria Cell and other plan requirements of the MSHCP.

Public Notice

Notice of the public hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 1,500 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

Attachments

- Attachment 1 – MSHCP Resolution
- Attachment 2 – CUP Resolution
- Attachment 3 – CDR Resolution
- Attachment 4 – SIGN Resolution
- Attachment 5 – Conditions of Approval
- Attachment 6 – GIS Exhibits
- Attachment 7 – Design Review Package
- Attachment 8 – Sign Design Review Package
- Attachment 9 – Public Notice Package

RESOLUTION NO. 2025-__

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, ADOPTING FINDINGS THAT PLANNING APPLICATION NO. 2023-13 (CONDITIONAL USE PERMIT NO. 2023-05, COMMERCIAL DESIGN REVIEW NO. 2023-03, SIGN PERMIT NO. 2023-07) IS CONSISTENT WITH THE WESTERN RIVERSIDE COUNTY MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)

Whereas, Erwin Randhawa, PSR Investments LE, LLC, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2023-13 which includes Commercial Design Review (CDR No. 2023-03), Conditional Use Permit (CUP No. 2023-05), and Sign Design Review (SIGN No. 2023-07) to construct a one-story 7,200 square-foot (sq. ft.) retail shopping center with a drive-through restaurant building and related site improvements on a 1.4-acre site. CDR No. 2023-03 is to allow the development of a new commercial building, CUP No. 2023-05 is to permit the operation of the drive-through restaurant, and SIGN No. 2023-07 is to establish a unified signage theme and design for the retail shopping center;

Whereas, the project is located along the easterly edge of Collier Avenue near the southeast intersection of Collier Avenue and Nichols Road (APN: 389-200-031);

Whereas, Section 6.0 of the Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and the Joint Project Review (JPR) to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

Whereas, pursuant to Lake Elsinore Municipal Code (LEMC) Section 17.415.050 (Major Design Review), Section 17.415.070 (Conditional Use Permit), and Section 17.410.070 (Approving Authority) the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying conditional use permits, design review applications, and sign programs; and

Whereas, on January 21, 2025 at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the Project and its consistency with the MSHCP prior to adopting Findings of Consistency with the MSHCP.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The project is a project under the City's MSHCP Resolution, and the City must make an

MSHCP Consistency finding before approval.

The project site is located within MSHCP Criteria Cells. Pursuant to the City's MSHCP Resolution, the project has been reviewed for MSHCP consistency, including consistency with "Other Plan Requirements." These include the Protection of Species Associated with Riparian/Riverine Areas and Vernal Pool Guidelines (MSHCP, § 6.1.2), Protection of Narrow Endemic Plant Species Guidelines (MSHCP, § 6.1.3), Additional Survey Needs and Procedures (MSHCP, § 6.3.2), Urban/Wildlands Interface Guidelines (MSHCP, § 6.1.4), Vegetation Mapping (MSHCP, § 6.3.1) requirements, Fuels Management Guidelines (MSHCP, § 6.4), and payment of the MSHCP Local Development Mitigation Fee (MSHCP Ordinance, § 4).

2. The Project is subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) Joint Project Review (JPR) processes.

Approximately 1.00 acre of the project site is located in the southern portion of Criteria Cell No. 4067 in Cell Group W, which is in MSHCP Elsinore Area Plan, Subunit 2 (Alberhill) and approximately 0.38 acre of the project site is located in the northern portion of Criteria Cell No. 4166 in Subunit 3 (Elsinore). Therefore, a formal and complete LEAP application, LEAP 2023-01 was submitted to the City on June 8, 2023 and the JPR application, JPR 23-10-25-02 was submitted to the County on October 5, 2023. The County's Regional Conservation Authority (RCA) completed the review on December 11, 2023 and found the Project consistent with both the Criteria and Other Plan Requirements.

3. The project is consistent with the Riparian/Riverine Areas and Vernal Pools Guidelines.

On December 26, 2022, Hernandez Environmental Services conducted field surveys of the site to determine whether the project site includes riparian/riverine area or vernal pools.

The project area does not contain any drainages or riparian habitat. No California Department of Fish and Wildlife (CDFW), U.S. Army Corps of Engineers (USACE), or Regional Water Quality Control Board (RWQCB) jurisdictional waters occur within the project boundaries. Further, the project site does not contain any wetlands or vernal pools. A man-made storm drain feature, which captures sheet flows from the neighboring gas station and from the slope onsite, is located on the western corner of the site. The storm drain feature on site does not divert natural flow from any river, stream or lake. Since the source of the water for this storm drain feature is sheet flow from the site and surrounding developed areas and the feature is not part of a natural stream, river, or lake, this feature is not considered jurisdictional under the CDFW Lake and Streambed Alteration Program. In addition, the onsite storm drain feature would not be considered Waters of the United States regulated the USACE. The sheet flows on site leads to a man-made storm water intake feature and would not be subject to waste discharge requirements under the Porter-Cologne Water Quality Act. Impacts to the storm water feature will be regulated by the National Pollutant Discharge Elimination System (NPDES) storm water program.

Vernal pools are seasonal depressional wetlands that occur under Mediterranean climate conditions of the west coast and in glaciated conditions of northeastern and midwestern states. They are covered by shallow water for variable periods from winter to spring but may be completely dry most of the summer and fall. Vernal pools are usually associated with hard clay layers or bedrock, which helps keep water in the pools. Vernal pools and seasonal

depressions usually are dominated by hydrophytic plants, hydric soils, and evidence of hydrology.

The entire site was evaluated for the presence of habitat capable of supporting branchiopods. The site was evaluated as described in the USFWS Survey Guidelines for the Listed Large Branchiopods (May 31, 2016). The project area is primarily comprised of sandy loams. The onsite soils do not allow for water pooling on the site for any significant length of time after rain events. No vernal pools, swales, or vernal pool mimics such as ditches, borrow pits, cattle troughs, or cement culverts with signs of pooling water were found on the site. In addition, the site does not contain areas that showed signs of ponding water, hydrophytic vegetation, or soils typical of vernal pools that would be suitable for large branchiopods.

The project is therefore consistent with the Riparian/Riverine Areas and Vernal Pool Guidelines set forth in Section 6.1.2 of the MSHCP. No further action regarding this section of the MSHCP is required.

4. The project is consistent with the Protection of Narrow Endemic Plants Species Guidelines.

The property is not in a Narrow Endemic Plant Species Survey Area (NEPSSA) for any narrow endemic species, and no NEPSSA surveys are required.

The proposed project is therefore consistent with the Protection of Narrow Endemic Plant Species Guidelines.

5. The project is consistent with the Additional Survey Needs and Procedures.

The MSHCP requires additional surveys for certain species if the project is located in certain locations. Pursuant to MSHCP Figure 6-2 (Criteria Area Species Survey Area), Figure 6-3 (Amphibian Species Survey Areas with Criteria Area), Figure 6-4 (Burrowing Owl Survey Areas with Criteria Area), and Figure 6-5 (Mammal Species Survey Areas With Criteria Area), a criteria area species survey is required for the subject property prior to approval of a development proposal.

The property is not located within survey areas for amphibian species (MSHCP Figure 6-3), burrowing owl (Figure 6-4) or mammal species (MSHCP Figure 6-5) and surveys for those species are not required.

The property is located within a Criteria Area Species Survey Area (CASSA) for Thread-leaved brodiaea, Davidson's saltscare, Parish's brittlescale, Smooth tarplant, Round-leaved filaree, Coulter's goldfields, and Little mousetail. A habitat assessment was conducted on the site for CASSA species. The project area is comprised primarily of ruderal habitat, with areas covered in gravel. The habitat assessment determined the project site does not provide suitable habitat for thread-leaved brodiaea, Davidson's saltscare, Parish's brittlescale, smooth tarplant, round-leaved filaree, Coulter's goldfields, or little mousetail. Thread-leaved brodiaea is associated with clay soils in coastal scrub, cismontane woodland, playas, chaparral, valley and foothill grassland, and vernal pools. Davidson's saltscare is associated with alkaline soil in coastal bluff scrub and coastal scrub. Parish's brittlescale is associated with drying alkali flats with fine soils in vernal pools, chenopod scrub, and playas. Smooth tarplant is associated with alkali meadow and scrub in valley and foothill grassland, chenopod scrub, meadows and seeps, playas, and riparian woodland. Round-leaved filaree is associated with clay soil in

grassland and coastal scrub habitat. Coulter's goldfields are associated with alkaline soils in playas, sinks, and grasslands. Little mouse-tail is associated with alkaline soils in vernal pools, and valley and foothill grassland. The Escondido fine sandy loam and Lodo rocky loam on site does not support potential habitat for the sensitive species listed above. No coastal scrub, cismontane woodland, playas, sinks, riparian woodland, chaparral, valley and foothill grassland, meadows and seeps, alkali flats, or clay soils occur on site. Therefore, no suitable habitat for CASSA plant species is present on the site.

Therefore, the subject project is consistent with the Additional Survey Needs and Procedures of the MSHCP.

6. The project is consistent with the Urban/Wildlands Interface Guidelines.

Section 6.1.4 of the MSHCP sets forth guidelines that are intended to address indirect effects associated with locating development in proximity to the MSHCP Conservation Area, where applicable. The guidelines in Section 6.1.4 of the MSHCP are intended to address indirect effects associated with development near MSHCP Conserved Areas. Developments in proximity to MSHCP Conserved Areas may result in "edge effects" that might adversely affect biological resources within MSHCP Conserved Areas.

The project site is not located within or adjacent to a Western Riverside County MSHCP Conservation Area; therefore, the project site is not required to address Section 6.1.4 of the Western Riverside County MSHCP.

For this reason, the subject project is consistent with the Urban/Wildlife Interface Guidelines.

7. The project is Consistent with the Vegetation Mapping requirements.

The 1.4-acre project site supports three habitat types: 1.29 acres ruderal habitat, 0.06 acre developed land, and 0.03-acre cement-lined storm drain feature. This habitat is described as follows:

Ruderal

*Approximately 1.29 acres of ruderal habitat occur on site. This area is dominated by non-native plant species; however, some native species are present. Characteristic plant species include brittlebush (*Encelia farinosa*), shortpod mustard (*Hirschfeldia incana*), cheeseweed (*Malva parviflora*), and Russian thistle (*Salsola tragus*).*

Developed

*Approximately 0.06 acre of developed habitat occurs on site. This area is distinguished by paved areas and ornamental vegetation, including the Mexican fan palm (*Washingtonia robusta*).*

Cement-lined storm drain feature

*Approximately 0.03 acre of cement-lined storm drain feature occurs within the southwestern portion of the site. This surrounding vegetation includes black willow (*Salix nigra*), tamarisk (*Tamarix* sp.), Jersey cudweed (*Helichrysum luteoalbum*) and spiny sowthistle (*Sonchus asper*).*

This mapping is sufficient under the MSHCP and is consistent with the MSHCP vegetation mapping requirements.

8. The project is consistent with the Fuels Management Guidelines.

Section 6.4 of the MSHCP requires that new developments adjacent to the MSHCP Conservation Area or other undeveloped lands incorporate any fuel/brush management zones and Best Management Practices. The Project Site is not located in or adjacent to the proposed preservation areas or undeveloped lands. Section 6.4 requirements are not applicable to the proposed project.

Therefore, the Project is consistent with the Fuels Management Guidelines as set forth in Section 6.4 of the MSHCP.

9. The project will be conditioned to pay the City's MSHCP Local Development Mitigation Fee.

As a condition of approval, the project will be required to pay the City's MSHCP Local Development Mitigation Fee at the time of issuance of building permits.

10. The project is consistent with the MSHCP.

Approximately 1.00 acre of the project site is located in the southern portion of Criteria Cell 4067 in Cell Group W, which is in MSHCP Elsinore Area Plan, Subunit 2 (Alberhill) and approximately 0.38 acre of the project site is located in the northern portion of Criteria Cell 4166 in Subunit 3 (Elsinore). Conservation within this Cell Group W will range from 80%-90% of the Cell Group focusing in the northwestern portion of the Cell Group. Conservation within this Cell Group will focus on riparian scrub, woodland and forest habitat associated with Alberhill Creek and adjacent coastal sage scrub and grassland habitat. Conservation within Criteria Cell 4166 will range from 15%-25% of the Cell focusing in the northeastern portion of the Cell. Conservation within this Cell will focus on meadow, marsh, riparian scrub, woodland and forest habitat along Alberhill Creek and adjacent grassland habitat.

The project site does not contain meadow, marsh, riparian scrub, woodland and forest habitat associated with Alberhill Creek and does not contain coastal sage scrub and grassland habitat. Additionally, the proposed project is an infill project located between Interstate 15 and Collier Avenue and between two developed sites. Additionally, the project site does not meet the conservation requirements set forth for Subunits 2 and 3 of the Elsinore Area Plan. Therefore, conservation of the project site or any portion thereof, is not required. The proposed project is consistent with the MSHCP.

Section 3: Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby finds that the project is consistent with the MSHCP.

Section 4: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day of January, 2025.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2025-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held January 21, 2025 and that the same was adopted by the following vote:

AYES
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Community Development Director

RESOLUTION NO. 2025-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2023-05 TO ESTABLISH AND OPERATE A 2,397-SQUARE-FOOT DRIVE-THROUGH RESTAURANT WITH A 480 SQUARE-FOOT OUTDOOR DINING AREA IN THE ALBERHILL RANCH SPECIFIC PLAN'S HIGHWAY COMMERCIAL (C-H) DISTRICT LOCATED AT APN 389-200-031

Whereas, Erwin Randhawa, PSR Investments LE, LLC, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2023-13 which includes Commercial Design Review (CDR No. 2023-03), Conditional Use Permit (CUP No. 2023-05), and Sign Design Review (SIGN No. 2023-07) to construct a one-story 7,200 square-foot (sq. ft.) retail shopping center with a drive-through restaurant building and related site improvements on a 1.4-acre site. CDR No. 2023-03 is to allow the development of a new commercial building, CUP No. 2023-05 is to permit the operation of the drive-through restaurant and SIGN No. 2023-07 is to establish a unified signage theme and design for the retail shopping center;

Whereas, the project is located along the easterly edge of Collier Avenue near the southeast intersection of Collier Avenue and Nichols Road (APN: 389-200-031);

Whereas, pursuant to development standards for the Highway Commercial District of the Alberhill Ranch Specific Plan, a CUP is required to allow drive-through establishments as well as restaurants with outdoor eating areas. The applicant proposes to develop a retail shopping including a drive-through quick service restaurant with an outdoor dining area;

Whereas, Section 17.415.070 of the LEMC and the Alberhill Ranch Specific Plan (ARSP) provides that certain uses are desirable but may have operational characteristics that disproportionately impact adjoining properties, businesses, or residents. Accordingly, such uses require a more comprehensive review and approval procedure, including the ability to condition the project in order to mitigate significant impacts;

Whereas, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and

Whereas, on January 21, 2025, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the project and has found it acceptable.

Section 2: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP), and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 3: The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: “CEQA”) and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) because the project is in a location that meets the definition of an urbanized area as outlined in Section 21071(a)(2) of the Public Resources Code; therefore, the project qualifies for the Class 3 exemption given that the proposed building is under 10,000 sq. ft. in floor area. Furthermore, the project is located within the Highway Commercial (C-H) District of the Alberhill Ranch Specific Plan which allows for the proposed type of development including retail and drive-through uses. The project does not involve significant amounts of hazardous substances, all public services and facilities are available to serve the project, and the surrounding area is not environmentally sensitive as the surrounding properties have been developed and heavily disturbed.

Section 4: That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding CUP No. 2023-05:

1. That the proposed use, on its own merits and within the context of its setting, is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

The Project has a General Plan Land Use designation of Specific Plan (SP) and is located within the Alberhill Ranch Specific Plan (ARSP) and has a Highway Commercial District. The Highway Commercial District accommodates a full range of retail stores, offices, personal and business services establishments offering commodities and services scaled to meet the needs of the future residents of the Alberhill Ranch and the region as a whole. The application proposes to construct an approximately 7,200 square-foot retail shopping center with a drive-through restaurant. The proposed center is designed to accommodate 4 potential retail businesses to meet the needs of the community. The project is also consistent with the General Plan because the ARSP was found to be consistent with the General Plan at its adoption.

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

The proposed retail shopping center would not cause detrimental impacts to the existing surrounding community because the design of the parking lot layout and circulation was designed to allow multiple points of egress and ingress for both emergency and pedestrian vehicles. The proposed business will be compatible with the surrounding uses which also includes other retail commercial uses such as the Lake Elsinore Outlets. Furthermore, the project has also been conditioned as such to avoid any potential impacts associated with the proposed use.

3. The site for the intended use is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

The proposed use and design have been analyzed and staff has determined that the site is compatible and adequate in size and shape to accommodate the proposed use and project design. The design meets all applicable sections of the ARSP and LEMC including the nonresidential development standards. As designed the project would not encroach

on any setback as prescribed by the ARSP or LEMC and sufficient landscaping has been provided throughout the site. Furthermore, the proposed use and design will complement the existing light industrial and commercial uses within the vicinity.

4. The site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

The proposed use is located within an existing built environment, inclusive of streets. The existing streets are of adequate size to facilitate safe and convenient transportation to and from the site. Further, the Engineering Division has reviewed the proposed project including its potential traffic impacts and have included conditions of approval to ensure safe on and offsite circulation is provided.

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

The proposed project has been thoroughly reviewed and conditioned by all applicable City departments thereby eliminating the potential for any adverse effects. Furthermore, the project site abuts existing developed commercial properties that are compatible with the proposed project including the Lake Elsinore Outlets and ARCO gas station with convenience store.

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

Pursuant to Section 17.415.070.B of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing on January 21, 2025 and appropriate and applicable conditions of approval have been included to protect the public health, safety and general welfare. Further, compliance with the conditions of approval will be reviewed during the plan check and inspection review process prior to commencing operations.

Section 6: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Conditional Use Permit No. 2023-05.

Section 7: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day January, 2025.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2025-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held January 21, 2025 and that the same was adopted by the following vote:

AYES
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Community Development Director

RESOLUTION NO. 2025-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2023-03 TO CONSTRUCT AN APPROXIMATELY 7,200-SQUARE-FOOT COMMERCIAL CENTER WITH A DRIVE-THROUGH RESTAURANT AND RELATED SITE IMPROVEMENTS LOCATED AT APN 389-200-031

Whereas, Erwin Randhawa, PSR Investments LE, LLC, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2023-13 which includes Commercial Design Review (CDR No. 2023-03), Conditional Use Permit (CUP No. 2023-05), and Sign Design Review (SIGN No. 2023-07) to construct a one-story 7,200 square-foot (sq. ft.) retail shopping center with a drive-through restaurant building and related site improvements on a 1.4-acre site. CDR No. 2023-03 is to allow the development of a new commercial building, CUP No. 2023-05 is to permit the operation of the drive-through restaurant and SIGN No. 2023-07 is to establish a unified signage theme and design for the retail shopping center;

Whereas, the project is located along the easterly edge of Collier Avenue near the southeast intersection of Collier Avenue and Nichols Road (APN: 389-200-031);

Whereas, pursuant to Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and

Whereas, on January 21, 2025, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the project and has found it acceptable.

Section 2: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP), and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 3: The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) because the project is in a location that meets the definition of an urbanized area as outlined in Section 21071(a)(2) of the Public Resources Code; therefore, the project qualifies for the Class 3 exemption given that the proposed building is under 10,000 sq. ft. in floor area. Furthermore, the project is located within the Highway Commercial (C-H) District of the Alberhill Ranch Specific Plan which allows for the proposed type of development including retail and drive-through uses. The project does not involve significant amounts of hazardous substances, all public services and facilities are available to serve the project, and the surrounding area is not environmentally sensitive as the surrounding properties have been developed and heavily disturbed.

Section 4: That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Commercial Design Review No. 2023-03:

1. The project, as approved, will comply with the goals and objectives of the General Plan and the zoning district in which the project is located.

The Project has a General Plan Land Use designation of Specific Plan (SP) and is located within the Alberhill Ranch Specific Plan (ARSP) and has a Highway Commercial District. The Highway Commercial District accommodates a full range of retail stores, offices, personal and business services establishments offering commodities and services scaled to meet the needs of the future residents of the Alberhill Ranch and the region as a whole. The application proposes to construct an approximately 7,200 square-foot retail shopping center with a drive through restaurant. The proposed center is designed to accommodate 4 potential retail businesses to meet the needs of the community. The project is also consistent with the General Plan because the ARSP was found to be consistent with the General Plan at its adoption.

2. The project complies with the design directives contained in the LEMC and all applicable provisions of the LEMC.

The project is appropriate to the site and surrounding developments. The architectural design of the proposed buildings conforms to the Nonresidential Development Standards (Chapter 17.112) of the LEMC. Sufficient setbacks and enhanced onsite landscaping have been provided thereby creating interest and varying vistas as a person moves along abutting streets. The architecture has been designed to achieve harmony and compatibility with the surrounding area. The colors and materials proposed will assist in blending the architecture into the existing landscape and are compatible with other colors and materials used on other properties near the project site. In addition, safe and efficient circulation has been achieved onsite.

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing held on January 21, 2025. The project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment. Further, compliance with the conditions of approval will be reviewed during the plan check and inspection review process prior to commencing operations.

Section 5: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Commercial Design Review No. 2023-03.

Section 6: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day of January, 2025.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2025-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held January 21, 2025 and that the same was adopted by the following vote:

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

Damaris Abraham,
Community Development Director

RESOLUTION NO. 2025-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING SIGN DESIGN REVIEW NO. 2023-07 TO CONSTRUCT A FREE-STANDING BUILDING IDENTIFICATION SIGN AND A FREEWAY ORIENTED IDENTIFICATION SIGN LOCATED AT APN: 389-200-031

Whereas, Erwin Randhawa, PSR Investments LE, LLC, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2023-13 which includes Commercial Design Review (CDR No. 2023-03), Conditional Use Permit (CUP No. 2023-05), and Sign Design Review (SIGN No. 2023-07) to construct a one-story 7,200 square-foot (sq. ft.) retail shopping center with a drive-through restaurant building and related site improvements on a 1.4-acre site. CDR No. 2023-03 is to allow the development of a new commercial building, CUP No. 2023-05 is to permit the operation of the drive-through restaurant and SIGN No. 2023-07 is to establish a unified signage theme and design for the retail shopping center;

Whereas, the project is located along the easterly edge of Collier Avenue near the southeast intersection of Collier Avenue and Nichols Road (APN: 389-200-031);

Whereas, Sign Design Review (SIGN) No. 2023-07 proposes to establish the design primarily for the two freestanding signs at this multi-tenant integrated development. This design review ensures signs are harmonious and visually related to each other through the incorporation of common design elements, and that signs are architecturally integrated with the buildings;

Whereas, pursuant to Section 17.196.180.C (Signs in commercial districts) and Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and

Whereas, on January 21, 2025, at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the project and has found it acceptable.

Section 2: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP) and the LEMC and finds and determines that the proposed Project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 3: The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) because the project is in a location that meets the definition of an urbanized area as outlined in Section 21071(a)(2) of the Public Resources Code; therefore, the project qualifies for the Class 3 exemption given that the proposed building is under 10,000 sq. ft. in floor area. The project is located within the Highway Commercial (C-H)

District of the Alberhill Ranch Specific Plan which allows for the proposed type of development including retail and drive-through uses. The project does not involve significant amounts of hazardous substances, all public services and facilities are available to serve the project, and the surrounding area is not environmentally sensitive as the surrounding properties have been developed and heavily disturbed.

Section 4: That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Sign Design Review (SIGN) No. 2023-07:

1. The project, as approved, will comply with the goals and objectives of the General Plan, Specific Plan and the Zoning District in which the project is located.

The project has a General Plan Land Use designation of Specific Plan (SP) and is located within the Alberhill Ranch Specific Plan (ARSP) and has a Highway Commercial District. The Highway Commercial District accommodates a full range of retail stores, offices, personal and business services establishments offering commodities and services scaled to meet the needs of the future residents of the Alberhill Ranch and the region as a whole. The application proposes to construct an approximately 7,200 square-foot retail shopping center with a drive-through restaurant including two freestanding center identification signs. The proposed center is designed to accommodate 4 potential retail businesses to meet the needs of the community. The project is also consistent with the General Plan because the ARSP was found to be consistent with the General Plan at its adoption.

2. The Project complies with the design directives contained in the General Plan and all other applicable provisions of the LEMC.

The proposed sign design demonstrate that the size and scale of signs are harmonious with the overall design concept of the project. The materials and colors also reflect those used for the principal structures of the Collier Retail Shops project. The project also complies with the architectural guidelines and development standards outlined in the Nonresidential Development Standards (Chapter 17.112) of the LEMC by creating a sign design that enhances the appearance of the project. The project's freestanding signage has also incorporated the City's branding logo.

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the Project was considered by the Planning Commission at a duly noticed Public Hearing held on January 21, 2025. The Project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.

Section 5: Based upon all of the evidence presented, the above findings, and the conditions of approval imposed upon the Project, the Commission hereby approves Sign Design Review (SIGN) No. 2023-07.

Section 6: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day of January, 2025.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2025-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held January 21, 2025 and that the same was adopted by the following vote:

- AYES
- NOES:
- ABSTAIN:
- ABSENT:

Damaris Abraham,
Community Development Director

CONDITIONS OF APPROVAL

PROJECT: PA 2023-13 | CUP 2023-05, CDR 2023-03, & SIGN 2023-07
PROJECT NAME: Collier Retail Shops
PROJECT LOCATION: APN: 389-200-031
APPROVAL DATE:
EFFECTIVE DATE:
EXPIRATION DATE:

GENERAL

1. Planning Application No. 2023-13, which includes Commercial Design Review (CDR No. 2023-03), Conditional Use Permit (CUP No. 2023-05), and SIGN 2023-07, is a proposed project to construct a one-story 7,220-square-foot (sq. ft.) commercial building including three retail tenant units ranging in size from 1,473 sq.ft. to 1,560 sq. ft., a 2,397 sq. ft. drive-through restaurant with a 480 sq.ft. outdoor dining area and related site improvements on a 1.4-acre site. The project site is within the Alberhill Ranch Specific Plan's Highway Commercial (C-H) land use designation on the easterly edge of Collier Avenue approximately 460 feet south of the Collier Avenue and Nichols Road Intersection (APN: 389-200-031).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning approval, implementation and construction of CUP 2023-05, CDR 2023-03 and SIGN 2023-07 which action is sought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension or modification of CUP 2023-05, CDR 2023-03 and SIGN 2023-07 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community Development Department for inclusion in the case records.

PLANNING DIVISION

4. Conditional Use Permit No. 2023-05 shall lapse and become void two years following the date on which the conditional use permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an

extension of the conditional use permit approval pursuant to subsections (a), (b), and (c) of Lake Elsinore Municipal Code (LEMC) Section 17.415.070.D.2. Subject to the provisions of LEMC Section 17.415.070.I, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure, which was the subject of the Conditional Use Permit application.

5. Commercial Design Review No. 2023-03 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
6. Sign Application No. 2023-07 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
7. An application for modification, expansion or other change in a Conditional Use Permit shall be reviewed according to the provisions of the Section 17.415.070 of the LEMC, in a similar manner as a new application
8. If operation of this use raises concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said Conditional Use Permit.
9. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of each individual Certificate of Occupancy.
10. All future development proposals shall be reviewed by the City on a project-by-project basis. If determined necessary by the Community Development Director or designee, additional environmental analysis will be required.
11. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a

similar manner as a new application. Grading plan revisions shall be reviewed by the City Engineer.

12. Provisions of the City's Noise Ordinance (LEMC Chapter 17.176) shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays.
13. No individual signs are approved as part of this approval. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site consistent with the sign program for the project.
14. Graffiti shall be removed within 24 hours.
15. No outside overnight storage of inoperable vehicles shall occur at the site.
16. There shall be no loitering in or around the business.
17. All materials and colors depicted on the approved plans shall be used. If the applicant wishes to modify any of the approved materials or colors depicted on the plans, the applicant shall submit a proposal setting forth the modifications for review by the Community Development Director or his designee
18. The entire site shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.
19. The applicant will be required to provide a Queueing Management Plan prior to occupancy of the drive-through restaurant building. The project shall be required to comply with the Queueing Management Plan at all times to ensure that the operation of the drive-through does not interfere with free and orderly circulation of the parking lots and to avoid spillover of vehicles in the public right-of-way.
20. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation

Prior to Issuance of Grading Permits/Building Permits

21. Prior to issuance of a building permit, the applicant shall pay Development Impact Fees (DIF) per LEMC Section 16.74 and Multiple Species Habitat Conservation Plan (MSHCP) Fees per LEMC Section 16.85, at the rate in effect at the time of payment.

22. All roof mounted or ground support air conditioning units or other mechanical equipment incidental to development shall be architecturally screened or shielded by landscaping so that they are not visible from neighboring property or public streets. Any roof mounted central swamp coolers shall also be screened, and the Community Development Director, prior to issuance of building permit shall approve screening plan.
23. The project shall meet all requirements of the Elsinore Valley Municipal Water District (EVMWD). The applicant shall submit water and sewer plans to the EVMWD and shall incorporate all district conditions and standards.
24. The property address (in numerals at least six inches high) shall be displayed near the entrance and be easily visible from the front of the subject property and public right-of-way.
25. The applicant shall construct trash enclosure(s) to match the colors, materials and design of the project architecture.
26. Identify security measures (i.e. guard, cameras, lighting, signage, etc).
27. Prior to issuance of a building permit, the Final Landscaping / Irrigation Detail Plans shall be submitted to the Community Development Department with appropriate fees, for review and approval by the Community Development Director or designee.
 - a. All planting areas shall have permanent and automatic sprinkler system with 50% plant coverage using a drip irrigation method.
 - b. All planting areas shall be separated from paved areas with a six inch (6") high and six inch (6") wide concrete curb. Runoff shall be allowed from paved areas into landscape areas.
 - c. Planting within fifteen feet (15') of ingress/egress points shall be no higher than twenty-four inches (24").
 - d. Landscape planters shall be planted with an appropriate parking lot shade tree pursuant to the LEMC and Landscape Design Guidelines.
 - e. No required tree planting bed shall be less than 5 feet wide.
 - f. Root barriers shall be installed for all trees planted within 10 feet of hardscape areas to include sidewalks.
 - g. Any transformers and mechanical or electrical equipment shall be indicated on landscape plan and screened as part of the landscaping plan.
 - h. The landscape plan shall provide for ground cover, shrubs, and trees and meet all requirements of the City's adopted Landscape Guidelines.
 - i. All landscaping and irrigation shall be installed within affected portion of any phase at the time a Certificate of Occupancy is requested for any building.
 - j. Final landscape plan must be consistent with approved site plan.
 - k. Final landscape plans to include planting and irrigation details and shall blend in with the existing shopping center.
 - l. Final landscape plans shall include drought tolerant planting consistent with Elsinore Valley Municipal Water District standards subject to plan check and approval by the City's landscape plan check consultant.
 - m. No turf shall be permitted pursuant to LEMC Chapter 19.08: Water Efficient Landscape Requirements.
28. Landscaping installed for the project shall be continuously maintained to the reasonable

satisfaction of the Community Development Director. If it is determined that the landscaping is not being maintained, the Director of Community Development shall have the authority to require the property owner to bring the landscaping into conformance with the approved landscape plan. The continued maintenance of all landscaped areas shall be the responsibility of the developer or any successors in interest.

29. The proposed location of on-site construction trailers shall be approved by the Community Development Director or designee. A cash bond of \$1,000 shall be required for any construction trailers placed on the site and used during construction. Bonds will be released after removal of trailers and restoration of the site to an acceptable state, subject to approval of the Community Development Director or designee. Such trailer(s) shall be fully on private property and outside the public right of way.

BUILDING DIVISION

General Conditions

30. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes which are enforced at the time of building plan submittal.
31. Compliance with Code. All design components shall comply with applicable provisions of the 2022 edition of the California Building, Plumbing and Mechanical Codes: 2022 California Electrical Code; California Administrative Code, 2022 California Energy Codes, 2022 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.
32. Green Measures. The application shall provide 10% voluntary green measures on the project, as stipulated by the 2022 California Green Building Standards.
33. Disabled Access. Applicant shall provide details of all applicable disabled access provisions and building setbacks on plans to include:
 - a. All ground floor units to be adaptable.
 - b. Disabled access from the public way to the entrance of the building.
 - c. Van accessible parking located as close as possible to the main entry.
 - d. Path of accessibility from parking to furthest point of common area.
 - e. Path of travel from public right-of-way to all public areas on site, such as club house, trash enclosure tot lots and picnic areas.
34. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single-family residential projects. It takes 10 days to issue address and notify other agencies. Please contact Sonia Salazar at ssalazar@lake-elsinore.org or 951-674-3124 X 277.
35. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department to ensure the payment or exemption from School Mitigation Fees.

36. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.
37. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.
38. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.
39. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

At Plan Review Submittal

40. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
 - a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
 - b. A Sound Transmission Control Study in accordance with the provisions of the Section 5.507, of the 2022 edition of the California Building Code.
 - c. A precise grading plan to verify accessibility for the persons with disabilities.
 - d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

Prior to Issuance of Grading Permit(s)

41. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.
42. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project. Asbestos report and lead base paint reports are required before demo permit will be issued.

Prior to Issuance of Building Permit(s)

43. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.

Prior to Beginning of Construction

44. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

ENGINEERING DEPARTMENT

GENERAL

45. All new submittals for plan check or permit shall be made using the City's online Citizen Self-Service Portal (CSSP).
46. All engineering plans shall be prepared by a licensed Civil Engineer using the City's standard title block.
47. All required soils, geology, hydrology and hydraulic and seismic reports shall be prepared by a licensed Civil Engineer and Soils Engineer, as applicable.
48. All slopes and landscaping within the public right-of-way shall be maintained by the property owner, owner's association, firms contracted by the property owner's association, or another maintenance entity approved by the City Council.
49. Any portion of a drainage system that conveys runoff from open space shall be installed within a drainage easement.
50. Any grading that affects "waters of the United States", wetlands or jurisdictional streambeds, shall require approval and necessary permits from respective Federal and/or State Agencies.
51. In accordance with the City's Franchise Agreement for waste disposal and recycling, the applicant shall be required to contract with CR&R, Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated both during cleaning, demolition, clear and grubbing or all other phases of construction and during occupancy.
52. Applicant shall submit a detailed hydrology and hydraulic study for review for the sufficient containment and conveyance of the storm water to a safe and adequate point as approved by the City Engineer.
53. The site will accommodate all construction activity, building activity, vehicles, etc. No staging on public streets, or private property belonging to others shall be conducted without the written permission of the property owner.
54. Minimum good housekeeping and erosion and sediment control Best Management Practices (BMPs) shall be implemented.

FEES

55. Applicant shall pay all applicable permit application and Engineering assessed fees, including without limitation plan check and construction inspection fees, at the prevalent rate at time of payment in full.
56. Applicant shall pay all applicable Mitigation and Development Impact Fees at the prevalent rate at time of payment in full. Fees are subject to change. Mitigation and Development Impact Fees include without limitation:

- a. Master Drainage Plan Fee – Due prior to Grading Permit issuance, whichever is first.
- b. Traffic Infrastructure Fee (TIF) – Due prior to Building Permit issuance
- c. Transportation Uniform Mitigation Fee (TUMF) – Due prior to Occupancy
- d. Stephens' Kangaroo Rat Habitat Mitigation Fee (K-Rat) – Due prior to Grading Permit issuance.
- e. Fair Share Fee(s) – Due prior to Building Permit Issuance
 - a. Project shall pay fair share fees as determined by and specified in Table ES-2 of the approved Traffic Impact Analysis dated October 16, 2024 by TJW Engineering, Inc.

STORM WATER MANAGEMENT / POLLUTION PREVENTION / NPDES

Design

57. The project is responsible for complying with the Santa Ana Region National Pollutant Discharge Elimination System (NPDES) Permits as warranted based on the nature of development and/or activity.
58. A Final Water Quality Management Plan (WQMP) for each parcel will be required and shall be prepared using the Santa Ana Region of Riverside County Guidance Document and approved template and submitted for review and approval to the City. The Final WQMP for each parcel shall be approved by the City prior rough grading plan approval or issuance of any permit for construction.
59. The Final WQMP shall document the following:
 - a. Detailed site and project description.
 - b. Potential stormwater pollutants.
 - c. Post-development drainage characteristics.
 - d. Low Impact Development (LID) BMP selection and analysis.
 - e. Structural and non-structural source control BMPs.
 - f. Treatment Control BMPs.
 - g. Site design and drainage plan (BMP Exhibit).
 - h. Documentation of how vector issues are addressed in the BMP design, operation and maintenance.
 - i. GIS Decimal Minute Longitude and Latitude coordinates for all LID and Treatment Control BMP locations.
 - j. Hydraulic Conditions of Concern (HCOC) – demonstrate that discharge flow rates, velocities, duration and volume for the post construction condition from a 2-year, 24-hour rainfall event will not cause adverse impacts on downstream erosion and receiving waters, or measures are implemented to mitigate significant adverse impacts downstream public facilities and water bodies. Evaluation documentation shall include pre- and post-development hydrograph volumes, time of concentration and peak discharge velocities, construction of sediment budgets, and a sediment transport analysis. If HCOC applies, the project shall implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes and channels; and minimize significant impacts from urban runoff. (Note the facilities may need to be larger due to flood mitigation for the 10-year, 6- and 24-hour rain events).

- k. Operations and Maintenance (O&M) Plan and Agreement (using City approved form and/or CC&Rs) as well as documentation of formation of funding district for long term maintenance costs.
- 60. Parking lot landscaping areas shall be designed to provide for treatment, retention or infiltration of runoff.
- 61. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
- 62. Project trash enclosure shall be covered, bermed, and designed to divert drainage from adjoining paved areas and regularly maintained.
- 63. If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Department.
- 64. All storm drain inlet facilities shall be appropriately marked "Only Rain in the Storm Drain" using the City authorized marker.
- 65. The project site shall implement full trash capture methods/devices approved by the Region Water Quality Control Board. This shall include installation of connector pipe screens on all onsite and offsite catch basins to which the project discharges.
- 66. All restaurants and commercial food handling facilities must provide an area for the washing/steam cleaning of equipment and accessories. The area must be self-contained, equipped with a grease trap, and properly connected to a sanitary sewer. If the wash area is located outdoors, it must be covered, paved have secondary containment, and be connected to the sanitary sewer or other appropriately permitted disposal facility. Plan Requirements: The Owner/Applicant shall incorporate these food facility requirements into project design and depict on plans, including detail plans as needed.

Construction

- 67. A Storm Water Pollution Prevention Plan (SWPPP) (as required by the NPDES General Construction Permit) and compliance with the Green Building Code for sediment and erosion control are required for this project.
- 68. Prior to grading or building permit for construction or demolition and/or weed abatement activity, projects subject to coverage under the NPDES General Construction Permit shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer. A copy of the SWPPP shall be kept at the project site, updated, and be available for review upon request.
- 69. Erosion & Sediment Control – Prior to the issuance of any grading or building permit for construction or demolition, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water

quality regulations for grading and construction activities. A copy of the plan shall be incorporated into the SWPPP, kept updated as needed to address changing circumstances of the project site, be kept at the project site, and available for review upon request.

Post-Construction

70. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
 - a. Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.
 - b. Provide signed, notarized certification from the Engineer of Work that the structural BMPs identified in the project's WQMP are installed in conformance with approved plans and specifications and operational.
 - c. Submit a copy of the fully executed, recorded City approved Operations and Maintenance (O&M) Plan and Agreement for all structural BMPs.
 - d. The Operation and Maintenance (O&M) Plan and Agreement shall: (1) describe the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identify the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; (3) describe the mechanism for funding the long-term operation and maintenance of the referenced BMPs; and (4) provide for annual certification for water quality facilities by a Registered Civil Engineer. The City format shall be used.
 - e. Provide documentation of annexation into a CFD for funding facilities to be maintained by the City.
 - f. Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan attached) are available for each of the initial occupants.
 - g. Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the Engineer of Work dated 12 months after the Certificate of Occupancy will be considered in lieu of a Special Investigation by the City.
 - h. Provide the City with a digital .pdf copy of the Final WQMP.

UTILITIES

71. All arrangements for relocation of utility company facilities (power poles, vaults, etc.) out of the roadway shall be the responsibility of the applicant, property owner, and/or his agent. Overhead utilities (34.5 kV or lower) shall be undergrounded (LEMC Section 16.64).
72. Underground water rights shall be dedicated to the City pursuant to the provisions of LEMC Section 16.52.030, and consistent with the City's agreement with the Elsinore Valley Municipal Water District.
73. Applicant shall apply for, obtain and submit to the City Engineering Department a letter from Southern California Edison (SCE) indicating that the construction activity will not interfere with existing SCE facilities. Non-Interference Letter (NIL) shall be provided prior to issuance of grading permit.

74. Submit a "Will Serve" letter to the City Engineering Department from the applicable water agency stating that water and sewer arrangements have been made for this project and specify the technical data for the water service at the location, such as water pressure, volume, etc. Will Serve letters shall be provided prior to issuance of Grading Permit.

IMPROVEMENTS

75. Project will be responsible for the construction of new traffic signal at the intersection of Collier Avenue and Nichols Road. Signalization for this intersection may be eligible for TUMF reimbursement.
76. Sight distance into and out at each project driveway shall comply with City Standard 125/126 or Caltrans standards. Project shall ensure facilities are installed in the line of sight of drivers.
77. 10-year storm runoff shall be contained within the curb and the 100-year storm runoff shall be contained within the street right-of-way. When either of these criteria are exceeded, drainage facilities shall be provided.
78. All drainage facilities in this project shall be constructed to Riverside County Flood Control District Standards. All public storm drain improvements shall be constructed as part of the first phase of the project.
79. A drainage study shall be provided. The study shall identify the following: identify storm water runoff from and upstream of the site; show existing and proposed off-site and on-site drainage facilities; and include a capacity analysis verifying the adequacy of the facilities. The drainage system shall be designed to ensure that runoff from a 10-year storm of 6 hours and 24 hours duration under developed condition is equal or less than the runoff under existing conditions of the same storm frequency. Both 6-hour and 24-hour storm duration shall be analyzed to determine the detention requirements to accomplish the desired results.
80. All natural drainage traversing the site shall be conveyed through the site, or shall be collected and conveyed by a method approved by the City Engineer. All off-site drainage, if different from historic flow, shall be conveyed to a public facility.
81. Roof drains shall not be allowed to outlet directly through coring in the street curb. Roofs should drain to a landscaped area.
82. The site shall be planned and developed to keep surface water from entering buildings (California Green Building Standards Code 4.106.3).
83. All existing storm drain inlet facilities adjacent to the subject properties shall be retrofitted with a storm drain filter; all new storm drain inlet facilities constructed by this project shall include a storm drain filter.
84. A registered Civil Engineer shall prepare the improvements (for public and private), signing and striping, and traffic signal plans required for this project. Improvements shall be designed and constructed to City Standards and Codes (LEMC 12.04 and 16.34).

85. If existing improvements are to be modified, the existing improvement plans on file shall be revised accordingly and approved by the City Engineer prior to issuance of a building permit.

Permitting/Construction

86. An Encroachment Permit shall be obtained prior to any work on City right-of-way. The developer shall submit the permit application, required fees, and executed agreements, security and other required documentation prior to issuance.
87. All compaction reports, grade certification, monument certification (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted to the Engineering Department before final inspection of public works improvements will be scheduled and approved.

PRIOR TO GRADING PERMIT

88. A grading plan signed and stamped by a California licensed Civil Engineer shall be submitted for City review and approval for all addition and/or movement of soil (grading) on site. The plan shall include separate sheets for erosion control, haul route and traffic control as applicable. The grading submittal shall include all supporting documentation and be prepared using City standard title block, standard drawings and design manual.
89. All grading plan contours shall extend to minimum of 50 feet beyond property lines to indicate existing drainage pattern. The grading plan shall show that no structures, landscaping, or equipment are located near the project entrances that could reduce sight distance.
90. If the grading plan identifies alterations in the existing drainage patterns as they exit the site, a Hydrology and Hydraulic Report for review and approval by City Engineer shall be required prior to issuance of grading permits. All grading that modifies the existing flow patterns and/or topography shall be in compliance with Federal, State and Local law and be approved by the City Engineer.
91. Applicant shall obtain all necessary off-site easements and/or permits for off-site grading and the applicant shall accept drainage from the adjacent property owners.
92. Applicant shall mitigate to prevent any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
93. All natural drainage traversing the site (historic flow) shall be conveyed through the site in a manner consistent with the historic flow or to one or a combination of the following: to a public facility; accepted by adjacent property owners by a letter of drainage acceptance; or conveyed to an approved drainage easement.

Permitting/Construction

94. Applicant shall execute and submit grading and erosion control agreement, post grading security, and pay permit fees as a condition of grading permit issuance.

95. No grading shall be performed without obtaining a grading permit. A grading permit does not include the construction of retaining walls or other structures for which a building permit is required.
96. A preconstruction meeting with the City Engineering Inspector (Engineering Department) is required prior to commencement of any grading activity.
97. Hauling in excess of 5,000 cubic yards shall be approved by the City Council (LEMC 15.72.065). Prior to commencement of grading operations, applicant shall provide to the Engineering Department a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to review and approval of the City Engineer. Haul route shall be approved prior to issuance of a grading permit.
98. All grading shall be done under the supervision of a licensed geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City.
99. Review and approval of the project sediment and erosion control plan shall be completed. As warranted, a copy of the current SWPPP shall be kept at the project site and be available for review upon request.
100. Approval of the project Final Water Quality Management Plan (WQMP) for post construction shall be received prior to issuance of a grading permit.
101. Applicant shall obtain applicable environmental clearance from the Planning Department and submit applicable clearance document to the Engineering Department. This approval shall specify that the project complies with any and all required environmental mitigation triggered by the proposed grading activity.

PRIOR TO BUILDING PERMIT

102. Applicant shall provide soils, geology and seismic report, including recommendations for parameters for seismic design of buildings, and walls prior to building permit.
103. All public improvement plans, traffic signal plans, signing and striping plans shall be completed and approved by the City Engineer.
104. All required public right-of-way dedications and easements prepared by separate instruments shall be prepared by the applicant or his agent and shall be submitted to the Engineering Department for review and approval prior to issuance of the building permit.

PRIOR TO OCCUPANCY / FINAL APPROVAL/ PROJECT CLOSE OUT

105. All public improvements shall be completed in accordance with the approved plans or as condition of this development to the satisfaction of the City Engineer prior to issuance of first occupancy.
106. Proof of acceptance of maintenance responsibility of slopes, open spaces, landscape areas, and drainage facilities shall be provided.

107. Applicant shall provide a digital copy of the recorded Covenants, Conditions, and Restrictions (CC&Rs) to the Engineering Department prior to first occupancy.
108. In the event of the damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
109. Applicant shall pay all outstanding applicable processing and development fees prior to occupancy and/or final approval.
110. Applicant shall submit documentation pursuant to City's Security Release handout.

CITY OF LAKE ELSINORE FIRE MARSHAL

111. The applicant/operator shall comply with all requirements of the Riverside County Fire Department Lake Elsinore Office of the Fire Marshal. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Office of the Fire Marshal at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 674-3124 Ext. 225.
112. In all new buildings and structures which are 5,000 square feet or greater, an approved automatic sprinkler system shall be provided regardless of occupancy classification. Where Sections 903.2.1 – 903.2.21 of the California Fire Code have more restrictive requirements than those listed below, the more restrictive requirements shall take precedence
113. Prior to issuance of Building Permits, the applicant/developer shall provide the Office of the Fire Marshal with an approved site plan for Fire Lanes and signage. (CFC 501.3)
114. Each parcel shall have independent access to the circulating roadway. Shared access shall be documented, and reciprocal access agreements or dedicated access shall be established. Prior to grading, please resubmit the site plan with this information shown.
115. The fire apparatus access road shall be (all weather surface) capable of sustaining an imposed load of 80,000 lbs. GVW. The fire apparatus access road or temporary access road shall be reviewed and approved by the Office of the Fire Marshal and in place during the time of construction. (CFC 501.4)
116. The minimum inside turning radius for an access road shall be 24 feet. The minimum outside turning radius shall be 45 feet. As fire apparatus are unable to negotiate tight "S" curves, a 60-foot straight leg must be provided between these types of compound-turns or the radii and/or road width must be increased accordingly.
117. Fire flow and hydrants: the applicant or developer shall provide fire hydrants in accordance with the following:
 - a. Prior to placing any combustibles on site, provide an approved water source for firefighting purposes.
 - b. Required fire flow is estimated to be 1500 GPM at 20 PSI for a 2-hour duration based on 2022 California Fire Code and 7,200 square foot building area with Type V-B construction and buildings having a fire sprinkler system. The minimum fire flow shall be based on the largest single structure on the parcel.
 - c. Fire flow shall be determined by the building of the single largest square

footage. The minimum fire flow will be 1500 GPM at 20 PSI for a 2-hour duration, per the 2022 California Fire Code.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

118. Prior to issuance of a grading permit, the applicant shall submit an application to the Department of Administrative Services to initiate the annexation process into the Community Facilities District No. 2015-2 (Maintenance Services) or current Community Facilities District in place at the time of annexation to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, street maintenance, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. The annexation process shall be completed prior to issuance of the first certificate of occupancy for the project. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project with respect to Maintenance Services. Applicant shall make a non-refundable deposit of \$15,000 or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the Planning Commission of the City of Lake Elsinore on _____. I also acknowledge that all Conditions shall be met as indicated.

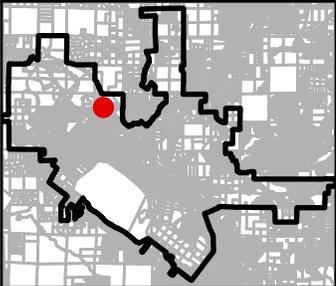
Date: _____

Applicant's Signature:

Print Name:

Address: _____

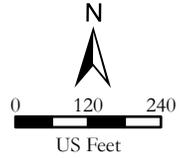
Phone Number: _____



Vicinity Map

Planning Application No. 2023-13
APN: 389-200-031

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

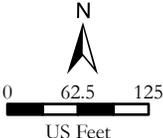


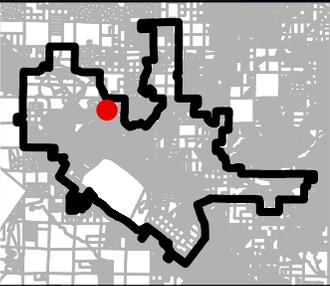
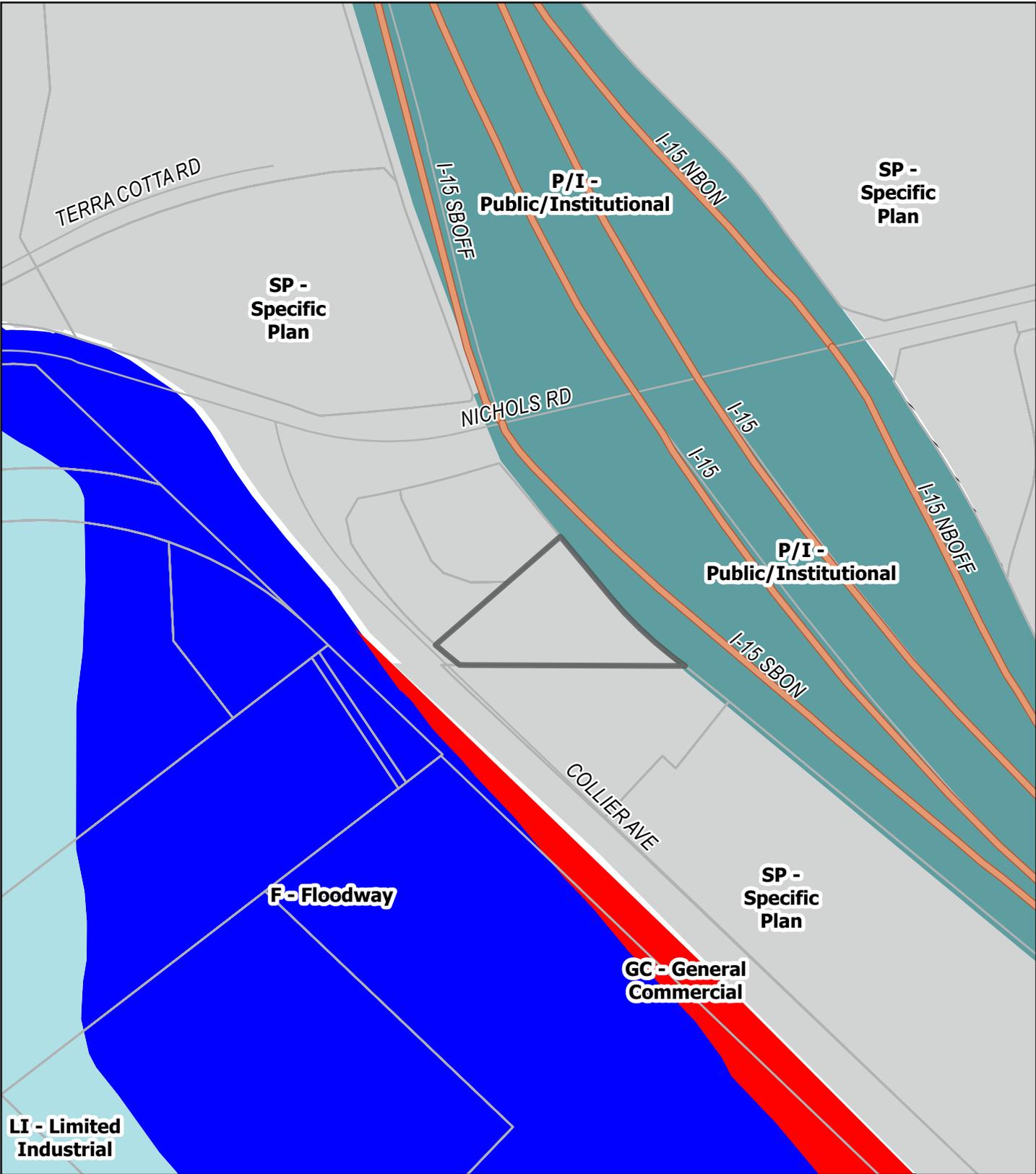


Aerial Map

Planning Application No. 2023-13
APN: 389-200-031

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

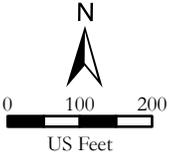


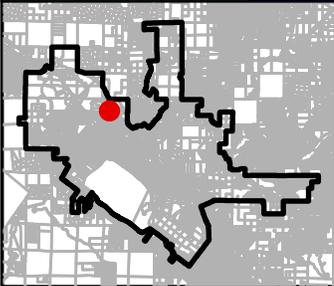
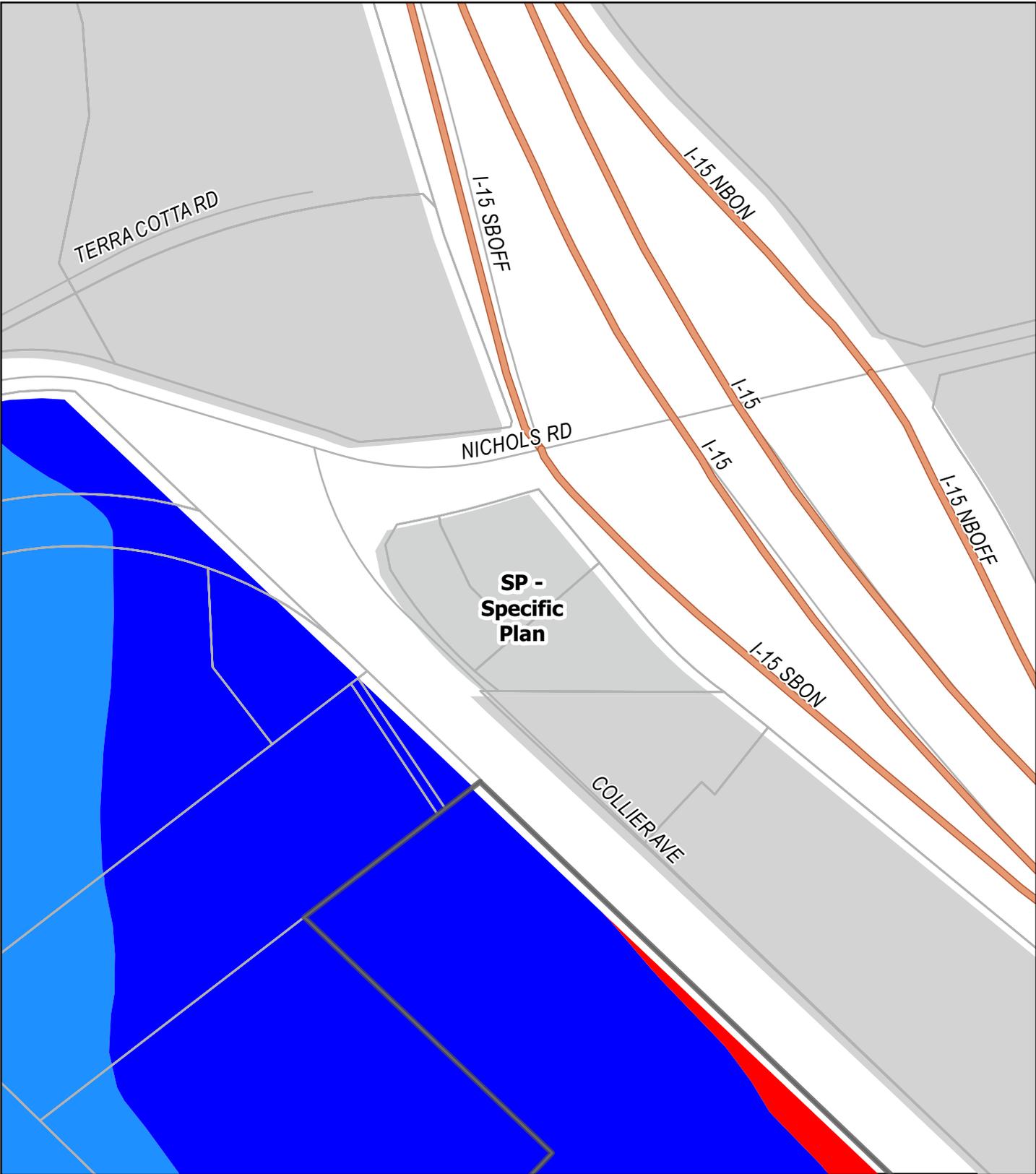


General Plan Exhibit

Planning Application No. 2023-13
 APN: 389-200-031

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

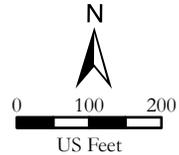




Zoning Exhibit

Planning Application No. 2023-13
 APN: 389-200-031

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet





MM ARCHITECT SERVICES, INC.
planning • design • architecture
33195 Fox Road
Temecula, CA 92592
Tel: 949-591-5977

DEVELOPMENT REVIEW LAKE ELSINORE RETAIL SHOPS

19930 COLLIER AVE.
LAKE ELSINORE, CA 92530
APN 389-200-031

PA 2023-13 FOR CDR 2023-03, CUP 2023-05 AND SIGN 2023-07
PWQMP 2023-0008

SHEET	SHEET TITLE	REV	SHEET	SHEET TITLE	REV
	CIVIL			STRUCTURAL	
GP 1-4	CONCEPTUAL GRADING PLANS				2
	ARCHITECTURAL			MECHANICAL	
T-1.0	COVER SHEET				
A-1.0	100 FT RADIUS PLAN				
A-1.1	PROPOSED SITE PLAN			ELECTRICAL	
A-1.2	FIRE APPARATUS ACCESS				
A-1.3	SITE DETAILS AND TRASH ENCLOSURE				
A-1.4	SITE DETAILS - OUTDOOR PATIO			PLUMBING	
A-	SITE PHOTOMETRIC (PREPARED BY LIGHTING VENDOR)				
A-2.1	FLOOR PLAN				
A-3.0	NOT USED				
A-4.0	ROOF PLAN				
A-5.0	EXTERIOR ELEVATIONS				
A-6.0	NOT USED				
A-7.0	BUILDING SECTIONS				
	LANDSCAPE				
LS-1	CONCEPTUAL LANDSCAPE PLAN				

SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
19930 COLLIER AVE.
LAKE ELSINORE, CA 92530

APN 389-200-031
PA-2023-13

COVER SHEET

REVISION:
11/28/23
PLANNING DEPT RESUBMITTAL

DATE MARCH 20, 2023

JOB NO. 22100
SHEET:

T-1.0
OF SHEETS

LEGAL DESCRIPTION:	RECORDED BOOK / PAGE: PM 190/30 PM28524 LOT PARCEL 2
APN	389 200 031-6
LOT SIZE	1.4 AC (60,984 SF)
CURRENT LAND USE	VACANT
SPECIFIC PLAN	ALBERHILL RANCH SUBURBAN VILLAGE COMMERCIAL AND MIXED USE
ZONING	COMMERCIAL OFFICE DISTRICT (C-O)
PROPOSED USE / PROJECT DESCRIPTION	DEVELOPMENT OF VACANT LAND FOR APPROX 7,220 SF COMMERCIAL RETAIL MULTI-TENANT BUILDING WITH DRIVE-THRU AND SITE AMENITIES
SPRINKLERED	YES - NFPA 13 COMPLIANT
BUILDING SIZE	7,220 SF
BUILDING HEIGHT	29'-2" SINGLE STORY
OCCUPANCY / CONSTRUCTION TYPE	B (SMALL BUSINESS) AND A-2 (DINING) / V-B 2022 CBC TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES: 1-HR FIRE RATED WALL PARTITION
OCCUPANCY LOAD	96
SITE COVERAGE	SF %
BUILDING COVERAGE (FAR)	7,220 11.8
OUTDOOR PATIO	480 0.8
TRASH ENCLOSURE	300 0.5
CONC WALKS	3,681 6.0
HARDSCAPE POROUS	18,020 29.5
HARDSCAPE IMPERVIOUS	8,900 14.6
LANDSCAPE	18,069 29.6
EXISTING HARDSCAPE	4,314 7.1
TOTAL	60,984 100.0
	REQUIRED PROVIDED
FRONT BUILDING SETBACK	20 FEET 252'-6"
FRONT PARKING SETBACK	10 FEET 60'-3"
INTERIOR (COMM / RES)	0 FEET / 15 FEET VARIES, SEE SITE PLAN
REAR (COMM / RES)	0 FEET / 15 FEET 31'-2"
BLDG HEIGHT PER SP	80 FEET
BLDG HEIGHT PER LEMC	35 FEET 29'-2"
FAR	2.0 MAX 0.12
ON-SITE LANDSCAPE	
SP / LEMC	10 % / 15% 28%
SETBACK	10 FT / 15 FT RES 10 FEET, VARIES, SEE SITE PLAN

PROPOSED FLOOR AREAS AND OCCUPANT LOADS		PARKING							
	AREA (SF)	EGRESS OLF	OCCUP (2 EXITS IF OVER 49)	EXIT PROVIDED	PLUMB/OCCUP	PARKING 1SP/1,5SF	PARKING REQUIRED		
101	BUSINESS/RETAIL (B)	1,473	150	9.82	1	150	9.82	250	5.89
102	BUSINESS/RETAIL (B)	1,470	150	9.80	1	150	9.80	250	5.88
103	BUSINESS/RETAIL (B)	1,560	150	10.40	1	150	10.40	250	6.24
104	DINING (A-2)	2,397			2				
	CUSTOMER AREA	832	15	55.47		30	27.73	45	18.49
	NON-CUSTOMER	1,565	200	7.83		50	31.30	200	7.83
105	UTILITY ROOM (B)	200	300	0.67	1				
	EXTERIOR PILASTERS	120	-						
	SF / OCCUPANCY LOAD	7,220		96					44.33
	OUTDOOR PATIO	480						45	10.67
									54.99

PARKING STALLS REQUIRED: 55 SPACES
PARKING STALLS PROVIDED: 60 SPACES

PROVIDED STALLS:
44 REGULAR STALLS 9FT WIDE X 18FT
3 ACCESSIBLE STALLS (FOR 5-15 SPACES PROVIDED)
4 REGULAR SHARED STALLS
5 EXISTING REGULAR SHARED STALLS
4 PARKING SPACES PER CA VEH. CODE 22511.2
2 ELECTRIC VEHICLE SUPPLY EQUIPMENT = COUNT AS TWO PARKING STALLS
1 ACCESSIBLE SPACE WITH ACCESS AISLE SERVED BY EVSE = COUNT AS TWO STALLS

1 LOADING DELIVERY STALL 12FT X 20FT
BICYCLE RACK WITH 3 SPACES

PURVEYORS
ELECTRIC
SOUTHERN CALIFORNIA EDISON
PO BOX 800
ROSEHEAD, CA 91710
800-655-4555

GAS, SOCIAL GAS
PO BOX 1626
MONTEREY, CA 91754-8626
800-421-2000

WATER / SEWER
ELSINORE VALLEY MUNICIPAL WATER
3135 CHANEY STREET
LAKE ELSINORE, CA 92530
951-614-3146

TRASH CRTR
1706 GOETZ RD.
PERRIS, CA 92570
951-943-1991

TELEPHONE VERIZON
ONE VERIZON WAY
BASKING RIDGE, NJ 07120
844-671-0348

At	JAN.	Janitor
Anchor Bolt	JST.	Joist
Asphaltic Concrete	JT.	Joint
Air Conditioning	LAB.	Laboratory
Acoustical	LAM.	Laminate
American Disabilities Act	LAV.	Lavatory
Adjustable	LBS.	Found
Aluminum	LT.	Light
Architecture	L.F.	Linear Foot
Ampere	MANUF.	Manufacturer
Board	MAT.	Material
Building	MAX.	Maximum
Block	MECH.	Mechanical
Beam	MET.	Metal
Boundary Nailing	M.H.	Manhole
Bottom	MIN.	Minimum
Cabinet	MISC.	Miscellaneous
California Building Code	M.O.	Masonry Opening
Catch Basin	MTD.	Mounted
Control Joint	(N)	New
Center Line	NAT.	Natural
Cement	N.I.C.	Not In Contract
Ceramic	NO.	Number
Celling	N.T.S.	Not To Scale
Clear	O.C.	On Center
Clean Out	O.D.	Outside Diameter
Column	O.H.	Overhead
COMP.	OPG.	Opening
Concrete	P.J.	Panel Joint
Construction	PL.	Plate
Continuous	PLAS.	Plaster
CONTR.	P.L.F.	Found Per Linear Foot
DBL.	PLY/MD.	Plywood
DET.	P.S.I.	Pounds Per Sq. Inch
DIA.	P.T.D.F.	Pressure Treated Douglas Fir
Diagonal	P.V.C.	Polyvinyl Chloride
Dimension	Q.T.	Quarry Tile
DN.	(R)	Relocated
Down spout	R.	Riser
DR.	RAD.	Radius
DWS.	R.D.	Roof Drain
D.F.	R.F.	Roof
Each	REF.	Refrigerator
Existing Grade	REINF.	Reinforcing
Expansion Joint	REQ'D.	Required
ELECT.	R.R.	Roof Rafter
ELEV.	R.M.	Room
EN.	R.O.	Rough Opening
EQ.	R.S.	Rough Sawn
EQUIP.	RDWD.	Roadway
E.S.	EQ.	Equal
Each Side	S.C.	Solid Core
Exterior	SCHED.	Schedule
EXIST.	S.D.	Storm Drain
(E)	S.F.	Square Feet
F.D.	SHT.	Sheet
Floor Drain	SHTG.	Sheeting
Fire Extinguisher	SH.	Shelf
Fire Hydrant	SIM.	Similar
FIN.	SLDG.	Sliding
Flow Line	SPECS.	Specifications
FLR.	SQ.	Square
FLUOR.	STD.	Standard
Fluorescent	STL.	Steel
F.O.	STRUCT.	Structural
Face of Concrete	SUSP.	Suspended
Face of Masonry	S.Y.	Square Yard
Face of Stud	SYM.	Symmetrical
F.T.G.	T.	Tempored Glass
FURR.	T.C.	Top Of Curb
Gauge	TEL.	Telephone
Gallon	TELCO.	Telephone Company
Galvanized	T & G	Tongue and Groove
Gypsum Board	THK.	Thick
GALV.	T.O.	Top Of
G.B.	T.O.P.	Top Of Plate
Galvanized Iron	T.O.S.	Top Of Slab
G.I.	T.O.W.	Top Of Wall
Glass	TYP.	Typical
GLB.	U.N.O.	Unless Noted Otherwise
Glu-Laminated Beam	W/	With
GRD.	W.G.	Water Closet
Hose Bibb	W.H.	Water Heater
H.C.	WD.	Wood
Hollow Core	W.I.	Wrought Iron
Header	W.M.	Wire Mesh
HDR.		
Height		
HGT.		
Hollow Metal		
HORIZ.		
Horizontal		
HDR.		
Heater		
HTR.		
Hot Water		
H.W.		
I.D.		
Inside Diameter		
IN.		
Inch		
INFO.		
Information		
INSUL.		
Insulation		
INT.		
Interior		

PROJECT DATA

- NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLE 307.1(1) AND 307.1(2).
- WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.13.
- THE MEANS OF EGRESS SHALL BE ILLUMINATED WITH AT LEAST ONE FOOT CANDLE (11 LUX) AT WALKING SURFACE. (CBC 1009.2.1) AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED (CBC 1009.2).
- MEANS OF EGRESS ILLUMINATION INCLUDING EXIT SIGNS IN ROOMS SPACES AND BUILDINGS THAT REQUIRE 2 OR MORE MEANS OF EGRESS SHALL BE CONNECTED TO PREMISES ELECTRICAL SUPPLY (1009.3) AND EMERGENCY ELECTRICAL SYSTEM (1009.3.4)
- T-BAR CEILING NOT ALLOWED TO SUPPORT INSULATION.
- APPROVAL OF THESE PLANS BY THE BUILDING DEPARTMENT DOES NOT INCLUDE APPROVAL FOR ANY TYPE OF HIGH PILED COMBUSTIBLE STORAGE. SEPARATE APPROVALS FOR ANY HIGH PILE STORAGE MUST BE OBTAINED IF HIGH PILED STORAGE IS PROVIDED. (CFC 3201).
- INSPECTION MAY REVEAL CONDITIONS WHICH HAVE CHANGED SINCE PLAN REVIEW. WHEN SUCH DISCREPANCIES ARISE, FIELD INSPECTION SHALL TAKE PRECEDENCE.
- APPROVAL OF THESE PLANS BY THE BUILDING DEPARTMENT DOES NOT INCLUDE APPROVAL FOR ANY TYPE OF FIRE SPRINKLER OR FIRE ALARM SYSTEM THAT MAY BE SHOWN OR REQUIRED. SEPARATE APPROVALS FOR ANY FIRE SPRINKLER OR ALARM SYSTEMS MUST BE OBTAINED IF FIRE SPRINKLERS OR A FIRE ALARM ARE PROVIDED. MODIFIED FIRE SPRINKLER PLANS AND FIRE LIFE SAFETY PLANS SHALL BE SUBMITTED FOR REVIEW, APPROVAL AND PERMIT ISSUANCE.

XX XX	ROOM NUMBER, SEE FINISH SCHEDULE	XX XX	DETAIL REFERENCE TOP # = DETAIL # BOTTOM # = SHEET #
XX	WALL REFERENCE, SEE WALL SECTIONS	XX XX	SECTION REFERENCE TOP # = DETAIL # BOTTOM # = SHEET #
XX	WINDOW REFERENCE, SEE WINDOW SCHEDULE	1 4 3	INTERIOR ELEVATION REFERENCE TOP # = DETAIL # BOTTOM # = SHEET # PERIMETER # = INTERIOR ELEV. #
XX	REVISION NUMBER, SEE BORDER	◇	SIGN REFERENCE DETAIL #
XX	DRAWING NOTE, SEE DRAWING NOTES ON SAME SHEET, U.N.O.		
XX	DOOR REFERENCE, SEE DOOR SCHEDULE		

01000-01

ABBREVIATIONS

SCALE: NONE 19

APPLICABLE BUILDING CODES
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (1009.3.4)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA HISTORICAL BUILDING CODE
2022 CALIFORNIA ADMINISTRATIVE CODE
LAKE ELSINORE MUNICIPAL CODE

WIND SPEED - 110 MPH, WIND EXPOSURE - C
SEISMIC ZONE - D OR E
RAINFALL - 3" PER HR
CLIMATE ZONE - IO

APPLICABLE BLDG. CODES

SCALE: NONE 20

GENERAL NOTES

SCALE: NONE 16

SYMBOLS

SCALE: NONE 12

CONTACTS

SCALE: NONE 8

VICINITY MAP

SCALE: NONE 4

OWNER / APPLICANT

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ALISO VIEJO, CA 92566
PHONE: (949) 524-0546
CONTACT: ERIN RANDHAVA

ARCHITECT

MM ARCHITECT SERVICES, INC.
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PHONE: (949) 351-5471
CONTACT: MARTINA MASARANI, R.A.

CIVIL ENGINEER

CORE CIVIL ENGINEERING, INC.
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LAGUNA HILLS, CA 92653
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CONTACT: AMIR DEHIMI, PE

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BMLA LANDSCAPE ARCHITECTURE
310 NORTH JOY STREET
CORONA, CA 92714
PHONE: (951) 757-1124
CONTACT: IVAN VELAZQUEZ

GEOTECHNICAL ENGINEERING

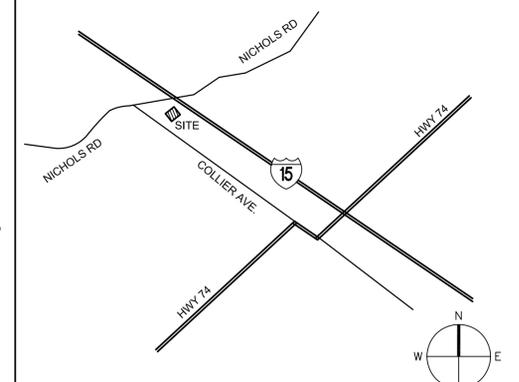
EARTH STRATA GEOTECHNICAL
42104 REMINGTON AVE.
TEMECULA, CA 92590
PHONE: (951) 461-4028
CONTACT: STEPHEN M. POOLE PE, GE

SURVEYOR ENGINEERING

DELTA SURVEYING AND MAPPING
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TEMECULA, CA 92590
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TRAFFIC ENGINEERING

TJM ENGINEERING, INC.
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IRVINE, CA 92618
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SCALE: NONE 4



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SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
 SEC NICHOLS RD & COLLIER AVE.
 LAKE ELSINORE, CA

APN 389-200-031
 DR-2023-....

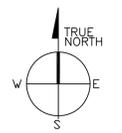
SITE PLAN
100 FT RADIUS

REVISION:

DATE FEBRUARY 28, 2023

JOB NO. 22100
 SHEET:

A-1.0
 . OF . SHEETS



SCALE:
 1"=40'-0"

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SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
19930 COLLIER AVE.
LAKE ELSINORE, CA 92530

APN 389-200-031
PA-2023-13

PROPOSED SITE PLAN

REVISION:
11/28/23 PLANNING DEPT RESUBMITTAL
03/26/24 PLANNING DEPT RESUBMITTAL

DATE MARCH 20, 2023

JOB NO. 22100
SHEET:

A-1.1
OF SHEETS

X SITE KEYNOTES

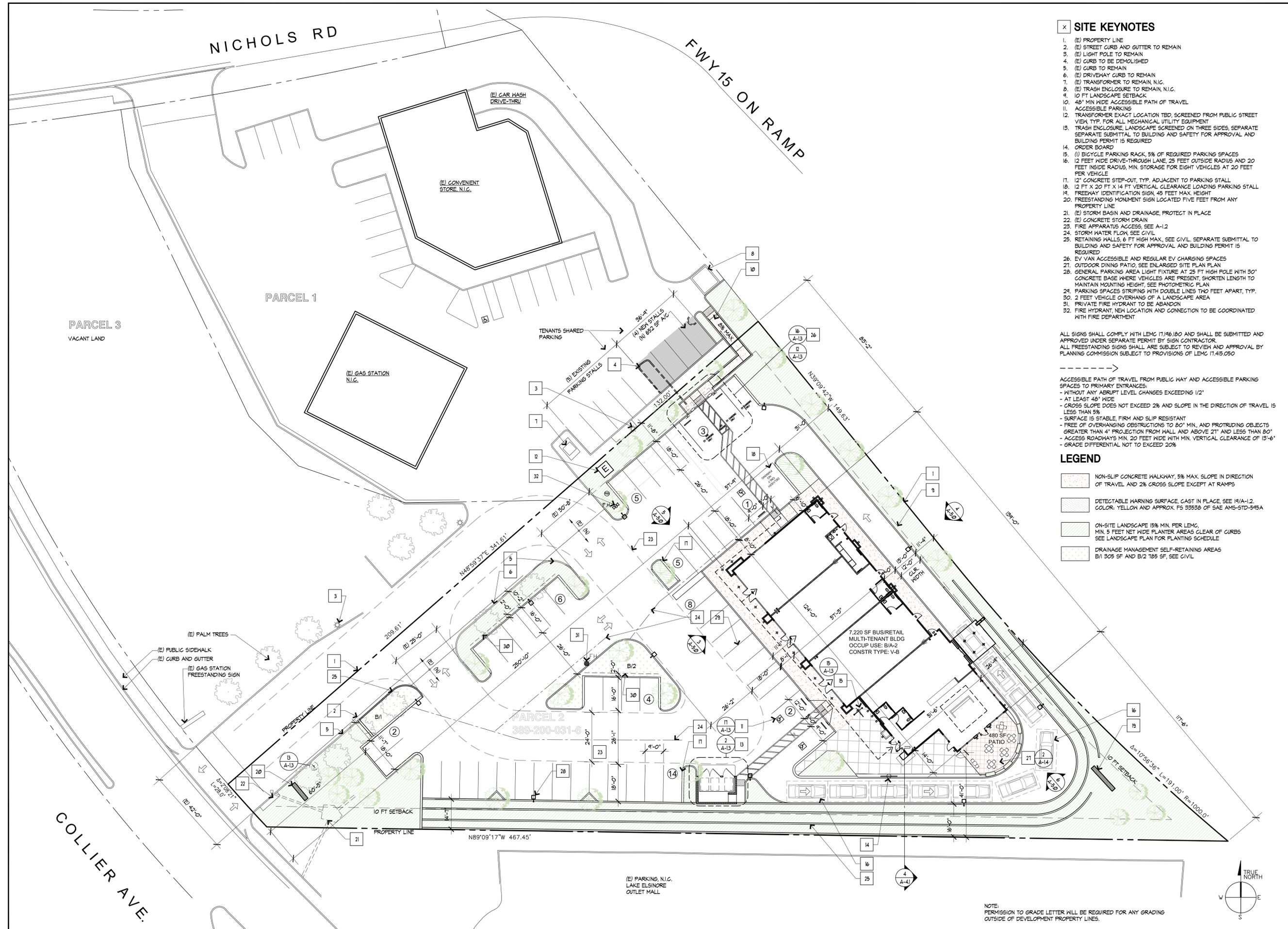
1. (E) PROPERTY LINE
2. (E) STREET CURB AND GUTTER TO REMAIN
3. (E) LIGHT POLE TO REMAIN
4. (E) CURB TO BE DEMOLISHED
5. (E) CURB TO REMAIN
6. (E) DRIVEWAY CURB TO REMAIN
7. (E) TRANSFORMER TO REMAIN, N.I.C.
8. (E) TRASH ENCLOSURE TO REMAIN, N.I.C.
9. 10 FT LANDSCAPE SETBACK
10. 48" MIN WIDE ACCESSIBLE PATH OF TRAVEL
11. ACCESSIBLE PARKING
12. TRANSFORMER EXACT LOCATION TBD, SCREENED FROM PUBLIC STREET VIEW, TYP. FOR ALL MECHANICAL UTILITY EQUIPMENT
13. TRASH ENCLOSURE, LANDSCAPE SCREENED ON THREE SIDES, SEPARATE SUBMITTAL TO BUILDING AND SAFETY FOR APPROVAL AND BUILDING PERMIT IS REQUIRED
14. ORDER BOARD
15. (I) BICYCLE PARKING RACK, 5% OF REQUIRED PARKING SPACES
16. 12 FEET WIDE DRIVE-THROUGH LANE, 25 FEET OUTSIDE RADIUS AND 20 FEET INSIDE RADIUS, MIN. STORAGE FOR EIGHT VEHICLES AT 20 FEET PER VEHICLE
17. 12" CONCRETE STEP-OUT, TYP. ADJACENT TO PARKING STALL
18. 12 FT X 20 FT X 14 FT VERTICAL CLEARANCE LOADING PARKING STALL
19. FREEWAY IDENTIFICATION SIGN, 45 FEET MAX. HEIGHT
20. FREESTANDING MONUMENT SIGN LOCATED FIVE FEET FROM ANY PROPERTY LINE
21. (E) STORM BASIN AND DRAINAGE, PROTECT IN PLACE
22. (E) CONCRETE STORM DRAIN
23. FIRE APPARATUS ACCESS, SEE A-1.2
24. STORM WATER FLOW, SEE CIVIL
25. RETAINING WALLS, 6 FT HIGH MAX, SEE CIVIL. SEPARATE SUBMITTAL TO BUILDING AND SAFETY FOR APPROVAL AND BUILDING PERMIT IS REQUIRED
26. EV VAN ACCESSIBLE AND REGULAR EV CHARGING SPACES
27. OUTDOOR DINING PATIO, SEE ENLARGED SITE PLAN PLAN
28. GENERAL PARKING AREA LIGHT FIXTURE AT 25 FT HIGH WITH 30" CONCRETE BASE WHERE VEHICLES ARE PRESENT, SHORTEN LENGTH TO MAINTAIN MOUNTING HEIGHT, SEE PHOTOMETRIC PLAN
29. PARKING SPACES STRIPING WITH DOUBLE LINES TWO FEET APART, TYP.
30. 2 FEET VEHICLE OVERHANG OF A LANDSCAPE AREA
31. PRIVATE FIRE HYDRANT TO BE ABANDON
32. FIRE HYDRANT, NEW LOCATION AND CONNECTION TO BE COORDINATED WITH FIRE DEPARTMENT

ALL SIGNS SHALL COMPLY WITH LEMC 17.146.180 AND SHALL BE SUBMITTED AND APPROVED UNDER SEPARATE PERMIT BY SIGN CONTRACTOR.
ALL FREESTANDING SIGNS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY PLANNING COMMISSION SUBJECT TO PROVISIONS OF LEMC 17.145.050

- ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY AND ACCESSIBLE PARKING SPACES TO PRIMARY ENTRANCES:
- WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2"
 - AT LEAST 48" WIDE
 - CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%
 - SURFACE IS STABLE, FIRM AND SLIP RESISTANT
 - FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80"
 - ACCESS ROADWAYS MIN. 20 FEET WIDE WITH MIN. VERTICAL CLEARANCE OF 13'-6"
 - GRADE DIFFERENTIAL NOT TO EXCEED 20%

LEGEND

- NON-SLIP CONCRETE WALKWAY, 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE EXCEPT AT RAMP
- DETECTABLE WARNING SURFACE, CAST IN PLACE, SEE 19(A)-1.2. COLOR: YELLOW AND APPROX. F5 3353B OF SAE AMS-STD-545A
- ON-SITE LANDSCAPE 15% MIN. PER LEMC. MIN. 5 FEET NET WIDE PLANTER AREAS CLEAR OF CURBS. SEE LANDSCAPE PLAN FOR PLANTING SCHEDULE.
- DRAINAGE MANAGEMENT SELF-RETAINING AREAS B/1 305 SF AND B/2 105 SF, SEE CIVIL



PROPOSED SITE PLAN

SCALE: 1"=20'-0" 1

NOTE: PERMISSION TO GRADE LETTER WILL BE REQUIRED FOR ANY GRADING OUTSIDE OF DEVELOPMENT PROPERTY LINES.

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SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
 19930 COLLIER AVE.
 LAKE ELSINORE, CA 92530

APN 389-200-031
 PA-2023-13

SITE PLAN
FIRE APPARATUS
ACCESS

REVISION:
 11/28/23
 PLANNING DEPT RESUBMITTAL

DATE MARCH 20, 2023

JOB NO. 22100
 SHEET:

A-1.2
 . OF . SHEETS

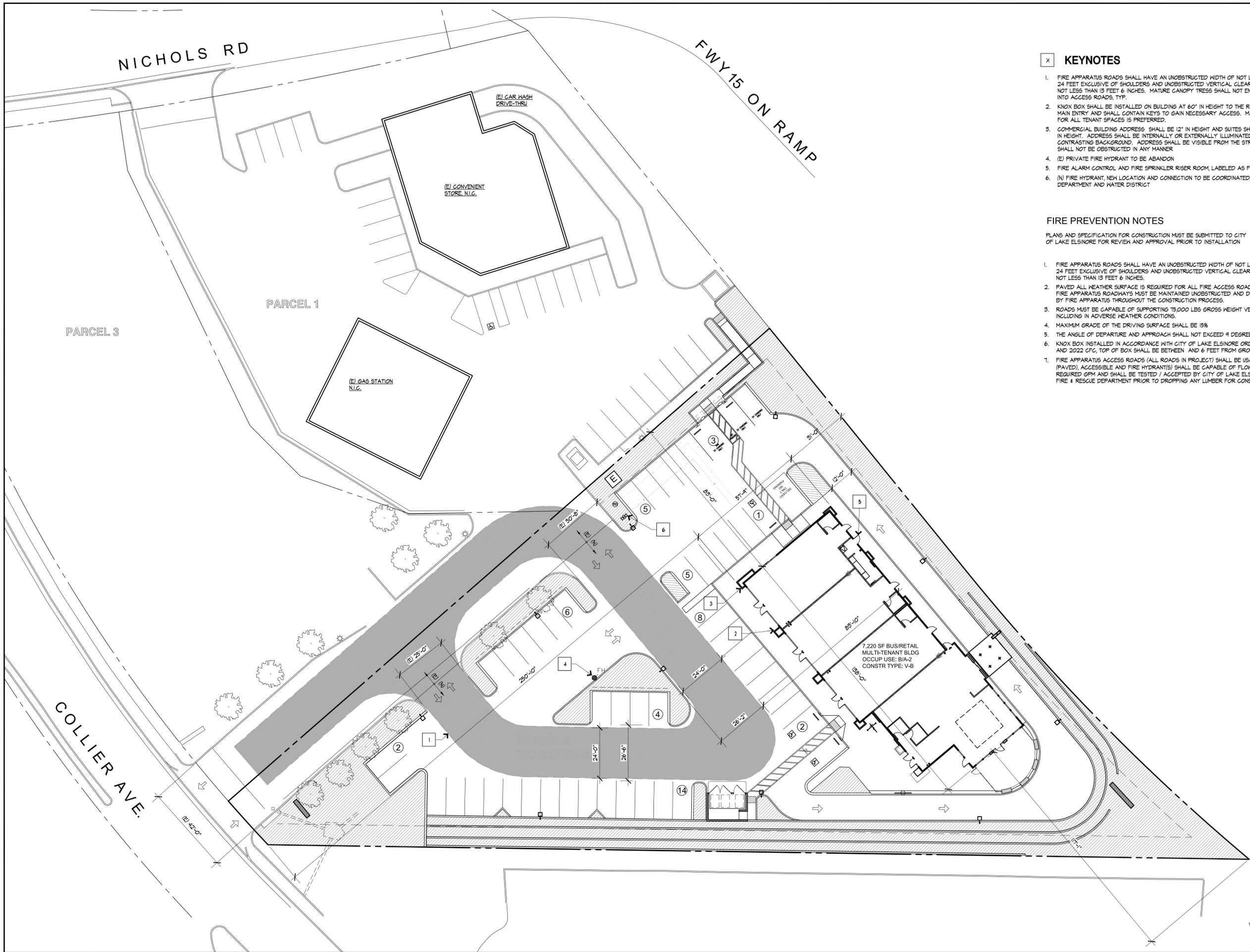
KEYNOTES

1. FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET EXCLUSIVE OF SHOULDERS AND UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. MATURE CANOPY TREES SHALL NOT ENCROACH INTO ACCESS ROADS, TYP.
2. KNOX BOX SHALL BE INSTALLED ON BUILDING AT 60" IN HEIGHT TO THE RIGHT THE MAIN ENTRY AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS. MASTER KEY FOR ALL TENANT SPACES IS PREFERRED.
3. COMMERCIAL BUILDING ADDRESS SHALL BE 12" IN HEIGHT AND SUITES SHALL BE 6" IN HEIGHT. ADDRESS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED ON CONTRASTING BACKGROUND. ADDRESS SHALL BE VISIBLE FROM THE STREET AND SHALL NOT BE OBSTRUCTED IN ANY MANNER.
4. (E) PRIVATE FIRE HYDRANT TO BE ABANDON
5. FIRE ALARM CONTROL AND FIRE SPRINKLER RISER ROOM, LABELED AS FIRE ROOM
6. (N) FIRE HYDRANT, NEAR LOCATION AND CONNECTION TO BE COORDINATED WITH FIRE DEPARTMENT AND WATER DISTRICT

FIRE PREVENTION NOTES

PLANS AND SPECIFICATION FOR CONSTRUCTION MUST BE SUBMITTED TO CITY OF LAKE ELSINORE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

1. FIRE APPARATUS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET EXCLUSIVE OF SHOULDERS AND UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES.
2. PAVED ALL WEATHER SURFACE IS REQUIRED FOR ALL FIRE ACCESS ROADS. ALL FIRE APPARATUS ROADWAYS MUST BE MAINTAINED UNOBSTRUCTED AND DRIVABLE BY FIRE APPARATUS THROUGHOUT THE CONSTRUCTION PROCESS.
3. ROADS MUST BE CAPABLE OF SUPPORTING 75,000 LBS GROSS WEIGHT VEHICLE INCLUDING IN ADVERSE WEATHER CONDITIONS.
4. MAXIMUM GRADE OF THE DRIVING SURFACE SHALL BE 15%
5. THE ANGLE OF DEPARTURE AND APPROACH SHALL NOT EXCEED 9 DEGREES OR 20%
6. KNOX BOX INSTALLED IN ACCORDANCE WITH CITY OF LAKE ELSINORE ORDINANCE AND 2022 CFG. TOP OF BOX SHALL BE BETWEEN AND 6 FEET FROM GROUND
7. FIRE APPARATUS ACCESS ROADS (ALL ROADS IN PROJECT) SHALL BE USABLE (PAVED), ACCESSIBLE AND FIRE HYDRANT(S) SHALL BE CAPABLE OF FLOWING REQUIRED GPM AND SHALL BE TESTED / ACCEPTED BY CITY OF LAKE ELSINORE FIRE & RESCUE DEPARTMENT PRIOR TO DROPPING ANY LUMBER FOR CONSTRUCTION.



SITE PLAN - FIRE APPARATUS ACCESS

SCALE:
 1"=20'-0"

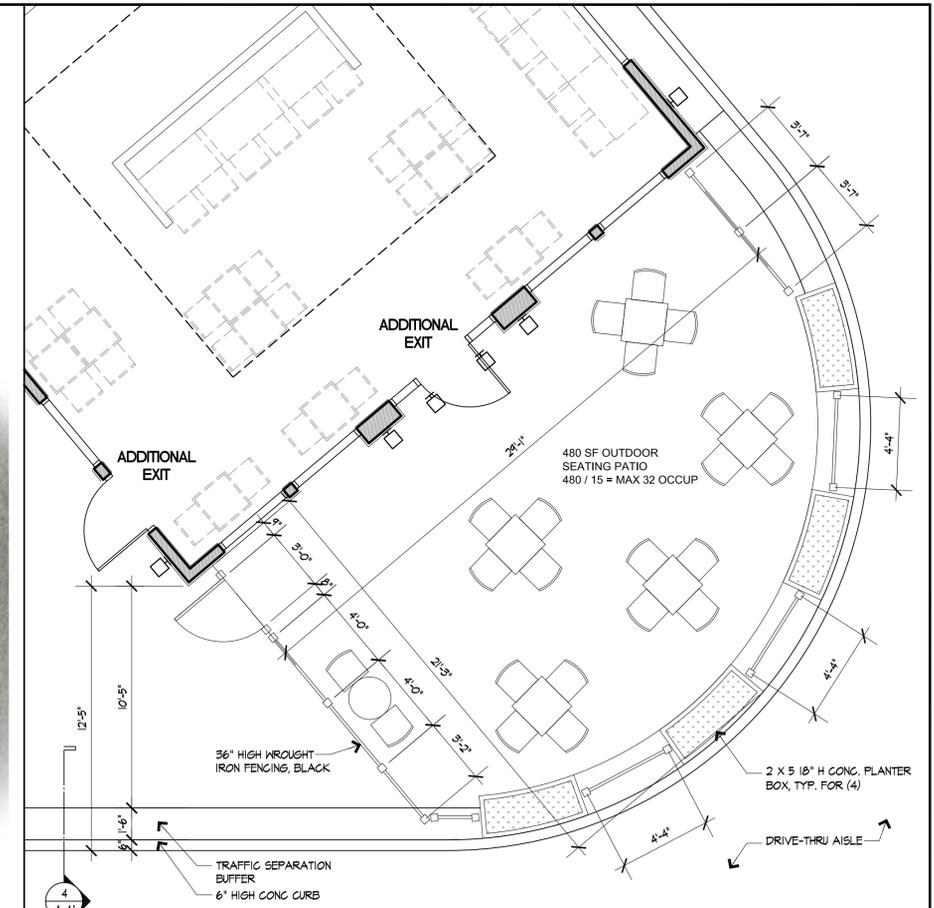
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PATIO FURNITURE SHALL BE COMMERCIAL GRADE, RESTAURANT USE CERTIFIED, ALL MATERIAL DURABLE AND WEATHERPROOF, UV RESISTANT

TABLE AND CHAIR: BLACK ALUMINUM WITH BROWN FAUX TEAK TOP, TABLE HEIGHT 30", HEAVY-DUTY USE MATCHING CHAIRS, (ALTERNATE: SILVER POWDER COATED ALUMINUM)
 UMBRELLA: BLACK CAST IRON BASE, FIBERGLASS POLE, RED FABRIC WITH ANTI FADE SUNBRELLA WARRANTY, 9 FT CANOPY SIZE

ADDITIONAL SPECIFICATION SHALL SUBMITTED UNDER TENANT IMPROVEMENTS BY RESTAURANT REPRESENTATIVE



OUTDOOR FURNITURE / PATIO VISUALIZATION

DISCLAIMER: DIMENSIONED DRAWINGS SUPERSEDE ARTISTIC VISUALIZATION

SCALE: NONE 10

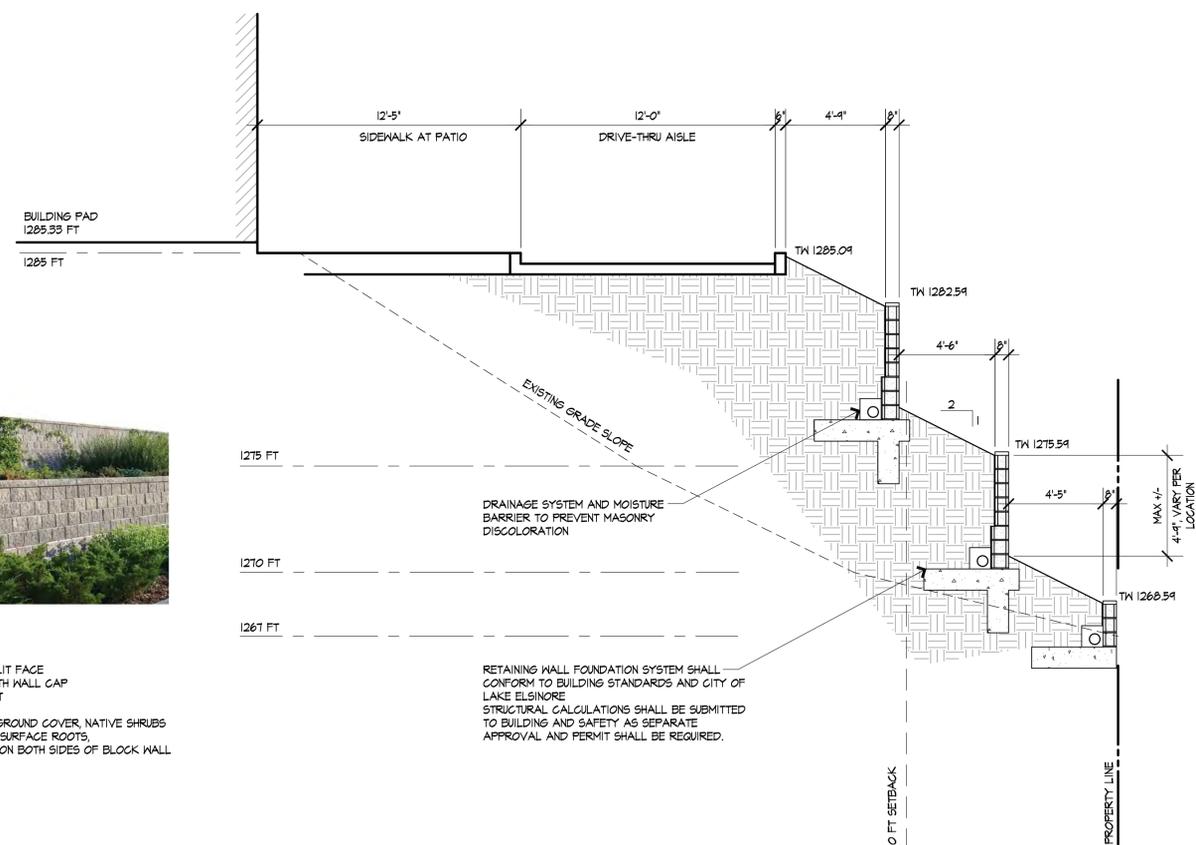
OUTDOOR PATIO

SCALE: 1/4"=1'-0" 2



ORCO BLOCK CONCRETE MASONRY SPLIT FACE 8" MIN OR PER STRUCTURAL DESIGN WITH WALL CAP COLOR: NATURAL GRAY MEDIUM HEIGHT

SEE LANDSCAPE PLAN FOR PLANTING GROUND COVER, NATIVE SHRUBS AND SMALL TREES WITH SHALLOW THIN SURFACE ROOTS. ROOT BARRIERS SHALL BE INSTALLED ON BOTH SIDES OF BLOCK WALL



RETAINING WALL SECTION

SCALE: 1/4"=1'-0" 4



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SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
 19930 COLLIER AVE.
 LAKE ELSINORE, CA 92530

APN 389-200-031
 PA-2023-13

SITE DETAILS

REVISION:
 11/28/23
 PLANNING DEPT RESUBMITTAL

DATE MARCH 20, 2023

JOB NO. 22100
 SHEET:

A-1.4
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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	3.17	31.8	1.0	3.17	31.80
PEDESTRIAN	Illuminance	Fc	7.18	21.0	0.7	10.26	30.00

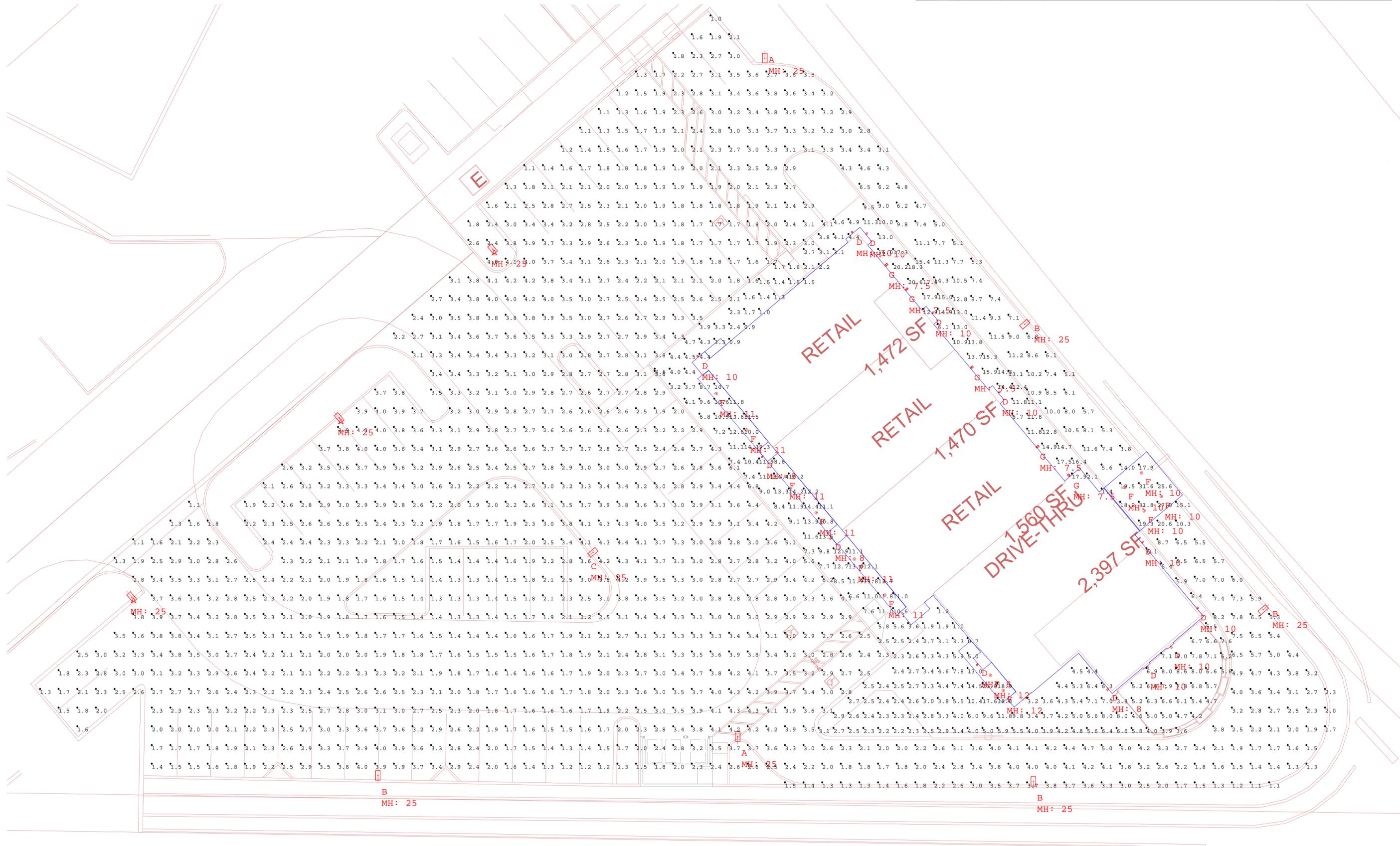
CALCULATION POINTS AT GROUND

PARKING CALCULATION POINTS AT 5' O.C.

PEDESTIAN CALCULATION POINTS AT 4' O.C.

REFLECTANCES ARE .5

Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Lumens	Luminaire Watts
A	5	A	0.850	GARDCO - OPF-S-A05-830-T4M	14446	104.3
B	4	B	0.850	GARDCO - OPF-S-A05-830-T2M	14369	104.3
C	1	C	0.850	GARDCO - OPF-S-A05-830-T3M	14254	104.3
D	13	D	0.903	GARDCO - GCM-A02-830-T4M	2452	16.89
E	12	F	0.849	C4RN+C4L20930WZ10U+C4RDLCL	1922	18.63
F	5	G	0.903	GARDCO - GBS-A03-830-T3M	3570	24.6



Disclaimer: The lighting calculations shown on this plan are based on the project specifications provided. Actual measured values may differ from forecasted results due to tolerances in calculation methods, measurement techniques and varying conditions and improper or unadorned lamp burn-in procedures. Further, room dimensions, reflectance, furniture and architectural elements within the space may significantly affect calculations. Applicable lighting codes are not the responsibility of the calculator, and shall be the responsibility of the architect, owner, or owners representative, as applicable. Please refer to luminaire schedule for light fixture factor (LFF) values used in this calculation.

Project: LAKE ELSINORE RETAIL SITE
Specified by: TOM WONG
Prepared by: FORMAN & ASSOCIATES

Rev. #	Description	Rev. Date
R1		
R2		
R3		
R4		
R5		



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LIGHT FIXTURE SCHEDULE

Symbol	Letter	Quantity	Description	Material	Mounting	Finish
	A	13	STOREFRONT CYLINDER DOWNLIGHT, BRONZE FINISH	LED, 17W, 3000K	WALL MOUNT AT +/-10'-0" AFF.	GARDCO GEOFORM OR EQUAL
	B	5	GOOSE NECK ABOVE STOREFRONT	LED, 34W, 3000K	WALL MOUNT AT +/-10'-0" AFF.	GLOBALUX OR EQUAL
	C	12	4" RECESSED ROUND WITH 50 DEGREE CUTOFF	LED, 18.5W, 3000K	SOFFIT AND CANOPY CEILING	LIGHTOLIER CALCULITE OR EQUAL
	D	5	WALL PACK REAR SERVICE DOOR	LED, 25W, 3000K	ABV REAR SERVICE DOOR	GARDCO GEOFORM OR EQUAL

WALL LEGEND

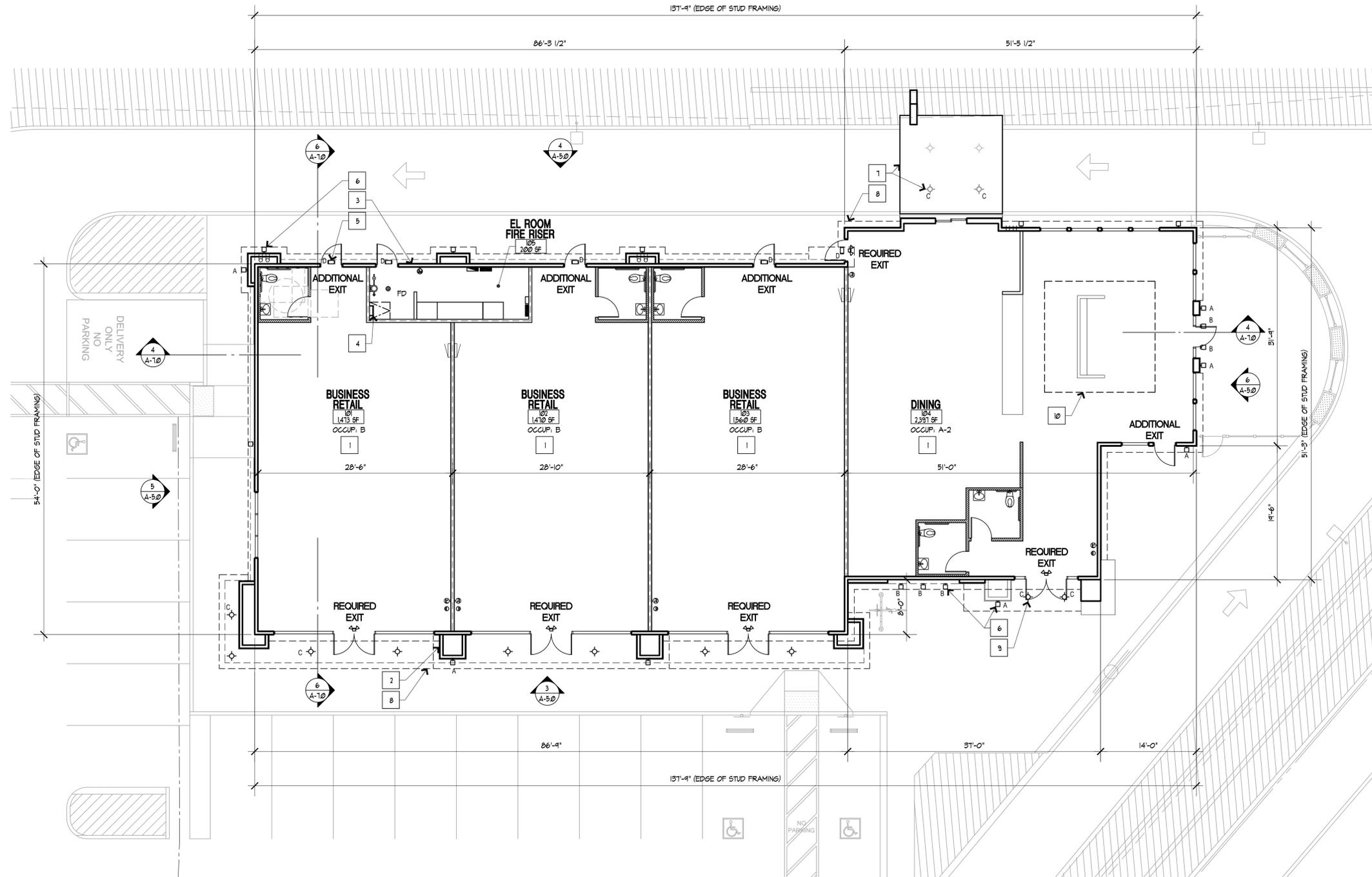
- STRUCTURAL AND OR SHEAR WALL
- ONE HOUR FIRE BARRIER OCCUPANCY SEPARATION
- INTERIOR PARTITION WALL
- DOOR
- CEILING MOUNTED ILLUMINATED EXIT AND EMERGENCY LIGHT COMBO UNIT WITH 90 MINUTE EMERGENCY BATTERY PACK BACKUP INVERTER
- TACTILE RESTROOM, ENTRANCE AND EXIT SIGNS
- LIGHT HAZARD FIRE EXTINGUISHER 2A10BC 5LB WITH CERTIFICATION TAGS ON WALL BRACKET PER 2022 CFC, MAX. COVERAGE AREA 5,000 SF AND 75 FEET MAX. TRAVEL DISTANCE PER EXTINGUISHER ELECTRICAL ROOMS: PROVIDE TYPE 3A40BC FIRE EXTINGUISHER
- ELECTRICAL PANEL LOCATION FOR EACH SUITE SHALL BE COORDINATED IN FIELD WITH OWNER PER TENANT'S PLANS
- TENANT FIRE NOTIFICATION DEVICE (HORN / STROBE) CONNECTED TO BUILDING FIRE MONITORING SYSTEM

KEYNOTES

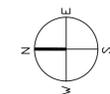
1. FUTURE TENANT IMPROVEMENT UNDER SEPARATE PERMIT
2. KNOX BOX WITH MASTER KEY FOR ALL TENANT SPACES
3. LOCK BOX FOR ACCESS TO UTILITY ROOM
4. ROOF LADDER ACCESS
5. SECURITY LIGHTING ABOVE SERVICE DOOR, TYP.
6. DECORATIVE WALL LIGHTS
7. METAL ROOF WITH RECESSED LIGHTING
8. PARAPET WALL ABOVE
9. RECESSED LIGHTING
10. SOFFIT CEILING ABOVE

PLUMBING FIXTURE CALCULATION

CPC 422.2 SINGLE USE RESTROOM SHALL BE PERMITTED IN BUSINESS OCCUPANCY WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS.



FLOOR PLAN - 7,220 SF



SCALE:
1/8"=1'-0"

1

SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
 19930 COLLIER AVE.
 LAKE ELSINORE, CA 92530

APN 389-200-031
 PA-2023-13

FLOOR PLAN
RETAIL BLDG.

REVISION:
 11/28/23
 PLANNING DEPT RESUBMITTAL

DATE MARCH 20, 2023

JOB NO. 22100
 SHEET:

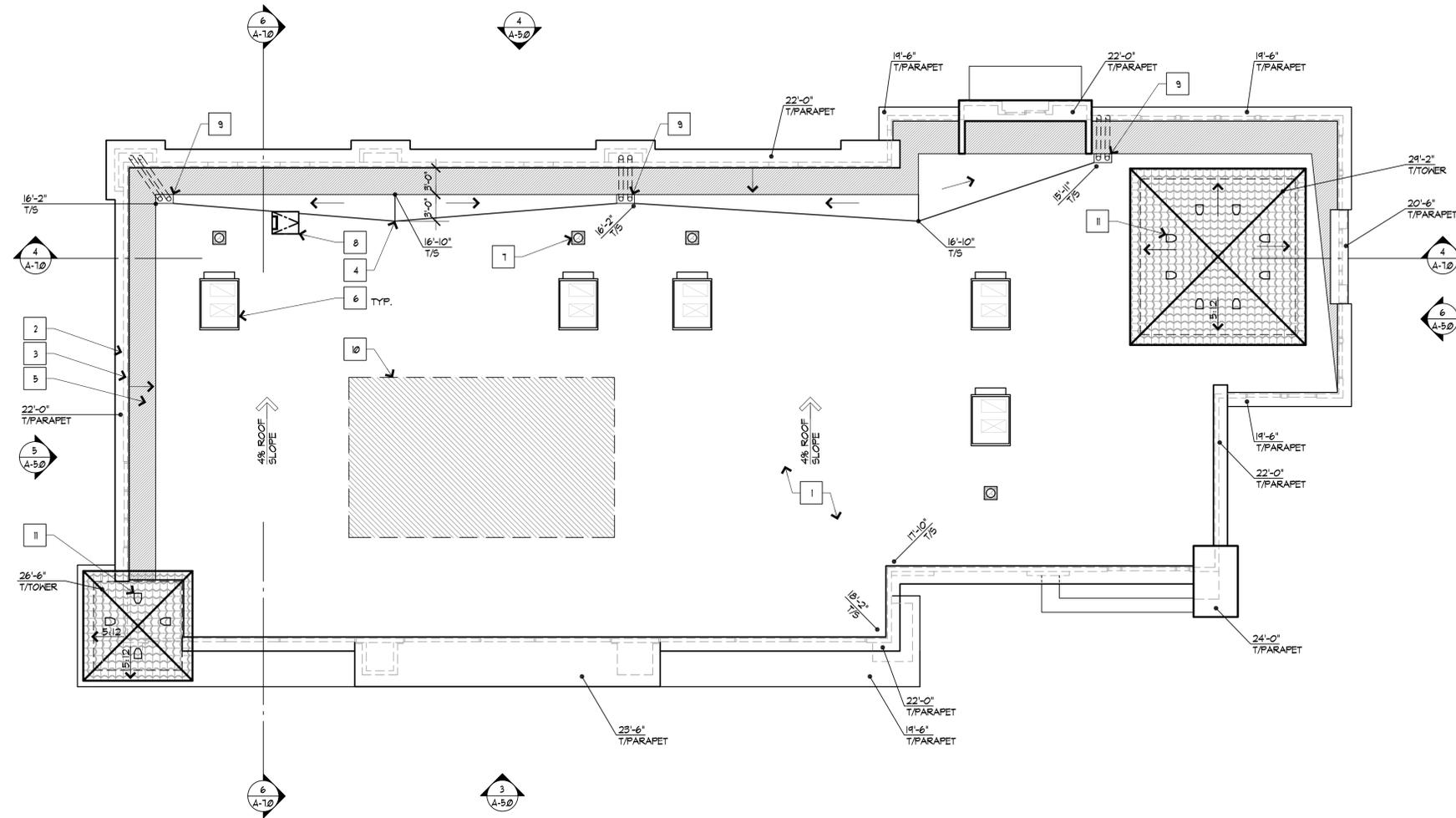
A-2.1
 OF SHEETS

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SOLAR PANEL CALCULATION				
#1	EQUATION SECTION 140.10 PV SYSTEM SIZE CHECK #1; SARA X 14WFT2			
SARA (SOLAR ROOF SF)	WFT2	K1	K2	
3500	14	49,000	49,00	
#2	EQUATION SECTION 140.10-A PV SYSTEM SIZE CHECK #2; (CFA X A)/1000			
CFA (AC FLOOR SF)	ZIP CODE	ZONE	A	K2
6,900	92530	10	1.03	7.11

X KEYNOTES ELEVATION
TOP OF SHEATHING

1. ROOF MEMBRANE, SINGLE-PLY ROOFING CLASS-A FIRE RESISTANCE AND HIGH WIND RESISTANCE
2. PARAPET WALL CORNICE
3. WALL BELOW TYPICAL
4. CRICKET, TYPICAL
5. STRUCTURAL DIAGONAL BRACED WALL AND BUILD UP CRICKET
6. HVAC UNIT, TYPICAL
7. RESTROOM EXHAUST FAN, 10 FT AWAY FROM ANY AIR INTAKE
8. ROOF ACCESS HATCH
9. ROOF DRAIN AND OVER FLOW DRAIN
10. SOLAR PV ZONE
- II. 5' STYLE VENT FOR TILE ROOFS



MM ARCHITECT SERVICES, INC.
planning • design • architecture
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Temecula, CA 92592
Tel: 949-351-5977

SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
19930 COLLIER AVE.
LAKE ELSINORE, CA 92530

APN 389-200-031
PA-2023-13

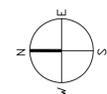
ROOF PLAN

REVISION:
11/28/23
PLANNING DEPT RESUBMITTAL

DATE MARCH 20, 2023

JOB NO. 22100
SHEET:

A-4.0
OF SHEETS



ROOF PLAN

SCALE:
1/8"=1'-0"

2

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1. CEMENT PLASTER WALL STUCCO FINISH
2. CEMENT PLASTER PARAPET CORNICE
3. PARAPET / WALL METAL COPING
4. 4" X 2" HORIZONTAL BAND, STUCCO OR STONE PER PLAN
5. 8" X 2" CURVED STUCCO BAND
6. DOUBLE V - 1/2" GALV STEEL CONTROL JOINT
7. 1" WIDE GALV STEEL CONTROL JOINT / REVEAL
8. CONCRETE ROOF TILE
9. MEMBRANE ROOFING OVER ROOF JOISTS, R=30 MIN. INSULATION
10. MECHANICAL ROOFTOP UNIT ON CURB FULLY SCREENED BEHIND PARAPET WALL
11. STAINLESS STEEL COUNTER AT DRIVE-THROUGH WINDOW
12. ALUMINUM WINDOW FRAME
13. METAL DOOR AND FRAME
14. METAL DECK ROOF
15. EXTERIOR AIR CURTAIN
16. DECORATIVE STUCCO MEDALLION
17. PRIMARY DOWNSPOUT IN WALL CAVITY, PROVIDE CONCRETE SPLASH BLOCK AT WALL / COLUMN BASE DAYLITE
18. SECONDARY OVERFLOW ROOF DRAIN IN WALL CAVITY
19. BUILDING SIGNAGE, SUBMITTED UNDER A SEPARATE PERMIT
22. EXTERIOR DECORATIVE DOWNLIGHT FIXTURE
23. STREET BUILDING ADDRESS VISIBLE FROM STREET AND NOT OBSTRUCTED IN ANY MANNER. PERMANENT COMMERCIAL / INDUSTRIAL THREE-DIMENSIONAL STREET NUMBERS MIN. 12" HIGH WITH 0.5 STROKE.

	A	DUNN-EDWARDS 5280 STILL MORNING LIGHT COLOR: BODY
	B	DUNN-EDWARDS IT20 ALMOND LATE MEDIUM COLOR: BASE AND PARAPET
	C	DUNN-EDWARDS 5258 BURNT ALMOND DARK ACCENT COLOR: ACCENT AND TOWER WALLS
	D	DUNN-EDWARDS 6342 MINK DARK ACCENT COLOR: BAND AND TRIMS, PARAPET CAP, METAL ROOF
	E	CONCRETE ROOF TILE EAGLE ROOFING, PROFILE CAPISTRANO COLOR 3526 VALENCIA
	F	METAL PANEL CLADDING DARK BROWN TO MATCH DE6342 MINK
	G	STONE VENEER VERSETTA, TIGHT-CUT STYLE, COLOR PLUM CREEK
	H	ALUMINUM STOREFRONT, COLOR BLACK
	J	1" INSULATED CLEAR VISION GLAZING

ALL SIGNS SHALL COMPLY WITH LEMC 11.196.180 AND SHALL BE SUBMITTED AND APPROVED UNDER SEPARATE PERMIT BY SIGN CONTRACTOR. ALL FREESTANDING SIGNS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY PLANNING COMMISSION SUBJECT TO PROVISIONS OF LEMC 11.415.050



SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
19930 COLLIER AVE.
LAKE ELSINORE, CA 92530
APN 389-200-031
PA-2023-13

EXTERIOR ELEVATIONS

REVISION:
11/28/23
PLANNING DEPT RESUBMITAL

DATE MARCH 20, 2023

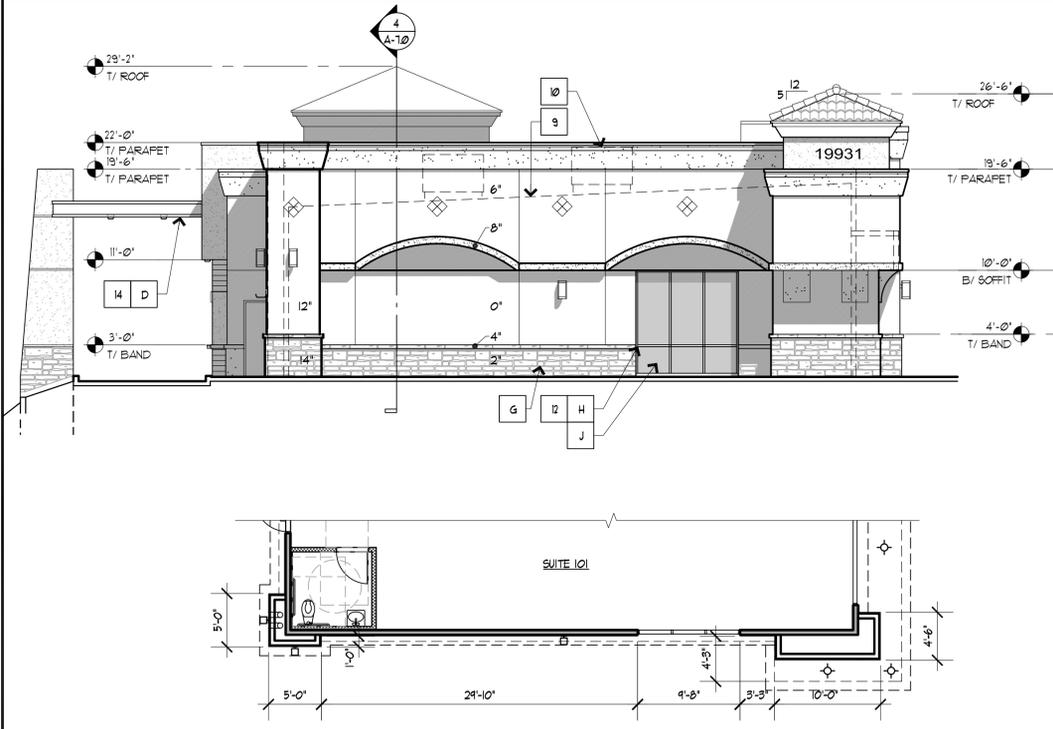
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SHEET:
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OF SHEETS

EXTERIOR ELEVATION NOTES

DIMENSIONS ON THIS SHEET ARE FINISH TO FINISH U.N.O.

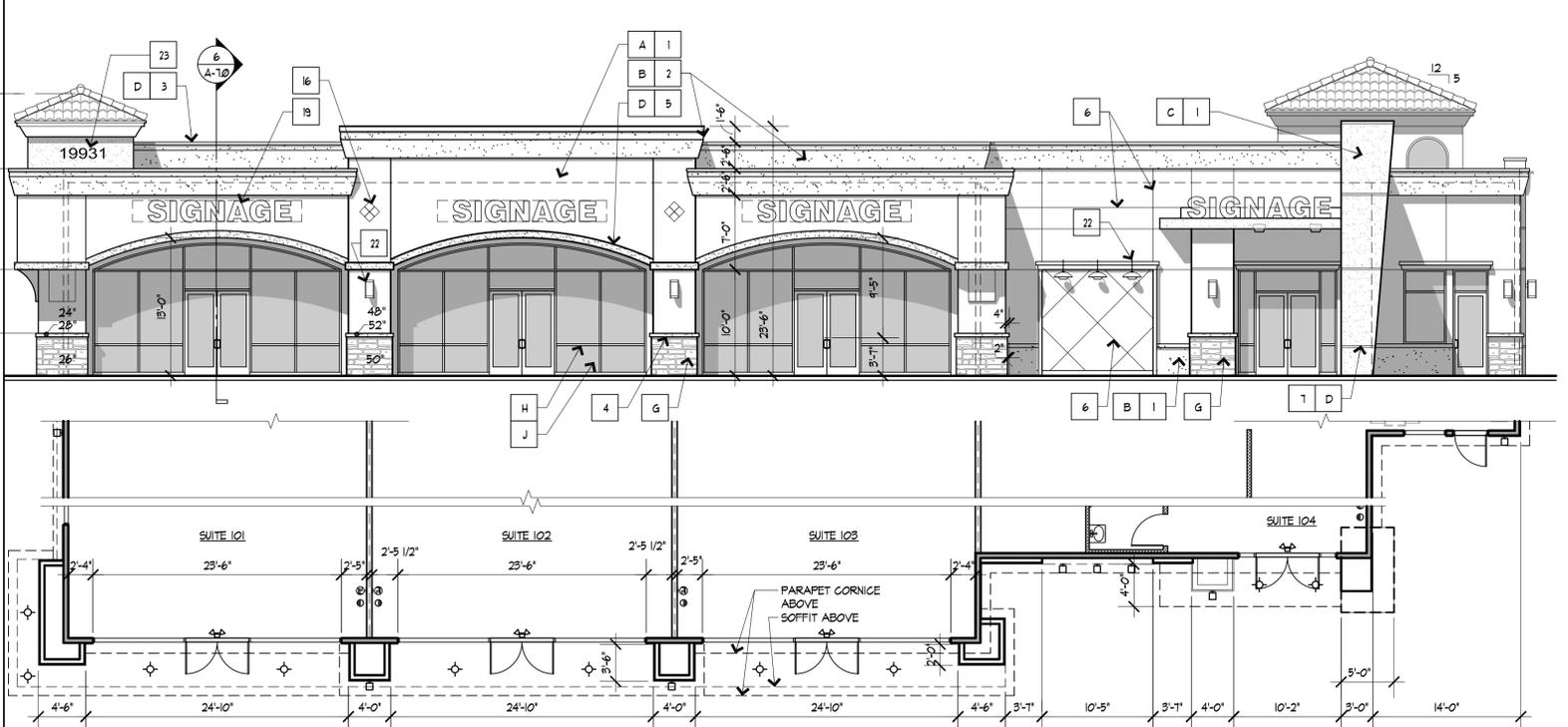
ELEVATION FINISHES

SCALE: N.T.S. 1



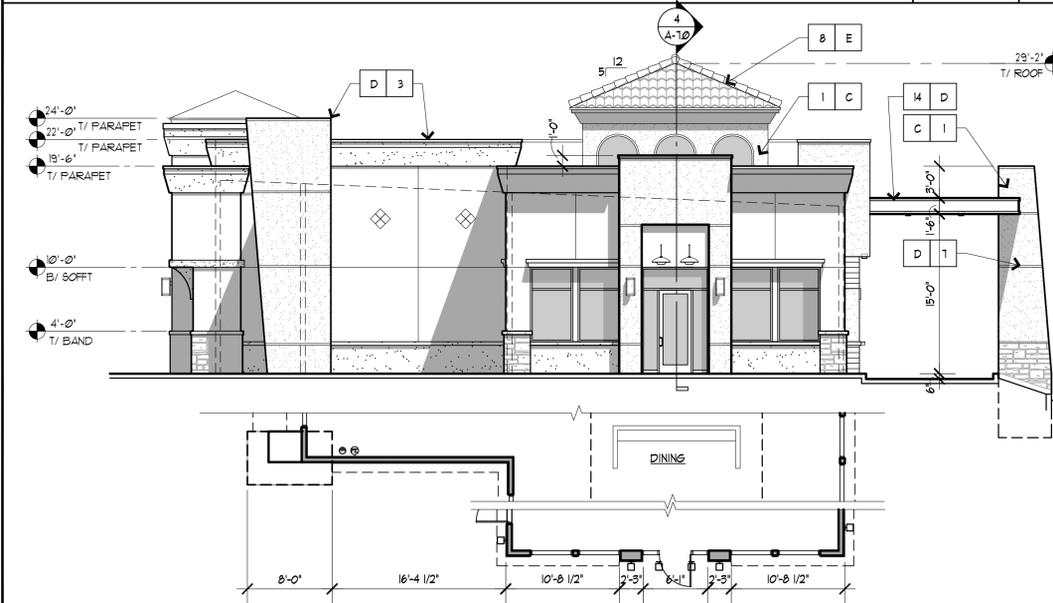
NORTH ELEVATION

SCALE: 1/8"=1'-0" 5



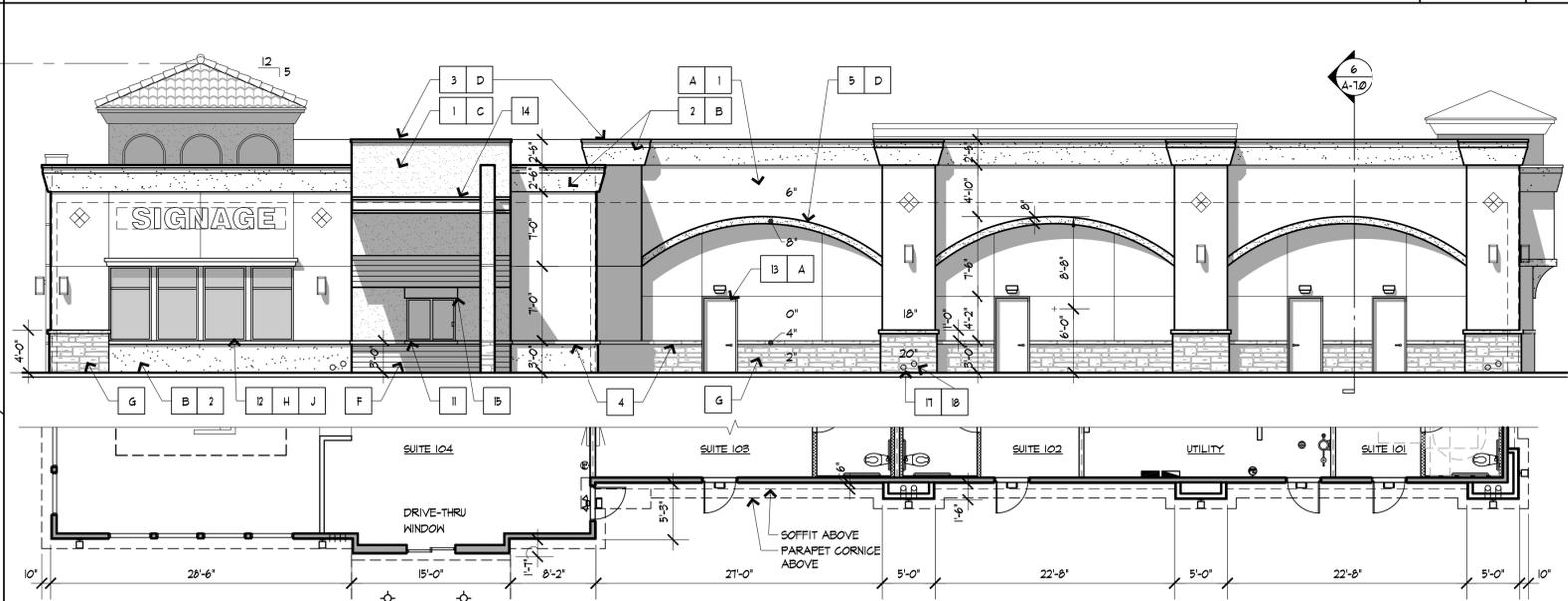
WEST ELEVATION

SCALE: 1/8"=1'-0" 3



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 6



EAST ELEVATION (FWY FACING)

SCALE: 1/8"=1'-0" 4



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SITE DEVELOPMENT
LAKE ELSINORE RETAIL SHOPS
 19930 COLLIER AVE.
 LAKE ELSINORE, CA 92530

APN 389-200-031
 PA-2023-13

BUILDING SECTIONS

REVISION:
 11/28/23
 PLANNING DEPT RESUBMITTAL

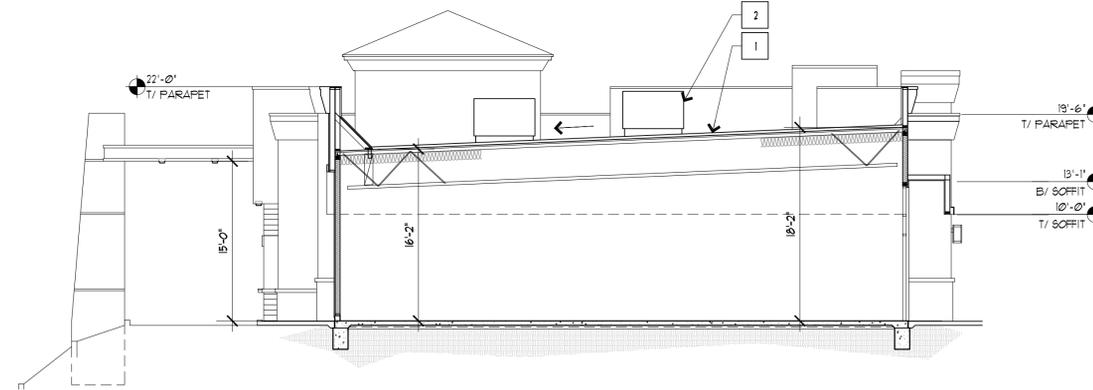
DATE MARCH 20, 2023

JOB NO. 22100
 SHEET:

A-7.0
 OF SHEETS

KEYNOTES

1. ROOF MEMBRANE, SINGLE-PLY ROOFING CLASS-A FIRE RESISTANCE AND HIGH WIND RESISTANCE
2. HVAC MECHANICAL EQUIPMENT, TYPICAL, SCREENED BEHIND PARAPET WALLS



SECTION

SCALE:
1/4"=1'-0"

18

BUILDING SECTION

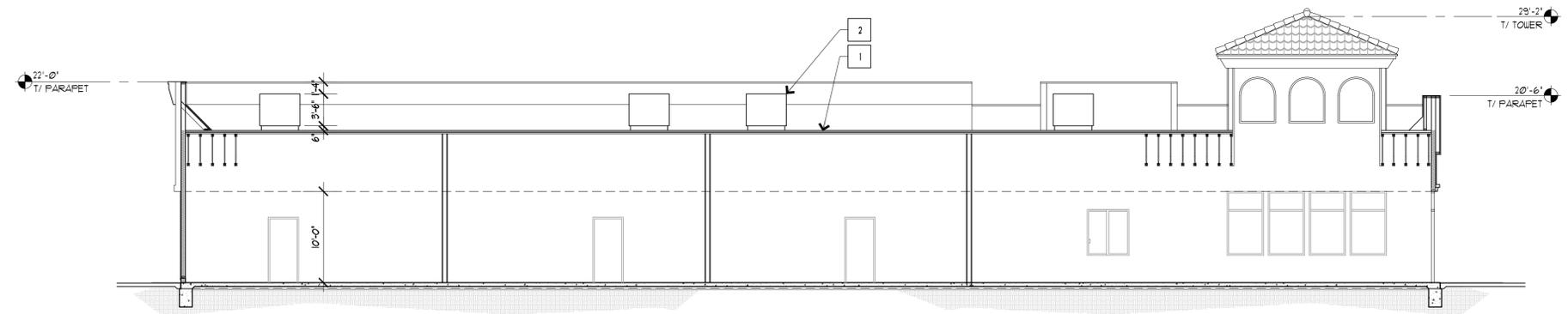
SCALE:
1/8"=1'-0"

6

KEYNOTES

SCALE:
NONE

2



SECTION

SCALE:
1/4"=1'-0"

20

LONGITUDINAL BUILDING SECTION

SCALE:
1/8"=1'-0"

4

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ENTRY MONUMENT ENLARGEMENT
SCALE: 1" = 10'

SHRUBS	BOTANICAL / COMMON NAME
	AGAVE ATTENUATA FOXTAIL AGAVE
	AGAVE X 'SHARKSKIN' SHARKSKIN AGAVE
	DIANELLA TASMANICA 'SILVER STREAK' SILVER STREAK FLAX LILY
	DIETES GRANDIFLORA 'VARIEGATA' STRIPED FORTNIGHT LILY
	HESPERALOE PARVIFLORA RED YUCCA
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	MYRTUS COMMUNIS 'COMPACTA' DWARF COMMON MYRTLE
	ROSA SPP. 'ICEBERG' ICEBERG ROSE
	ROSA X 'NOARE' FLOWER CARPET® RED GROUNDCOVER ROSE
GROUND COVERS	BOTANICAL / COMMON NAME
	JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA
	MYOPORUM PARVIFOLIUM 'PINK' PINK TRAILING MYOPORUM
	ROSMARINUS OFFICINALIS 'LOCKWOOD DE FOREST' LOCKWOOD DWARF ROSEMARY

CONCEPT STATEMENT

LANDSCAPE CONCEPT:
This landscape will consist of climate adaptive and appropriate, low and moderate water use planting categories as described by the WUCOLS system. Plant material has been chosen to provide site wide coverage, parking shade, and to accentuate the entry into the site. A mixture of California climate-appropriate and drought-tolerant plant species have been selected to compliment the architecture and provide aesthetic interest. Maintenance and longevity of the plant material has been taken into consideration. Root panels and barriers will be provided on all trees necessary, consistent with all standards and specifications. A 3" layer of bark mulch will be used in all landscape areas. All landscape areas will conform to current City of Lake Elsinore landscape guidelines.

IRRIGATION CONCEPT:
The irrigation design will incorporate the latest in smart irrigation technologies. All new planter areas will include drip line. All planters will use drip line with an irrigation efficiency of .81. A smart irrigation controller with a rain shut off device will also be incorporated. Bark mulch will be used to retain moisture and reduce evaporation, and an irrigation schedule will be provided to program the controller. Two irrigation schedules shall be prepared, one for plant establishment and one for after plant establishment. All new irrigation systems will comply with all current City of Lake Elsinore guidelines.

LEGEND

- FREESTANDING MONUMENT SIGN LOCATED FIVE FEET FROM ANY PROPERTY LINE
- PROPOSED TERRACE WALLS, 6 FEET HIGH MAX.
- PERMEABLE PAVING
- ADJACENT PARKING LOT
- PROPOSED TRANSFORMER ENCLOSURE
- FREWAY IDENTIFICATION SIGN, 45 FEET MAX. HEIGHT
- TRASH ENCLOSURE
- EV VAN ACCESSIBLE AND REGULAR EV CHARGING SPACES
- 12' X 20' LOADING PARKING STALL
- ORDER BOARD
- BICYCLE PARKING RACK, 5% OF REQUIRED PARKING SPACES
- EXISTING GAS STATION FREESTANDING SIGN
- FIRE APPARATUS ACCESS
- OUTDOOR EATING AREA

WATER EFFICIENT LANDSCAPE WORKSHEET							
PROJECT:	Collier Commercial Site	DATE:	8/8/2023				
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.							
Reference Evapotranspiration (Eto)			48.9				
Conversion Factor			0.62				
Hydrozone # / Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)°	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)†
Regular Landscape Areas							
Trees	0.5	Bubblers	0.75	0.67	459	306	9,277
Low Water Use Plantings	0.2	Drip	0.81	0.25	12545	3098	93,911
Moderate Water Use Plantings	0.5	Drip	0.81	0.62	3764	2323	70,443
TOTALS					16,768	5727	173,631
Special Landscape Areas							
Turf areas				1	0	0	0
park							
Irrigated w/ recycled water				1	0	0	0
Water features				1	0	0	0
TOTALS					0	0	0
						ETWU Total	173,631
						Maximum Allowed Water Allowance (MAWA)*	228,768

TREE SCHEDULE				
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	REMARKS
	CERCIDIMUM X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	24" BOX	L	STANDARD
	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL	L	STANDARD
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' TUSCARORA CRAPE MYRTLE	36" BOX	M	MULTI
	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	15 GAL	M	STANDARD
	TRISTANIA CONFERTA BRISBANE BOX	24" BOX	M	STANDARD
EXISTING TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	REMARKS
	EXISTING PALM TO REMAIN	-		

	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	1 GAL	L
	SALVIA GREGGII AUTUMN SAGE	5 GAL	L
	SALVIA LEUCANTHA MEXICAN BUSH SAGE	5 GAL	L
	WESTRINGIA FRUTICOSA 'BLUE GEM' BLUE GEM COASTAL ROSEMARY	5 GAL	L
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	CAREX TUMULICOLA FOOTHILL SEDGE	1 GAL @ 24" O.C.	L
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL @ 36" O.C.	L
	MYOPORUM PARVIFOLIUM 'PINK' PINK TRAILING MYOPORUM	1 GAL @ 36" O.C.	L
	ROSMARINUS OFFICINALIS 'LOCKWOOD DE FOREST' LOCKWOOD DWARF ROSEMARY	1 GAL @ 48" O.C.	L
	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL @ 30" O.C.	L

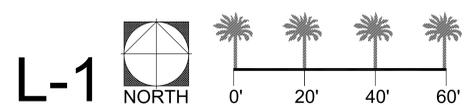
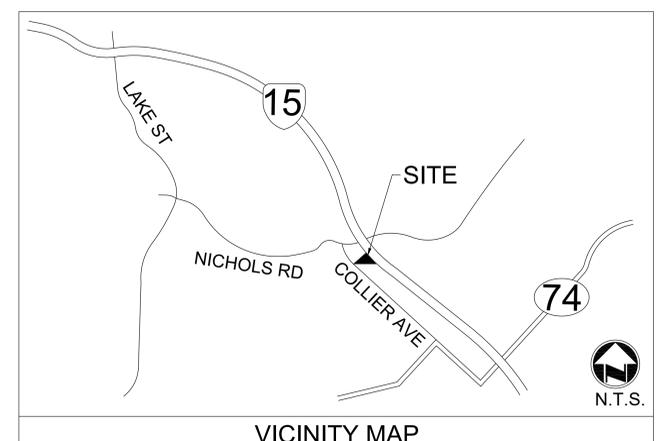
MODERATE WATER USE PLANTING SCHEDULE			
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	DIANELLA TASMANICA 'SILVER STREAK' SILVER STREAK FLAX LILY	5 GAL	M
	DIETES GRANDIFLORA 'VARIEGATA' STRIPED FORTNIGHT LILY	5 GAL	M
	MYRTUS COMMUNIS 'COMPACTA' DWARF COMMON MYRTLE	5 GAL	M
	ROSA SPP. 'ICEBERG' ICEBERG ROSE	5 GAL	M
	ROSA X 'NOARE' FLOWER CARPET® RED GROUNDCOVER ROSE	5 GAL	M
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER	1 GAL @ 48" O.C.	M

LOW WATER USE PLANTING SCHEDULE			
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL	L
	AGAVE X 'SHARKSKIN' SHARKSKIN AGAVE	5 GAL	L
	CALLISTEMON VIMINALIS 'LITTLE JOHN' LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL	L
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	L



TERRACE WALL IMAGERY

GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER	1 GAL @ 48" O.C.	M



COLLIER ROAD COMMERCIAL SITE

CITY OF LAKE ELSINORE

CONCEPTUAL GRADING PLAN

FOR
 19930 COLLIER AVE, CITY OF LAKE ELSINORE,
 CA 92530
 APN 389-200-030, 031 & 032



VICINITY MAP
 NOT TO SCALE

SHEET INDEX

TITLE SHEET	C-1
CONCEPTUAL GRADING PLAN	C-2
SECTION AND DETAILS	C-3
EROSION CONTROL PLAN	C-4

ARCHITECT
 MM ARCHITECT SERVICES, INC
 33195 FOX ROAD
 TEMECULA, CA 92592
 PHONE: 949-351-5977

CIVIL ENGINEER
 CORE CIVIL ENGINEERING, INC.
 23172 PLAZA POINTE DRIVE, SUITE #145
 LAGUNA HILLS, CA 92653
 PHONE: 949-954-7244

SURVEYOR
 DELTA SURVEYING AND MAPPING
 28101 SYCAMORE MESA RD TEMECULA CA 92590
 PHONE: 951-764-0158
 FAX: 951-816-3235

LEGAL DESCRIPTION
 PARCELS 2 AND 3 OF PARCEL MAP NO. 28524
 P.M.B 190/30-31

BASIS OF BEARINGS
 BASIS OF BEARING: THIS IS NOT A BOUNDARY SURVEY. BOUNDARY SHOWN HEREIN IS COMPILED FROM FOUND MONUMENTS AND AVAILABLE PUBLIC RECORDS.

EARTH WORK QUANTITY

CUT	742	C.Y.
FILL	2643	C.Y.
IMPORT	1901	C.Y.
EXPORT	0	C.Y.
LOT SIZE:	60,984	SQ-FT
EXISTING IMPERVIOUS AREA:	4,314	SQ-FT
PROPOSED IMPERVIOUS AREA:	20,581	SQ-FT
TOTAL IMPERVIOUS AREA:	24,895	SQ-FT

NOTE:
 QUANTITIES SHOWN HERE ON ARE FOR PERMIT AND/OR BONDING PURPOSE ONLY.

GRADING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE ELSINORE MUNICIPAL CODE, CHAPTER 15.72 AND APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE (U.B.C.), CHAPTER 33.
- A PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT, CITY OF LAKE ELSINORE, PRIOR TO ANY OPERATIONS.
- THE DEVELOPER AND/OR THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND U.S.A. ALERT (1800-422-4133) FORTY-EIGHT (48) HOURS PRIOR TO GRADING.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF BEGINNING GRADING OPERATIONS.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, AND SHALL BE SHOWN ON THE PLAN.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, SHALL BE SHOWN ON PLAN, AND SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY THE MODIFIED THREE (3) LAYER A.S.T.M. D-1557-70 TEST METHOD.
- FILL AREAS SHALL BE CLEANED OF ALL VEGETATION AND DEBRIS, SCARIFIED, AND INSPECTED BY THE GRADING INSPECTOR AND APPROVED SOILS TESTING AGENCY PRIOR TO THE PLACING OF FILL.
- ALL FILL MATERIAL SHALL BE CLEAN EARTH. NO FILL SHALL BE PLACED UNTIL PREPARATION OF GROUND IS APPROVED BY THE SOILS ENGINEER.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" PER FOOT FOR A MINIMUM OF THREE (3) FEET, THEN 1% (MINIMUM) TO FLOW LINE OF EARTH SWALE.
- MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OR FILL SLOPE IS LESS THAN TEN FEET (10'), AND 2% IF CUT OR FILL IS GREATER THAN TEN FEET (10'). DRAINAGE SWALES SHALL BE A MINIMUM OF 0.5' DEEP AND CONSTRUCTED A MINIMUM OF TWO FEET (2') FROM THE TOP OF CUT OR FILL SLOPES.
- PROVIDE 5' WIDE BY 1' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH.
- PROVIDE A BROW DITCH, DESIGNED TO HANDLE ONE HUNDRED (100) YEAR STORM FLOWS ALONG THE TOP OF CUT SLOPES.
- NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.
- A SOILS ENGINEER SHALL BE RETAINED BY THE DEVELOPER, TO SUPERVISE GRADING AND PROVIDE A FINAL SOILS REPORT WHICH INCLUDES FOUNDATION REQUIREMENTS (SUBDIVISIONS) AND EXPANSIVE CHARACTERISTICS OF THE SOIL.
- GRADING CERTIFICATION BY THE DEVELOPER'S CIVIL ENGINEER AND A FINAL COMPACTION REPORT BY A SOILS ENGINEER SHALL BE SUBMITTED TO THE BUILDING AND ENGINEERING DEPARTMENTS PRIOR TO ISSUANCE OF BUILDING PERMITS.
- THE SOILS ENGINEERING INVESTIGATION DATED _____ PREPARED BY (ENGINEER CONSULTANT) DATED _____ AND THE ENGINEERING GEOLOGIC INVESTIGATION DATED _____ PREPARED BY (GEOLOGIC CONSULTANT), SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE IN COMPLIANCE.
- A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION, WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN, IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- STABILITY CALCULATIONS WITH A SAFETY FACTOR OF AT LEAST 1.5 SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND ENGINEERING DEPARTMENTS FOR CUT AND FILL SLOPES OVER THIRTY FEET (30') IN VERTICAL HEIGHT.
- A FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN ONE (1) FOOT.
- IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A REGISTERED SOILS ENGINEER PRIOR TO PLACEMENT OF FILL MATERIAL. SLOPES GREATER THAN 5:1 ARE REQUIRED TO BE KEYED AND BENCHED.
- THE SOILS ENGINEER SHOULD INSPECT THE CONSTRUCTION IN THE FOLLOWING STAGES:
 - UPON COMPLETION OF CLEARING AND DURING EXCAVATION AND BEFORE BACKFILL OF ALLUVIAL, COLLUVIAL AND TERRACED AREAS AND ANY SUBSTRUCTURES.
 - DURING ALL ROUGH GRADING AND OPERATIONS INCLUDING PRE-COMPACTION, BENCHING AND FILLING OPERATIONS.
 - DURING INSTALLATION OF BUTTRESS AND CANYON SUB-DRAINS AND FILTER MATERIAL.
 - WHEN ANY UNUSUAL GRADING CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.

- EROSION CONTROL: ALL GRADED SLOPES SHALL BE PLANTED WITH ROSEA ICE PLANT OR ANOTHER APPROVED GROUND COVER, AT TWELVE INCHES (12") ON CENTER. SLOPES OVER FIFTEEN FEET (15') IN VERTICAL HEIGHT, IN ADDITION TO GROUND COVER, SHALL BE PLANTED WITH APPROVED TREES, SHRUBS OR COMBINATION THEREOF. SHRUBS SHALL BE PLANTED AT TEN FEET (10') ON CENTER; TREES AT TWENTY FEET (20') ON CENTER; COMBINATIONS FIFTEEN FEET (15') ON CENTER. SLOPES OVER THREE FEET (3') IN VERTICAL HEIGHT SHALL HAVE PERMANENT IRRIGATION SYSTEMS WITH BACKFLOW PREVENTION DEVICES PER U.B.C.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- APPROVED EROSION PREVENTIVE DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- ALL WORK SHALL CONFORM TO THE CITY AND STATE CONSTRUCTION SAFETY ORDERS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- AN APPROVED SET OF GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIME.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATION.
- ALL SLOPES SHALL BE PLANTED AND IRRIGATION FACILITIES SHALL BE PROVIDED FOR ALL SLOPES IN EXCESS OF THREE (3) FEET VERTICAL HEIGHT WITHIN NINETY (90) DAYS AFTER COMPLETION OF ROUGH GRADING AND SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE GRADING ORDINANCE NO. 882 PRIOR TO THE APPROVAL OF FINAL INSPECTION.
- ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE (1) BLUE TOP PER FINISHED PAD, PRIOR TO ROUGH GRADE APPROVAL.
- APPROXIMATE DATE OF: _____
 BEGINNING OPERATION: _____
 COMPLETION: _____
- NO ROCK OR OTHER IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN THREE INCHES (3") WILL BE PLACED IN FILLS WITHIN ROADBED AREAS OR THREE FEET (3') OF FINISH GRADES, UNLESS THE LOCATION, MATERIALS, AND DISPOSAL METHODS ARE SPECIFICALLY APPROVED BY THE SOILS ENGINEER.
- THE ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OBTAIN INSPECTION BEFORE APPROVAL.
- GRADING PLANS WILL NOT BE APPROVED UNTIL ALL RETAINING WALLS ARE APPROVED BY THE BUILDING DEPARTMENT.
- THIS SITE HAS OBTAINED A NATIONAL POLLUTION PREVENTION ELIMINATION SYSTEM (NPDES) PERMIT TO REGULATE MUNICIPAL AND INDUSTRIAL STORM WATER DISCHARGES.
 NPDES WVID # _____ DATE PERMIT ISSUED: _____
- DRAINAGE EASEMENTS WILL BE KEPT CLEAR OF ALL OBSTRUCTIONS. NO BUILDINGS OR WALLS SHALL BE PLACED WITHIN EASEMENT LIMITS. TEMPORARY IMPROVEMENTS ARE SUBJECT TO REMOVAL AT OWNER'S EXPENSE

EROSION CONTROL

- ALL EROSION CONTROL PLANS SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE ORDINANCE NOS. 529, 772, 1237, 1004, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S), AND STANDARDS OUTLINED WITHIN THE LAKE ELSINORE DESIGN MANUAL.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ANY DISCHARGES BY SUBCONTRACTORS.
- IN CASE OF EMERGENCY, CALL _____ (RESPONSIBLE PERSON) AT _____ (24-HOUR PHONE NUMBER).
- DEVICES TO REDUCE EROSION DAMAGE SHALL NOT BE PLACED MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE QUALIFIED SWPPP DEVELOPER, CITY ENGINEER, OR IN AN EMERGENCY, BY THE PERSON RESPONSIBLE FOR GRADING OPERATIONS.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, GRADED SLOPES EXCEEDING A 3:1 RATIO AND/OR TEN (10) FEET IN HEIGHT (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 7 DAYS. DURING THE STORM SEASON, ALL SLOPES SHALL BE STABILIZED 24 HOURS PRIOR TO A PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE AND WITHIN 7-DAYS OF COMPLETION.
- FILL SLOPES AT THE TRACT PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND HAVE SIGNS POSTED ON THE SITE TO WARN AGAINST PUBLIC TRESPASS INTO AREAS WHERE WATER IS IMPOUNDED.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.
- PLACEMENT OF DEVICES TO REDUCE EROSION DAMAGE WITHIN THE DEVELOPMENT SHALL BE SHOWN ON THE APPROVED PLAN.

NPDES NOTES

- FOR PROJECTS THAT REQUIRE COVERAGE UNDER THE GENERAL CONSTRUCTION PERMIT, THE PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THAT A QUALIFIED SWPPP PRACTITIONER (QSP) AND QUALIFIED SWPPP DEVELOPER (QSD) IMPLEMENT AND MAINTAIN THE SWPPP-APPROVED, PRE-QUALIFIED BMP'S FROM THE CALIFORNIA STORM WATER QUALITY ASSOCIATION (CASQA) HANDBOOK / WEBSITE FOR CONSTRUCTION TO RETAIN SEDIMENTS AND POLLUTANTS OF CONCERN FROM AREAS DISTURBED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE DURING ANY PHASE OF CONSTRUCTION OPERATIONS. FOR ALL OTHER PROJECTS, THE PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THAT BMP'S FOR CONSTRUCTION ARE IMPLEMENTED TO RETAIN SEDIMENTS AND POLLUTANTS OF CONCERN FROM AREAS DISTURBED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE. THE EROSION CONTROL MEASURES INCLUDE THOSE SHOWN ON THIS PLAN AS WELL AS ANY ADDITIONAL EROSION CONTROL MEASURES DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF POLLUTANTS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION.

- FOR PROJECTS THAT REQUIRE COVERAGE UNDER THE GENERAL CONSTRUCTION PERMIT, THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF LAKE ELSINORE.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER (NON-STORM WATER) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT UNDER THE STATEWIDE GENERAL PERMIT - CONSTRUCTION ACTIVITY.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR THE LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPS FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- MATERIAL STORAGE AND STAGING AREAS SHALL BE ESTABLISHED. FUEL TANK, PORTABLE TOILETS, LIQUIDS, GELS AND POWDERS SHALL HAVE SECONDARY CONTAINMENT AND BE STORED AWAY FROM ALL PRIVATE / PUBLIC STORM WATER CONVEYANCE SYSTEMS, SIDEWALKS, RIGHTS-OF-WAYS AND FLOW-LINES.
- ALL PORTABLE MIXERS SHALL HAVE PLASTIC LINERS UNDERNEATH WITH GRAVEL BAGS PLACES ON THE DOWN-HILL SIDE OF THE LINERS TO CONTAIN DISCHARGES.
- CONTROLLED STREET WASHING WILL ONLY BE ALLOWED PRIOR TO THE APPLICATION OF ASPHALT SEAL COATS AND ONLY WHEN ALL PERTINENT DRAINAGE INLETS ARE PROTECTED.
- ALL CONSTRUCTION CONTACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMPS AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING NONCONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- STORM WATER RUNOFF SHALL NOT BE DIRECTED OVER ANY SLOPES WITHOUT PERMANENT DOWN DRAINS INSTALLED. EROSION AND SEDIMENT CONTROLS INCLUDING MAINTENANCE ARE REQUIRED ON ALL EXPOSED SLOPES UNTIL SUFFICIENT PERMANENT LANDSCAPING HAS BEEN ESTABLISHED. 100% SLOPE PROTECTION MUST BE IN PLACE PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- VEGETATION CLEARING AND BRUSHING ACTIVITIES SHALL NOT BE INITIATED DURING THE WET SEASON ON ANY SITES WHICH ARE NOT ADEQUATELY PROTECTED WITH DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL MEASURES.
- STOCKPILES OF SOIL SHALL BE PROPERLY SECURED WITH BMP'S TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING OR WIND. INACTIVE FOR A PERIOD OF 14 DAYS OR MORE SHALL BE COVERED; ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECASTED RAIN.
- FOR PROJECT REQUIRING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT, SPECIAL ATTENTION SHALL BE GIVEN TO PREPARATION AND INSTALLATION OF THE RAIN EVENT ACTION PLAN (REAP) AS REQUIRED BASED ON SITE RISK LEVEL OR AS MANDATED BY THE SANTA ANA REGIONAL BOARD NPDES PERMIT, GENERAL PERMIT - CONSTRUCTION ACTIVITIES.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN COVERED TRASH OR COVERED RECYCLE BINS.
- THIS SITE HAS OBTAINED A NATIONAL POLLUTION PREVENTION ELIMINATION SYSTEM (NPDES) PERMIT TO REGULATE MUNICIPAL AND INDUSTRIAL STORM WATER DISCHARGES.
 NPDES WVID # _____ DATE WVID ISSUED: _____
- THE UNDERSIGNED CIVIL ENGINEER, A QUALIFIED QSP AND/OR QSD WILL REVIEW PLACEMENT OF EROSION CONTROL AND INSURE THAT WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

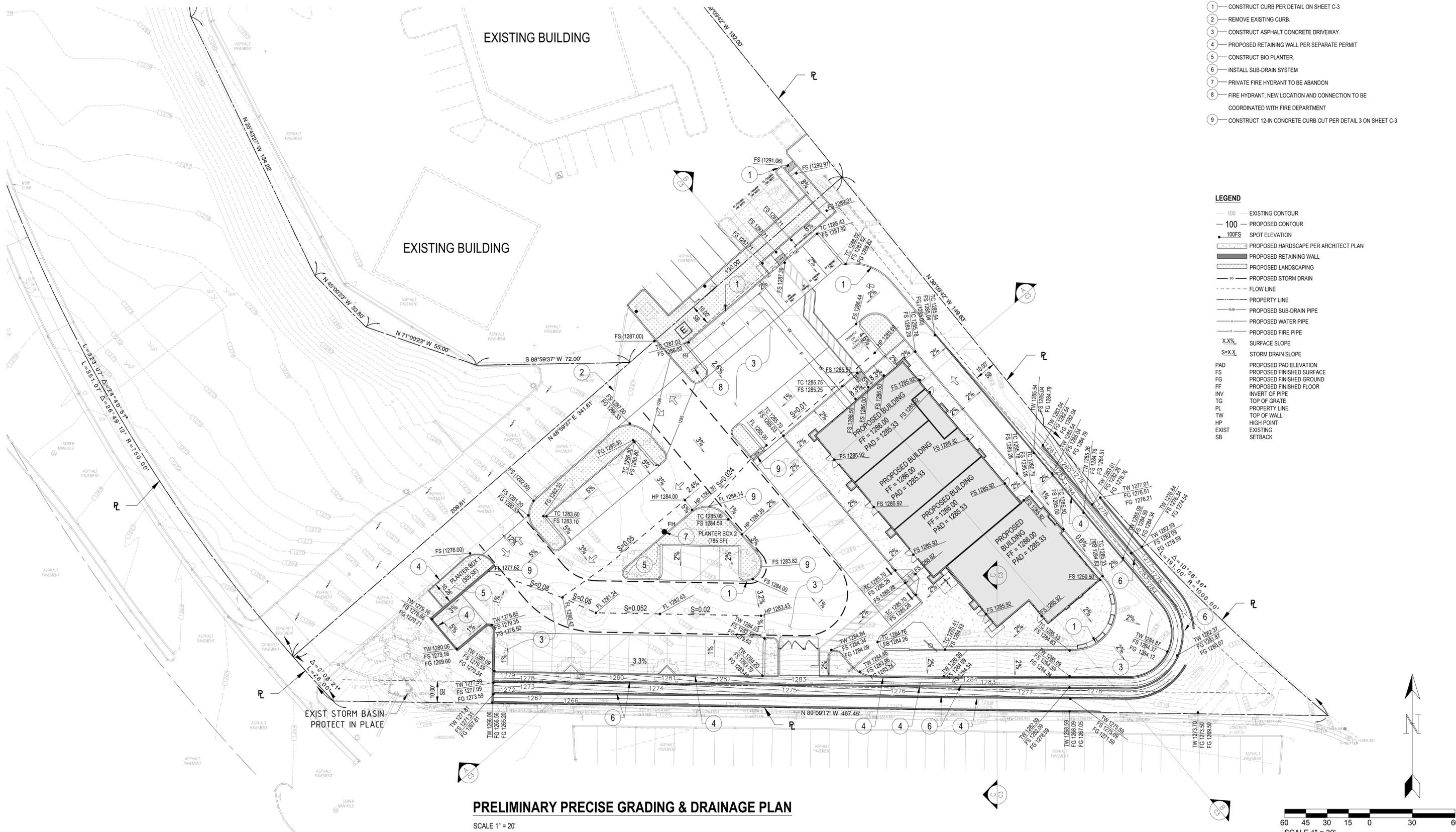
 (SIGNATURE) (RCE NO.) (EXP) (DATE)

Underground Service Alert

 Call: TOLL FREE
**1-800
 227-2600**
TWO WORKING DAYS BEFORE YOU DIG

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY: CORE Core Civil Engineering, Inc. 23172 Plaza Pointe Dr. Suite #145 Laguna Hills, CA 92653 Phone: 949-954-7244 info@corestructure.com www.corestructure.com	SEAL 	BENCH-MARK: DX3779 DESCRIBED BY CA DIV OF HIGHWAYS 1973 (RH) STATION IS IN NORTHWEST ELSINORE ON HILL 700 FT + OR - NORTH OF THE INTERSECTION OF POTTERY STREET AND SCRIVNER STREET EL=1463.3 FEET (NAVD88)	CITY OF LAKE ELSINORE	SHEET 1
							SCALE:	TITLE SHEET	4 OF SHEETS
							BENCH MARK:	19930 COLLIER, LAKE ELSINORE CA 92530	FILE No.
							DATE: 11/28/2023		

NOTE FOR CONSTRUCTION



- CONSTRUCTION NOTE**
- 1 — CONSTRUCT CURB PER DETAIL ON SHEET C-3
 - 2 — REMOVE EXISTING CURB.
 - 3 — CONSTRUCT ASPHALT CONCRETE DRIVEWAY.
 - 4 — PROPOSED RETAINING WALL PER SEPARATE PERMIT
 - 5 — CONSTRUCT BIO PLANTER.
 - 6 — INSTALL SUB-DRAIN SYSTEM
 - 7 — PRIVATE FIRE HYDRANT TO BE ABANDON
 - 8 — FIRE HYDRANT, NEW LOCATION AND CONNECTION TO BE COORDINATED WITH FIRE DEPARTMENT
 - 9 — CONSTRUCT 12-IN CONCRETE CURB CUT PER DETAIL 3 ON SHEET C-3

- LEGEND**
- 100 — EXISTING CONTOUR
 - 100 — PROPOSED CONTOUR
 - 100FS — SPOT ELEVATION
 - ▭ — PROPOSED HARDSCAPE PER ARCHITECT PLAN
 - ▭ — PROPOSED RETAINING WALL
 - ▭ — PROPOSED LANDSCAPING
 - 80 — PROPOSED STORM DRAIN
 - — FLOW LINE
 - — PROPERTY LINE
 - — PROPOSED SUB-DRAIN PIPE
 - — PROPOSED WATER PIPE
 - — PROPOSED FIRE PIPE
 - XX% — SURFACE SLOPE
 - S=XX — STORM DRAIN SLOPE
 - PAD — PROPOSED PAD ELEVATION
 - FS — PROPOSED FINISHED SURFACE
 - FG — PROPOSED FINISHED GROUND
 - FF — PROPOSED FINISHED FLOOR
 - INV — INVERT OF PIPE
 - TC — TOP OF CURB
 - PL — PROPERTY LINE
 - TW — TOP OF WALL
 - HP — HIGH POINT
 - EXIST — EXISTING
 - SB — SETBACK

PRELIMINARY PRECISE GRADING & DRAINAGE PLAN

SCALE 1" = 20'

SCALE 1" = 30'

MARK	REVISIONS	APPR.	DATE

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE

REMON HABIB, RCE No. 83156
CITY ENGINEER
CITY OF LAKE ELSINORE

DATE _____

PREPARED BY:

CORE Civil Engineering, Inc.
23172 Plaza Pointe Dr, Suite #145
Laguna Hills, CA 92653
Phone: 949-954-7244
info@corestructure.com
www.corestructure.com

AMIR DEIHIMI
R.C.E. C78194 EXP. 09/30/2025

DATE _____



BENCH-MARK: DX3779 DESCRIBED BY CA DIV OF HIGHWAYS 1973 (RH) STATION IS IN NORTHWEST ELSINORE ON HILL 700 FT + OR - NORTH OF THE INTERSECTION OF POTTERY STREET AND SCRIVNER STREET EL=1463.3 FEET (NAVD88)

SCALE: _____ BENCH MARK: _____

DATE: 11/28/2023

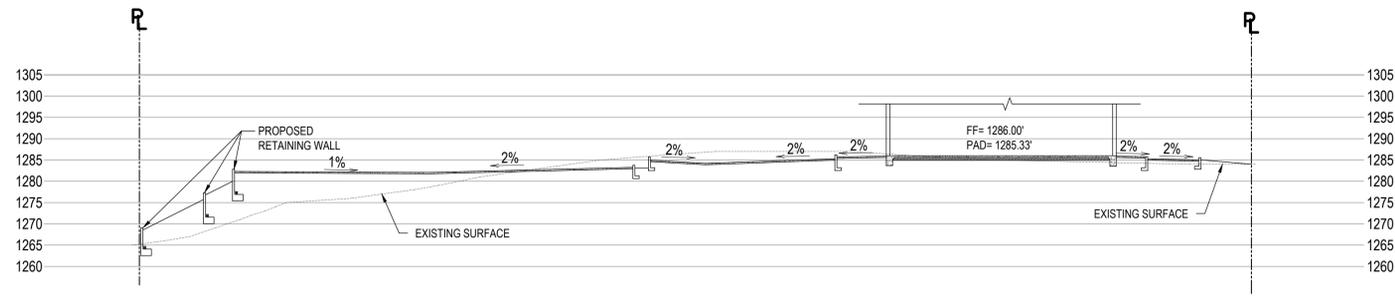
CITY OF LAKE ELSINORE

PRECISE GRADING & DRAINAGE PLAN

19930 COLLIER, LAKE ELSINORE
CA 92530

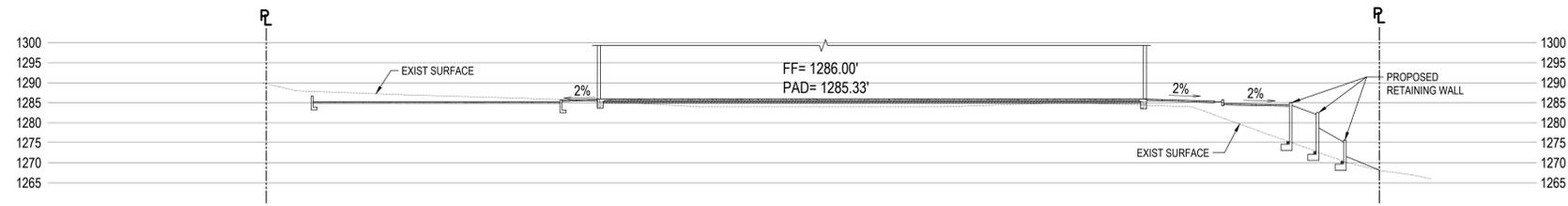
SHEET **2**
OF **4** SHEETS
FILE No. _____

NOTE FOR CONSTRUCTION



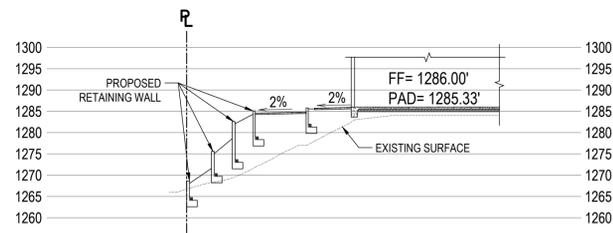
SECTION A-A

SCALE 1" = 20'



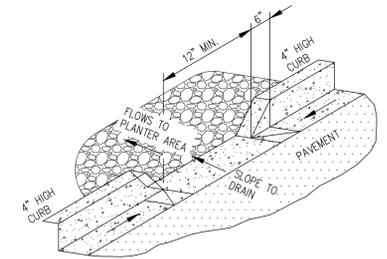
SECTION B-B

SCALE 1" = 20'

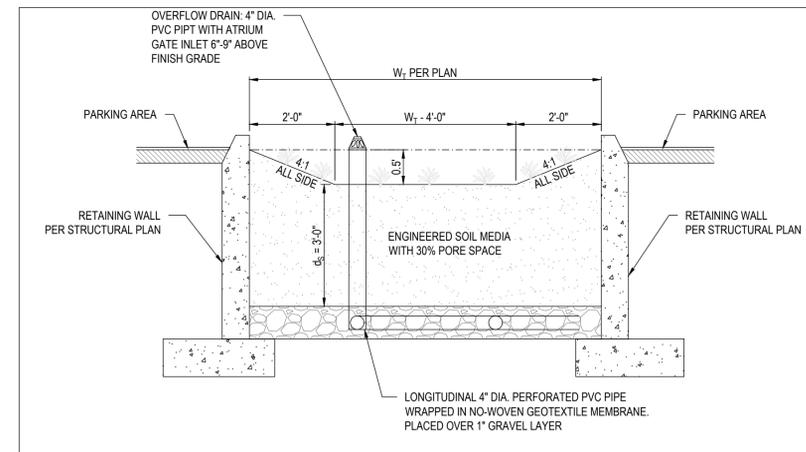


SECTION C-C

SCALE 1" = 20'



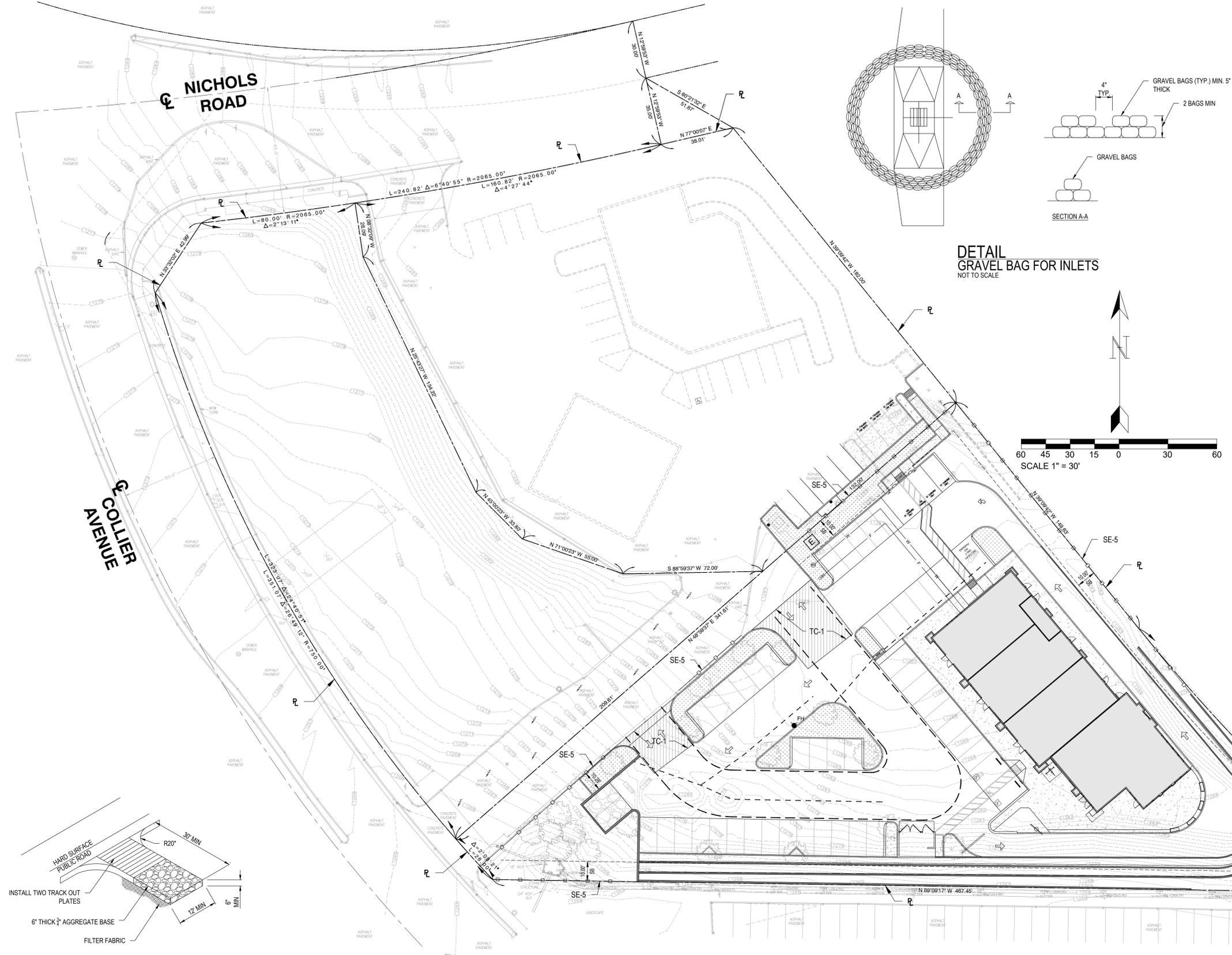
3 12-IN CONCRETE CURB CUT
NOT TO SCALE



2 PLANTER BOX
NOT TO SCALE

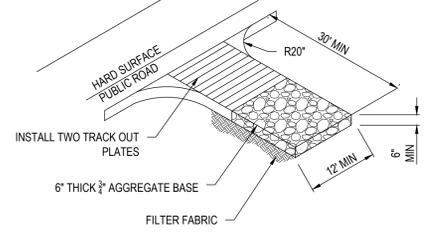
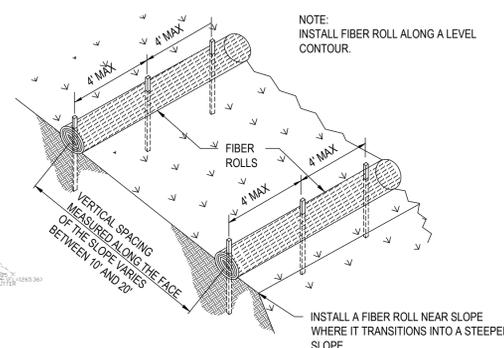
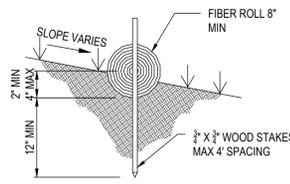
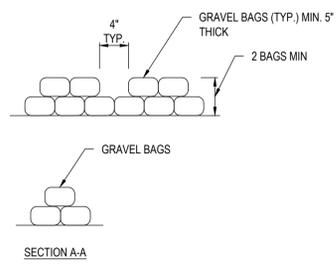
MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:	SEAL	BENCH-MARK: DX3779 DESCRIBED BY CA DIV OF HIGHWAYS 1973 (R4) STATION IS IN NORTHWEST ELSINORE ON HILL 700 FT + OR - NORTH OF THE INTERSECTION OF POTTERY STREET AND SCRIVNER STREET EL=1463.3 FEET (NAVD88)	CITY OF LAKE ELSINORE	SHEET 3
					Core Civil Engineering, Inc. 23172 Plaza Pointe Dr. Suite #145 Laguna Hills, CA 92653 Phone: 949-954-7244 info@corestructure.com www.corestructure.com		SCALE:	SECTION AND DETAILS	OF 4 SHEETS
							DATE: 11/28/2023		

NOTE FOR CONSTRUCTION



EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL		
SE-5	FIBER ROLLS	INSTALL WHERE SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS.
SE-10	STORM WATER INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.
WIND EROSION CONTROL BMPs		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	RUMBLE RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET.
NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRADING OPERATIONS	APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE.
NS-6	ILLCIT CONNECTION / ILLEGAL DISCHARGE	CONTRACTOR SHALL REPORT ILLCIT CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NO FURTHER ACTION UNTIL THE RESIDENT ENGINEER PROVIDE A RESPONSE!
NS-7	POTABLE WATER / IRRIGATION	EXCISE CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES.
NS-8	VEHICLE AND EQUIPMENT CLEANING	ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9	VEHICLE AND EQUIPMENT FUELING	ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE	ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL DELIVERY AND STORAGE	MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3	STOCKPILE MANAGEMENT	MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-9	SANITARY / SEPTIC WASTE MANAGEMENT	ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

DETAIL GRAVEL BAG FOR INLETS
NOT TO SCALE



DETAIL STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

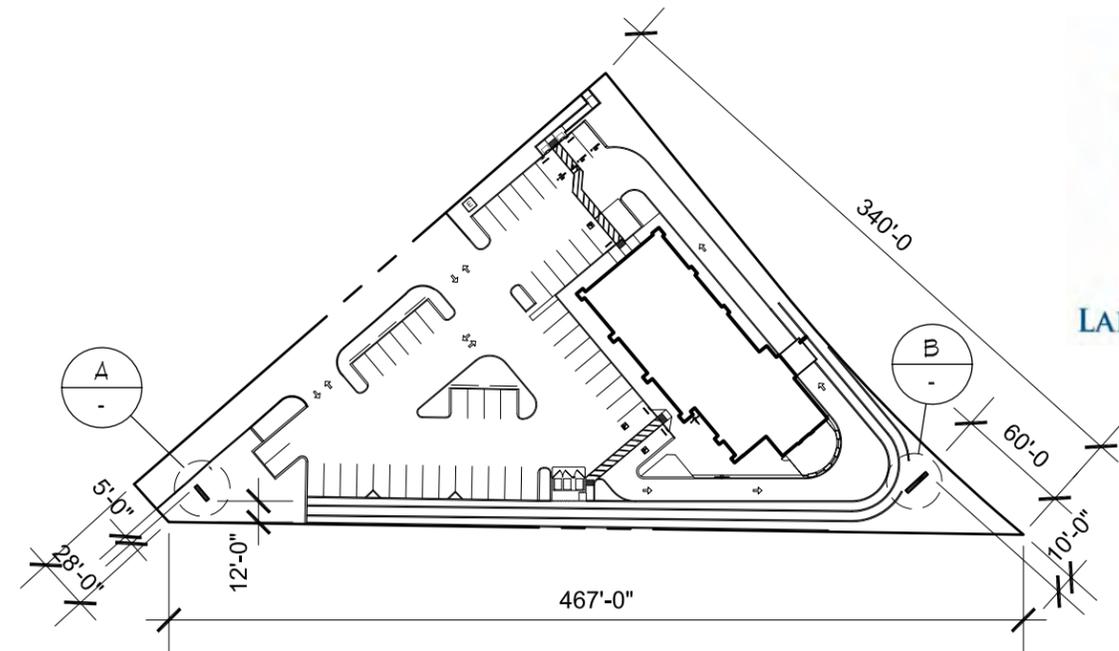
EROSION CONTROL PLAN

SCALE 1" = 20'

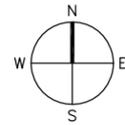
DETAIL FIBER ROLLS
NOT TO SCALE

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:	SEAL	BENCHMARK: DX3779 DESCRIBED BY CA DIV OF HIGHWAYS 1973 (RH) STATION IS IN NORTHWEST ELSINORE ON HILL 700 FT + OR - NORTH OF THE INTERSECTION OF POTTERY STREET AND SCRIVNER STREET EL=1463.3 FEET (NAVD88)	CITY OF LAKE ELSINORE	SHEET 4
					Core Civil Engineering, Inc. 23172 Plaza Pointe Dr, Suite #145 Laguna Hills, CA 92653 Phone: 949-954-7244 info@corestructure.com www.corestructure.com			EROSION CONTROL PLAN	OF 4 SHEETS
				REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	AMIR DEIHIMI R.C.E. C78194 EXP. 09/30/2025		SCALE: _____ BENCH MARK: _____	19930 COLLIER, LAKE ELSINORE CA 92530	FILE No. _____
				DATE _____	DATE 02-28-2024		DATE: 11/28/2023		

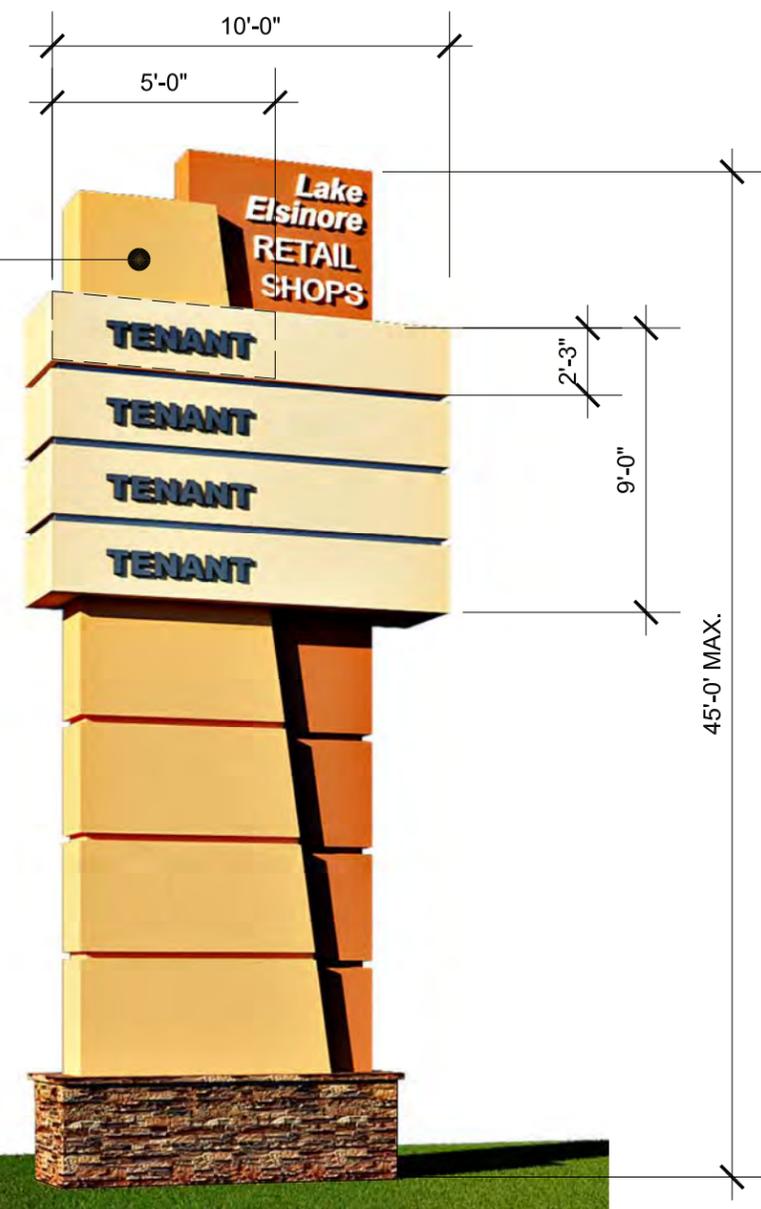
NOTE FOR CONSTRUCTION



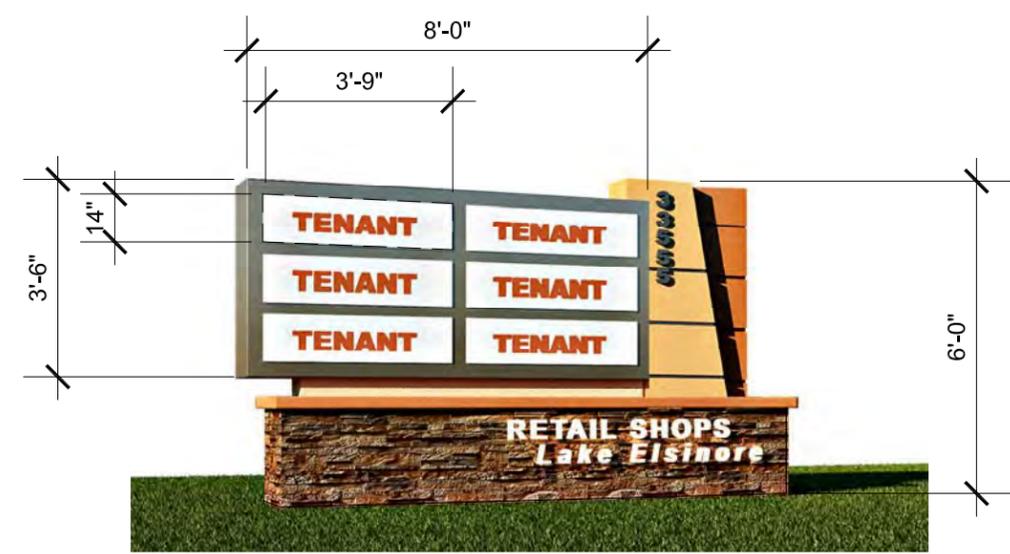
SCALE: 1"=100'-0"



MAX. HEIGHT OF FREESTANDING SIGN SHALL NOT EXCEED SIX FEET ABOVE PUBLIC SIDEWALK.
NO PORTION OF SIGN OR SUPPORTING STRUCTURE SHALL BE LOCATED CLOSER THAN 5 FEET TO ANY PROPERTY LINE.



INDIVIDUAL BUSINESS SIGN AREA SHALL NOT EXCEED 30 SQ FT PER 100 LF OF FREEWAY FRONTAGE, MAX 150 SQ FT



28 SQ ST
SIGN SHALL NOT EXCEED 30 SQ FT PER 100 LF OF STREET FRONTAGE, MAX 320 SF PER SIGN

SCALE: N.T.S.



90 SQ ST
SCALE: N.T.S.

ALL SIGNS SHALL COMPLY WITH LEMC 17.196.180 AND SHALL BE SUBMITTED AND APPROVED UNDER SEPARATE PERMIT BY SIGN CONTRACTOR. ALL FREESTANDING SIGNS SHALL ARE SUBJECT TO REVIEW AND APPROVAL BY PLANNING COMMISSION SUBJECT TO PROVISIONS OF LEMC 17.415.050



FREEWAY I-15 SOUTHBOUND



FREEWAY I-15 NORTHBOUND



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on January 21, 2025, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

Planning Application No. 2023-13 (Collier Retail Shops): The proposed project is a request by Erwin Randhawa, PSR Investments LE, LLC, for a Commercial Design Review (CDR No. 2023-03) to construct a one-story 7,220 square-foot (sq. ft.) multi-tenant retail building with four (4) tenant spaces including a drive-through restaurant with a 480 sq. ft. outdoor dining patio. The application also includes a request for a Conditional Use Permit (CUP No. 2023-05) to permit the operation of the drive-through restaurant as well as Sign Design Review (SIGN No. 2023-07) to establish a unified signage theme and design for the proposed retail center. The project site is located on an approximately 1.4-acre site along the easterly edge of Collier Avenue near the intersection of Collier Avenue and Nichols Road and is within the Alberhill Ranch Specific Plan (APN: 389-200-031).

The proposed project is exempt from California Environmental Quality Act (CEQA), pursuant to California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures).

ALL INTERESTED PERSONS are invited to submit written information, express opinions or otherwise submit written evidence by email to jmatie@Lake-Elsinore.org.

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124 ext. 297. All Agenda materials are available for review on the City's website at www.lake-elsinore.org the Friday before the Public Hearing.

FURTHER INFORMATION on this item may be obtained by contacting Carlos Serna, Associate Planner in the Planning Division at cserna@lake-elsinore.org or (951) 674-3124, ext. 916.

Damaris Abraham,
Community Development Director

THE PRESS-ENTERPRISE

KEEP YOUR EYES ON THE 'PRISE
pe.com

3512 14 Street
Riverside, California 92501
(951) 368-9229
neller@scng.com

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

<i>Account Number:</i>	5209153
<i>Ad Order Number:</i>	0011713036
<i>Customer's Reference/PO Number:</i>	
<i>Publication:</i>	The Press-Enterprise
<i>Publication Dates:</i>	01/10/2025
<i>Total Amount:</i>	\$350.66
<i>Payment Amount:</i>	\$0.00
<i>Amount Due:</i>	\$350.66
<i>Notice ID:</i>	QJfwwUkEz8HTcJmestkT
<i>Invoice Text:</i>	<p>[https://res.cloudinary.com/dgqq2xsfd/image/upload/q_auto:best/enotice-production/documentcloud/notices/1736269278005/csz_c.jpg] NOTICE OF PUBLIC HEARING NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on January 21, 2025, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following: Planning Application No. 2023-13 (Collier Retail Shops): The proposed project is a request by Erwin Randhawa, PSR Investments LE, LLC, for a Commercial Design Review (CDR No. 2023- 03) to construct a one-story 7,220 square-foot (sq. ft.) multi-tenant retail building with four (4) tenant spaces including a drive-through restaurant with a 480 sq. ft. outdoor dining patio. The application also includes a request for a Conditional Use Permit (CUP No. 2023-05) to permit the operation of the drive-through restaurant as well as Sign Design Review (SIGN No. 2023-07) to establish a unified signage theme and design for the proposed retail center. The project site is located on an approximately 1.4-acre site along the easterly edge of Collier Avenue near the intersection of Collier Avenue and Nichols Road and is within the Alberhill Ranch Specific Plan (APN: 389-200-031). The proposed project is exempt from California Environmental Quality Act (CEQA), pursuant to California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures). ALL INTERESTED PERSONS are invited to submit written information, express opinions or otherwise</p>



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FURTHER INFORMATION on this item may be obtained by contacting Carlos Serna, Associate Planner in the Planning Division at cserna@lake-elsinore.org or (951) 674-3124, ext. 916.

Damaris Abraham,
Community Development Director
The Press-Enterprise
Published: 1/10/25

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011713036

FILE NO. 0011713036

PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

01/10/2025

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: January 10, 2025.
At: Riverside, California

Signature



NOTIFICATION PACKAGE

19920 Collier Ave, Lake Elsinore

APNs 389-200-031

INCLUDES:

1500' OWNER LIST*

*expanded to include 30 unique owners

1500' RADIUS MAP

EXCEL FILE

CERTIFICATION

COUNT: 30 (duplicates consolidated)

PREPARED 11/02/2024

FILE #4204

378-020-024 Riverside Legacy Nichols Road Iv 5550 Newbury St #B Baltimore MD 21209	378-020-032,389-080-57,58;389-110- Alberhill Dev 505 Lomas Santa Fe Dr #230 Solana Beach CA 92075	378-020-033,34,40,54 Riverside Legacy Iv Nichols Road Po Box 130339 Carlsbad CA 92013
378-020-044 Koliber George & June Revocablee 232 Hidden Bay Dr #404 Osprey FL 34229	378-020-055,70 Eastern Municipal Water Dist 227 Tumble Rd Perris CA 92572	378-020-062 Weldon Andrew Page 2301 E Santa Fe #5 Fullerton CA 92831
378-020-071 Lommp 6984 E Overlook Terrace Anaheim CA 92807	378-020-075 Western Riverside County Reg Con Po Box 12008 Riverside CA 92502	389-200-004,54,56 Evmwd Po Box 3000 Lake Elsinore CA 92531
389-200-025,26,27,28 T T Group Inc 606 N 1st St San Jose CA 95112	389-200-030 Young Intl 3859 Maricopa St Torrance CA 90503	389-200-031 Psr Investments 26895 Aliso Creek Rd Aliso Viejo CA 92656
389-200-032 Parmjit S Randhawa 17 Vista Montemar Laguna Beach CA 92677	389-200-042,46,53 Nichols Rd Partners P O Box 77850 Corona CA 92877	389-200-048,60 City Of Lake Elsinore 130 S Main St Lake Elsinore CA 92530
389-210-067,68 Mohr Affinity 13457 Brooks Dr Baldwin Park CA 91706	389-860-018-20,31-39 Meritage Homes Of California Inc 18655 N Claret Dr #400 Scottsdale AZ 85255	389-860-040 Nichols Ranch Homeowners Assn 5 Peters Canyon Rd #310 Irvine CA 92606
389-861-001 Sai Sannihitha Bandarupalli 19545 Hanging Rock Rd Lake Elsinore CA 92530	389-861-002 Eddie Munguia 1510 W E St Ontario CA 91762	389-861-003 Carmen Sanchez 19553 Hanging Rock Rd Lake Elsinore CA 92532
389-861-004 Bhanu Chandher Khanapuram 19557 Hanging Rock Rd Lake Elsinore CA 92532	389-861-005 Eduardo Flores 19561 Hanging Rock Rd Lake Elsinore CA 92530	389-861-006 Jose Castellanos 19565 Hanging Rock Rd Lake Elsinore CA 92532
389-861-007 Gustavo Perez-castillo 1512 W Occidental St Santa Ana CA 92704	389-861-008 Kenneth Briel 19573 Hanging Rock Rd Lake Elsinore CA 92530	389-861-011 Felipe Delgado 19556 Hanging Rock Rd Lake Elsinore CA 92503
389-861-012 Ricardo Quiroz 19552 Hanging Rock Rd Lake Elsinore CA 92532	389-861-013 Phan Hien Thi Thu Seperate Prop 19548 Hanging Rock Rd Lake Elsinore CA 92532	389-861-014 James Bryan Domingo Nanca 19544 Hanging Rock Rd Lake Elsinore CA 92532

APN	Name
378-020-024	Riverside Legacy Nichols Road Iv
378-020-032,389-080-57,58;389-110-010	Alberhill Dev
378-020-033,34,40,54	Riverside Legacy Iv Nichols Road
378-020-044	Koliber George & June Revocable Trust Dtd 3/8/2019
378-020-055,70	Eastern Municipal Water Dist
378-020-062	Weldon Andrew Page
378-020-071	Lommp
378-020-075	Western Riverside County Reg Con Authority
389-200-004,54,56	Evmwd
389-200-025,26,27,28	T T Group Inc
389-200-030	Young Intl
389-200-031	Psr Investments
389-200-032	Parmjit S Randhawa
389-200-042,46,53	Nichols Rd Partners
389-200-048,60	City Of Lake Elsinore
389-210-067,68	Mohr Affinity
389-860-018-20,31-39	Meritage Homes Of California Inc
389-860-040	Nichols Ranch Homeowners Assn
389-861-001	Sai Sannihitha Bandarupalli
389-861-002	Eddie Munguia
389-861-003	Carmen Sanchez
389-861-004	Bhanu Chandher Khanapuram
389-861-005	Eduardo Flores
389-861-006	Jose Castellanos
389-861-007	Gustavo Perez-castillo
389-861-008	Kenneth Briel
389-861-011	Felipe Delgado
389-861-012	Ricardo Quiroz
389-861-013	Phan Hien Thi Thu Seperate Prop Trust Dtd 08/04/23
389-861-014	James Bryan Domingo Nanca

Address	City	State	Zip
5550 Newbury St #B	Baltimore	MD	21209
505 Lomas Santa Fe Dr #230	Solana Beach	CA	92075
Po Box 130339	Carlsbad	CA	92013
232 Hidden Bay Dr #404	Osprey	FL	34229
227 Tumble Rd	Perris	CA	92572
2301 E Santa Fe #5	Fullerton	CA	92831
6984 E Overlook Terrace	Anaheim	CA	92807
Po Box 12008	Riverside	CA	92502
Po Box 3000	Lake Elsinore	CA	92531
606 N 1st St	San Jose	CA	95112
3859 Maricopa St	Torrance	CA	90503
26895 Aliso Creek Rd	Aliso Viejo	CA	92656
17 Vista Montemar	Laguna Beach	CA	92677
P O Box 77850	Corona	CA	92877
130 S Main St	Lake Elsinore	CA	92530
13457 Brooks Dr	Baldwin Park	CA	91706
18655 N Claret Dr #400	Scottsdale	AZ	85255
5 Peters Canyon Rd #310	Irvine	CA	92606
19545 Hanging Rock Rd	Lake Elsinore	CA	92530
1510 W E St	Ontario	CA	91762
19553 Hanging Rock Rd	Lake Elsinore	CA	92532
19557 Hanging Rock Rd	Lake Elsinore	CA	92532
19561 Hanging Rock Rd	Lake Elsinore	CA	92530
19565 Hanging Rock Rd	Lake Elsinore	CA	92532
1512 W Occidental St	Santa Ana	CA	92704
19573 Hanging Rock Rd	Lake Elsinore	CA	92530
19556 Hanging Rock Rd	Lake Elsinore	CA	92503
19552 Hanging Rock Rd	Lake Elsinore	CA	92532
19548 Hanging Rock Rd	Lake Elsinore	CA	92532
19544 Hanging Rock Rd	Lake Elsinore	CA	92532