



REPORT TO PLANNING COMMISSION

To: Honorable Chair and Members of the Planning Commission

From: Damaris Abraham, Community Development Director

Prepared by: Joey Mendoza, Associate Planner

Date: April 16, 2024

Subject: Planning Application No. 2020-92 (Riverside/Lincoln Commercial) proposing to establish a new commercial center with six (6) buildings (approximately 51,101 sq. ft. in total) on an approximately 6.36-acre site located at the southwest corner of Lincoln Street and Riverside Drive

Applicant: Ilan Golcheh, Golcheh Group

Recommendation

1. Find that pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, the project would not have a significant effect on the environment and no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in a previously adopted Mitigated Negative Declaration (ER 2020-05) (SCH No. 2021010316);
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, FINDING THAT PLANNING APPLICATION NO 2020-92 (CONDITIONAL USE PERMIT NO. 2023-16 AND COMMERCIAL DESIGN REVIEW NO. 2023-06) IS CONSISTENT WITH THE WESTERN RIVERSIDE COUNTY MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP);
3. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2023-16 TO ESTABLISH A GASOLINE DISPENSING STATION WITH A 4,291 SQUARE FOOT CANOPY, BEER AND WINE SALES (TYPE 20), SELF-STORAGE FACILITY (THREE (3) BUILDINGS 38,016 SQUARE FEET IN TOTAL), 3,979 SQUARE FOOT SELF-SERVE CARWASH, AND 4,456 SQUARE FOOT DRIVE-THRU RESTAURANT LOCATED AT APNS: 379-111-017, 018, 019, AND 020; and
4. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2023-06

FOR BUILDING DESIGN AND CONSTRUCTION OF A 4,650 SQ. FT. CONVENIENCE STORE, 4,291 SQ. FT. CANOPY, 38,016 SQ. FT. SELF-STORAGE FACILITY, 3,979 SQ. FT. SELF-SERVE CARWASH, 4,456 SQ. FT. DRIVE-THRU RESTAURANT, AND RELATED SITE IMPROVEMENTS LOCATED AT APNS: 379-111-017, 018, 019, AND 020.

Project Location

The project consists of a 6.36-acre site that is currently vacant. The project is located at the southwest corner of Lincoln Street and Riverside Drive. The project encompasses Assessor Parcel Numbers (APNs) 379-111-017, 018, 019, and 020 (Previous APN: 379-111-014).

Environmental Setting

	EXISTING LAND USE	GENERAL PLAN	ZONING
Project Site	Vacant	General Commercial (GC)	General Commercial (C-2)
North	Commercial	General Commercial (GC)	General Commercial (C-2)
East	Recreational	Recreational (R)	Recreational (R)
West	Residential	High-Density Residential (HDR)	High-Density Residential (R-3)
South	Residential	High-Density Residential (HDR)	High-Density Residential (R-3)

Table 1: Environmental Setting

Background

On April 13, 2021, the City Council adopted Mitigated Negative Declaration (MND) (ER 2020-05) (SCH No. 2021010316) and approved General Plan Amendment (GPA) No. 2020-02, Zone Change (ZC) No. 2020-01, Tentative Parcel Map (TPM) No. 37958, Conditional Use Permit (CUP) No. 2020-09, and Commercial Design Review (CDR) No. 2020-08.

Tentative Parcel Map No. 37958 included a subdivision of the 6.36-acre parcel into four parcels ranging in size from 0.93 acres to 2.88 acres.

CUP No. 2020-09, and CDR No. 2020-08 included a proposal to develop a commercial project consisting of a 4,291 sq. ft. convenience store, 16 gasoline-dispensing stations with a 4,291 sq. ft. canopy, beer and wine sales (Type 20), self-storage facility (three (3) buildings that are 38,016 sq. ft. in total), 3,979 sq. ft. self-serve carwash, and 4,456 sq. ft. drive-thru restaurant 221 parking stalls, landscaping, and related site improvements.

Parcel Map No. 37958 was finalized and recorded on March 3, 2022.

CUP No. 2020-09 and CDR No. 2020-08 expired on April 13, 2023.

On January 17, 2024, the applicant submitted the subject application (CUP No. 2023-16 and CDR No. 2023-06) with the same configuration and layout as the original application for review. Detailed project description of the proposal is provided below.

Project Description

The Riverside/Lincoln Commercial Project consists of applications for a Conditional Use Permit (CUP No. 2023-16) and a Commercial Design Review (CDR No. 2023-06), which are collectively being processed under Planning Application No. 2020-92.

CUP No. 2023-16 proposes to establish a gas station with a 4,291 sq. ft. canopy with a concurrent beer and wine sales (Type 20), self-storage facility (three (3) buildings 38,016 sq. ft. in total), a 3,979 sq. ft. self-serve carwash, and a 4,456 sq. ft. drive-thru restaurant.

CDR No. 2023-06 proposes the building design and construction of a 4,650 sq. ft. convenience store, a 4,291 sq. ft. canopy, a 38,016 sq. ft. self-storage facility (three (3) buildings), 4,456 sq. ft. drive-thru restaurant, 221 parking stalls, landscaping, and related site improvements.

Individual project components are discussed in more detail below:

Convenience Store/Gas Station – will include a 4,650 sq. ft. convenience store (7-Eleven) with a gas station. The gas station area will have eight pumps with 16 fueling stations under a 4,291 sq. ft. canopy. Anticipated throughput at the gas station is 1.5 million to 1.7 million gallons of fuel in the first year. The convenience market will be open 24 hours per day, seven days a week, and the gas pumps will also be accessible 24 hours per day, seven days a week.

Fast Food Drive-Thru Restaurant – will include a 4,456 sq. ft. fast food restaurant (McDonald's) with a drive-thru with two lanes for queueing of 12 vehicles and ordering that will lead to two pick windows. The drive-thru will be open 24 hours a day, seven days a week.

Car Wash – will include a 3,979 sq. ft. self-serve car wash with a single-lane car wash tunnel. Two queueing lanes are proposed to allow for more vehicle stacking. The car wash operation hours will be 9:00 AM to 8:00 PM, seven days a week.

Self-Storage – will include three (3) buildings totaling 38,016 sq. ft. in size. One along the western project boundary (21,377 sq. ft.), which includes office space, one along the southern boundary (10,558 sq. ft.), and one in the interior portion of the project site (6,081 sq. ft.). A total of 286 storage units will be available in seven different sizes ranging from 5 feet by 5 feet up to 10 feet by 30 feet. Some units will be accessed from the exterior, and others will be accessed via interior hallways. All units will be accessible 24 hours a day, seven days a week.

Architecture and Treatments

The proposed commercial buildings will vary in height and exterior treatment. The convenience store will be 15 feet high with parapets extending to approximately 22.5 feet. The building finishes will be cement plaster stucco in a four-color theme with stone accents and mission-style clay roof tiling. The metal canopy over the gas pumps will be 20 feet tall and be painted a color to complement the convenience store. The fast-food restaurant will be a maximum of 20 feet in height. Architectural treatments will be used to break up the bulk of the building and include stucco, aluminum batten, and metal paneling. The car wash tunnel will be approximately 15 feet

high with a white stucco exterior with blue and orange accenting architectural features. Canopies, parapets, and a 31.5-foot tower sign are also incorporated into the car wash design. The underside of the building canopies will have blue light emitting diode (LED) strip lighting to provide a faux neon aesthetic. The self-storage buildings would be constructed of concrete masonry with rolling metal access doors.

Landscaping

The proposed landscaping plan includes a mix of trees and shrubs emphasizing low-water-use species. Landscaping will cover approximately 16 percent of the project site. 28 trees will be planted around the project perimeter, including a mix of red crape myrtle, Canary Island date palm, and African sumac. Various shrub species will be planted along the project frontages and internally within the site.

Access, Circulation, and Parking

Vehicular access to the project site is proposed via one full-access driveway at Lincoln Street and two right-turn-in/out-only driveways at Riverside Drive. Fuel deliveries to the station would be via truck/trailer combination, and the site has been designed to accommodate the necessary turning radii for the fuel delivery vehicles' entrance and exit. The project proposes 221 parking spaces distributed throughout the site. This includes 12 ADA-compliant spaces and four (4) spaces oversized to accommodate boat trailers or recreational vehicles (RVs).

Discussion

General Plan Consistency

The project site has a General Plan Land Use Designation of General Commercial (GC). The GC Land Use Designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public projects, and similar and compatible uses with a maximum 0.40 floor area ratio (FAR). The project proposes a self-serve car wash, self-storage facility, drive-thru restaurant, gasoline dispensing station, and canopy with a 0.20 FAR. The project is consistent with the General Commercial General Plan Land Use Designation.

The project site is located within the General Plan Lake View District Plan (LVDP). Per Section 9.0, Lake View District Plan, of the General Plan, the main focus of the Lake View District is to "integrate new and existing residential communities and supporting uses while maintaining a high quality of life." The project would be consistent with the goals of the Lakeview District Plan, including the goal to provide a revitalized and healthy mixed-use corridor along Riverside Drive. The project will develop commercial uses, including a convenience store with gas station, a drive-thru restaurant, a car wash, and self-storage, which will contribute to the commercial vitality along Riverside Drive. The proposed uses would meet the needs of existing residents in the project vicinity.

Municipal Code Consistency

The project site has a zoning designation of General Commercial (C-2). Per the Lake Elsinore Municipal Code (LEMC) Section 17.124.020, all permitted uses of the Commercial Office (C-O) and the Neighborhood Commercial (C-1) district as contained within LEMC Section 17.116.020 and Section 17.120.020 are also permitted uses within the C-2 zone. Food stores; including markets, bakeries, health food establishments, and candy stores are permitted uses.

Per LEMC Section 17.124.030, uses permitted subject to a use permit in the C-1 district as contained in LEMC Section 17.120.030 are also permitted in the C-2 zone subject to a Conditional Use Permit. Per LEMC Section 17.120.030, drive-thru establishments and gasoline dispensing establishments are permitted uses subject to a Conditional Use Permit. Per the LEMC Section 17.124.030, car washes are a permitted use subject to a Conditional Use Permit.

Per LEMC Section 17.112.090.O (Gasoline dispensing establishments), establishments engaged in the concurrent sale of motor vehicle fuel with alcoholic beverages are subject to its provisions and must obtain a Conditional Use Permit pursuant to LEMC Section 17.415.070.

Staff has reviewed the proposed project with respect to the relevant development standards as identified in the C-2 zone and LEMC Section 17.112.090 (Gasoline dispensing establishments) and has detailed the requirements and the proposed development standards as follows:

Development Standard	Required	Proposed
Front yard Setback		
• Convenience Store	15 ft.	175 ft.
• Fast Food Restaurant	15 ft.	103 ft.
• Carwash	15 ft.	76 ft.
• Self-Storage	15 ft.	15 ft. & 65 ft.
Side yard Setback (ROW)		
• Convenience Store	15 ft.	60 ft.
• Self-Storage	15 ft.	15 ft.
Canopy Setback	20ft.	67 ft.
Building Height		
• Convenience Store	45 ft.	23 ft.
• Fast Food Restaurant	45 ft.	20 ft.
• Carwash	45 ft.	31.5 ft.
• Self-Storage	45 ft.	12 ft.
Landscape improvements		
• Adjacent to Street	15 ft.	15 ft.
• Landscape coverage	15%	16.1%

Table 2: Development Standards

The project complies with the onsite parking standards listed in LEMC Chapter 17.148 (Parking Requirements). LEMC Section 17.148.030.A requires one (1) parking space for each 250 square feet of retail floor area. LEMC Section 17.148.030.E.13 requires one (1) parking space for each 45 square feet of customer area, plus one space for each 200 square feet of noncustomer area for food establishments. The project will provide 221 parking spaces, including 12 accessible

spaces and four (4) oversized spaces to accommodate boat trailers or recreational vehicles (RVs). The project will be required to install electric vehicle charging stations for at least six (6) percent of all onsite parking spaces per CalGreen 2022 requirements. The proposed parking would exceed the minimum 170 parking spaces required for the site per the LEMC.

The project also complies with the non-residential development standards outlined in LEMC Chapter 17.112. The Project provides a variety of building design features and forms by employing treatments, such as articulated planes along the exterior walls, attractive storefront window system, recessed suite entries and a variety of rooflines, which will create depth and shadow. The project has also been designed to be compatible with surrounding commercial buildings located near the project vicinity. The proposed landscaping improvements will serve to enhance the building designs and soften portions of building elevations, provide shade and break-up expanses of pavement.

The Design Review Committee, which includes staff from Planning, Building and Safety, Fire, and Engineering, has reviewed the proposed project and has conditioned the project to ensure compliance with the general plan, the LEMC, and the related environmental document.

Environmental Determination

Pursuant to CEQA Guidelines Section 15162, staff recommends that the Planning Commission find that no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in an earlier Mitigated Negative Declaration (MND). All potentially significant impacts have been avoided or mitigated pursuant to the earlier MND and none of the conditions described in Section 15162 exist.

1. MND (ER 2020-05) (SCH No. 2021010316) was adopted by the City Council on April 13, 2021, for the Riverside/Lincoln Commercial Center Project. The MND analyzed the potential impact that could result from the development of the previous Conditional Use Permit and Commercial Design Review (CUP No. 2020-09 and CDR No. 2020-08) applications.
2. The new Conditional Use Permit and Commercial Design Review (CUP No. 2023-16 and CDR No. 2023-06) applications have the same configuration and layout as the previously analyzed project. Additionally, the new applications propose the same uses (a convenience store with a gas station, a fast-food drive-thru restaurant, a self-serve drive-thru car wash and a self-storage facility). There will be no increase in the intensity of use.
3. No substantial changes that require major revisions to the MND exist, and no new information of substantial importance that requires revisions to the earlier MND exist.

MSHCP Consistency

The project is consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). The project site is not located in a Criteria Cell and was not required

to be processed through the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) processes. The project complies with all other applicable requirements of the MSHCP.

Public Notice

Notice of the hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 300 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

Attachments

- Attachment 1 – MSHCP Resolution
- Attachment 2 – CUP Resolution
- Attachment 3 – RDR Resolution
- Attachment 4 – Conditions of Approval
- Attachment 5 – GIS Exhibits
- Attachment 6 – Design Review Package
- Attachment 7 – Public Notice Materials

RESOLUTION NO. 2024-__

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, FINDING THAT PLANNING APPLICATION NO. 2020-92 (CONDITIONAL USE PERMIT NO. 2023-16 AND COMMERCIAL DESIGN REVIEW NO. 2023-06) IS CONSISTENT WITH THE WESTERN RIVERSIDE COUNTY MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)

Whereas, Ilan Golcheh - Golcheh Group has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2020-92 (Conditional Use Permit No. 2023-16 and Commercial Design Review No. 2023-06) to construct a commercial project consisting of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, 221 parking stalls, and landscaping and related site improvements on a 6.36-acre site. The project is located at the southwest corner of Lincoln Street and Riverside Drive (APNs: 379-111-017, 018, 019, and 020 (Previous APN: 379-111-014));

Whereas, Section 6.0 of the Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and the Joint Project Review (JPR) to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

Whereas, pursuant Section 17.415.070.B (Conditional Use Permit) and Section 17.415.050.E (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits and Design Review applications; and

Whereas, on April 16, 2024, at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1. The Commission has considered the Project and its consistency with the MSHCP prior to adopting Findings of Consistency with the MSHCP.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The Project is a project under the City's MSHCP Resolution, and the City must make an MSHCP Consistency finding before approval.

Pursuant to the City's MSHCP Resolution, the Project is required to be reviewed for MSHCP consistency, including consistency with other "Plan Wide Requirements." The Project site is not located within a MSHCP Criteria Cell. Based upon the site reconnaissance survey there

are no issues regarding consistency with the MSHCP's other "Plan Wide Requirements." The only requirements potentially applicable to the Project were the Protection of Species Associated with Riparian/Riverine Areas and Vernal Pool Guidelines (Section 6.1.2 of the MSHCP) 6.1.3 (Protection of Narrow Endemic Plant Species), 6.1.4 (Urban Wildlands Interface), 6.3.2 (Additional Survey Needs and Procedures), Appendix C (Standard Best Management Practices), and 7.5.3 (Construction Guidelines), and payment of the MSHCP Local Development Mitigation Fee (Section 4 of the MSHCP Ordinance). The Project site is located in a previously disturbed site, and has no habitat, including riparian/riverine areas or vernal pools, present on site.

2. The Project is subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) Joint Project Review processes.

As stated above, the Project is not located within a Criteria Cell and therefore was not required to go through the LEAP and JPR processes.

3. The Project is consistent with the Riparian/Riverine Areas and Vernal Pools Guidelines.

According to a Biological Resources and MSHCP Compliance Report prepared by HDR, Inc. dated May 1, 2020, there are no areas that meet the MSHCP's definition of riparian/riverine areas or vernal pools that occur on the project site. As such, the Riparian/Riverine Areas and Vernal Pool Guidelines as set forth in Section 6.1.2 of the MSHCP are not applicable.

4. The Project is consistent with the Protection of Narrow Endemic Plant Species Guidelines.

The Project site is not located within the Narrow Endemic Plant Species Survey Areas as shown on Figure 6-1 of the MSHCP. The Project is consistent with the Protection of Narrow Endemic Plant Species Guidelines as set forth in Section 6.1.3 of the MSHCP

5. The Project is consistent with the Additional Survey Needs and Procedures.

The Property is not subject to any of the Critical Area Species Survey Area Guidelines as set forth in Section 6.3.2 of the MSHCP. Therefore, the Project is consistent with MSHCP Section 6.3.2.

6. The Project is consistent with the Urban/Wildlands Interface Guidelines.

The Project is not located adjacent to any Criteria Cells or Public/Quasi-Public Lands and implementation of MSHCP Section 6.1.4 Guidelines is not required.

7. The Project is consistent with the Vegetation Mapping requirements.

There are no resources located on the Project site requiring mapping as set forth in MSHCP Section 6.3.1.

8. The Project is consistent with the Fuels Management Guidelines.

As stated above, the Property is surrounded by existing and planned development. Therefore, the Fuels Management Guidelines as set forth in Section 6.4 of the MSHCP are not applicable.

9. The Project will be conditioned to pay the City's MSHCP Local Development Mitigation Fee.

As a condition of approval, the Project will be required to pay the City's MSHCP Local Development Mitigation Fee at the time of issuance of building permits.

10. The Project is consistent with the MSHCP.

The Project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas. As described above, the Project complies with all applicable MSHCP requirements.

Section 4: Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby finds that the Project is consistent with the MSHCP.

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 16th day of April, 2024.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2024-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held on April 16, 2024, and that the same was adopted by the following vote:

AYES
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Community Development Director

RESOLUTION NO. 2024-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2023-16 TO ESTABLISH A GASOLINE DISPENSING STATION WITH A 4,291 SQUARE FOOT CANOPY, BEER AND WINE SALES (TYPE 20), A SELF-STORAGE FACILITY (THREE (3) BUILDINGS 38,016 SQUARE FEET IN TOTAL), A 3,979 SQUARE FOOT SELF-SERVE CARWASH, AND A 4,456 SQUARE FOOT DRIVE-THRU RESTAURANT LOCATED AT APNS: 379-111-017, 018, 019, AND 020

Whereas, Ilan Golcheh - Golcheh Group has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2020-92 (Conditional Use Permit No. 2023-16 and Commercial Design Review No. 2023-06) to construct a commercial project consisting of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, 221 parking stalls, and landscaping and related site improvements on a 6.36-acre site. The project is located at the southwest corner of Lincoln Street and Riverside Drive (APNs: 379-111-017, 018, 019, and 020 (Previous APN: 379-111-014));

Whereas, Conditional Use Permit (CUP) No. 2023-16 proposes to establish 16 gasoline-dispensing stations with a 4,291 sq. ft. canopy, beer and wine sales (Type 20), a self-storage facility (three (3) buildings that are 38,016 sq. ft. in total), a 3,939 sq. ft. self-serve carwash, and a 4,456 sq. ft. drive-thru restaurant;

Whereas, Section 17.415.070 of the Lake Elsinore Municipal Code (LEMC) provides that certain uses are desirable but may have operational characteristics that disproportionately impact adjoining properties, businesses, or residents. Accordingly, such uses require a more comprehensive review and approval procedure, including the ability to condition the project in order to mitigate significant impact;

Whereas, pursuant Section 17.415.070.B (Conditional Use Permit) of the LEMC, the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and

Whereas, on April 16, 2024, at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP) and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 2: The Commission finds and determines that and no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in an earlier Mitigated Negative Declaration (MND) and none of the conditions described

in Section 15162 exist. MND (ER 2020-05) (SCH No. 2021010316) was adopted by the City Council on April 13, 2021 for the Riverside/Lincoln Commercial Center project. The MND analyzed the potential impact that could result from the development of the previous Conditional Use Permit and Commercial Design Review (CUP No. 2020-09 and CDR No. 2020-08) applications. The new Conditional Use Permit and Commercial Design Review (CUP No. 2023-16 and CDR No. 2023-06) applications have the same configuration and layout as the previously analyzed project. Additionally, the new applications propose the same uses (a convenience store with a gas station, a fast food drive-thru restaurant, a self-serve drive-thru car wash and a self-storage facility). There will be no increase in the intensity of use. No substantial changes that require major revisions to the MND exist and no new information of substantial importance that require revisions to the earlier MND exist.

Section 3. That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding CUP No. 2023-16:

1. That the proposed use, on its own merits and within the context of its setting, is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

The proposed project, development of a commercial project consisting of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, is consistent with the proposed General Plan Land Use designation of General Commercial (GC). The GC Land Use designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses with a maximum 0.40 Floor Area Ratio (FAR). The Project is proposing to develop a commercial project with 0.2 FAR. The project site is within the Lake View District of the General Plan. Per Section 9.0, Lake View District Plan, of the General Plan, the main focus of the Lake View District is to "integrate new and existing residential communities and supporting uses while maintaining a high quality of life." The Project would be consistent with the goals of the Lakeview District Plan, including the goal to provide a revitalized and healthy mixed-use corridor along Riverside Drive. The proposed uses would meet the needs of existing residents in the project vicinity.

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

The proposed use does not propose either directly or indirectly any detrimental effects to the existing surrounding community. The Project has been conditioned as such to avoid any possible negative impacts associated with the proposed use.

3. The Site for the intended use is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

The proposed use has been analyzed and staff has determined that the proposed use meets all applicable sections of the LEMC and will complement the existing uses, based on the submitted plans and the conditions of approval imposed on the project.

4. The Site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

The project would include dedication on Riverside Drive to the ultimate half-section width and would construct frontage improvements in accordance with City's Engineering Department and California Department of Transportation (Caltrans). These improvements will be sufficient for the type and quantity of traffic generated by the proposed use.

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

The Conditional Use Permit has been thoroughly reviewed and conditioned by all applicable City departments thereby eliminating the potential for any adverse effects.

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

Pursuant to Section 17.415.070.B of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing on April 16, 2024, appropriate and applicable conditions of approval have been included to protect the public health, safety and general welfare.

Section 4: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Conditional Use Permit No. 2023-16.

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 16th day of April, 2024.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2024-__ was adopted by the Planning Commission of the City

of Lake Elsinore, California, at a regular meeting held on April 16, 2024 and that the same was adopted by the following vote:

AYES

NOES:

ABSTAIN:

ABSENT:

Damaris Abraham,
Community Development Director

RESOLUTION NO. 2024-____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2023-06 FOR BUILDING DESIGN AND CONSTRUCTION OF A 4,650 SQ. FT. CONVENIENCE STORE, 4,291 SQ. FT. CANOPY, 38,016 SQ. FT. SELF-STORAGE FACILITY, 3,979 SQ. FT. SELF-SERVE CARWASH, 4,456 SQ. FT. DRIVE-THRU RESTAURANT, AND RELATED SITE IMPROVEMENTS LOCATED AT APNS: 379-111-017, 018, 019, AND 020

Whereas, Ilan Golcheh - Golcheh Group has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2020-92 (Conditional Use Permit No. 2023-16 and Commercial Design Review No. 2023-06) to construct a commercial project consisting of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, 221 parking stalls, and landscaping and related site improvements on a 6.36-acre site. The project is located at the southwest corner of Lincoln Street and Riverside Drive (APNs: 379-111-017, 018, 019, and 020 (Previous APN: 379-111-014));

Whereas, Commercial Design Review (CDR) No. 2023-06 proposes the building and design of 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 3,979 sq. ft. self-serve carwash, 4,456 sq. ft. drive-thru restaurant, 221 parking stalls, landscaping, and related site improvements;

Whereas, pursuant Section 17.415.050.E (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying and Design Review applications; and

Whereas, on April 16, 2024 at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP) and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 2: The Commission finds and determines that and no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in an earlier Mitigated Negative Declaration (MND) and none of the conditions described in Section 15162 exist. MND (ER 2020-05) (SCH No. 2021010316) was adopted by the City Council on April 13, 2021 for the Riverside/Lincoln Commercial Center project. The MND analyzed the potential impact that could result from the development of the previous Conditional Use Permit and Commercial Design Review (CUP No. 2020-09 and CDR No. 2020-08) applications. The new Conditional Use Permit and Commercial Design Review (CUP No. 2023-16 and CDR No. 2023-06) applications have the same configuration and layout as the previously

analyzed project. Additionally, the new applications propose the same uses (a convenience store with a gas station, a fast food drive-thru restaurant, a self-serve drive-thru car wash and a self-storage facility). There will be no increase in the intensity of use. No substantial changes that require major revisions to the MND exist and no new information of substantial importance that require revisions to the earlier MND exist.

Section 3: That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding CDR No. 2023-06:

1. The Project, as approved, will comply with the goals and objectives of the General Plan, Specific Plan and the Zoning District in which the Project is located.

The proposed project, the development of a commercial project consisting of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, is consistent with the General Plan Land Use designation of General Commercial (GC). The GC Land Use designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses with a maximum 0.40 Floor Area Ratio (FAR). The project proposes to develop a commercial project with 0.2 FAR. The project site is within the Lake View District of the General Plan. Per Section 9.0, Lake View District Plan, of the General Plan, the main focus of the Lake View District is to "integrate new and existing residential communities and supporting uses while maintaining a high quality of life." The project is consistent with the goals of the Lakeview District Plan, including the goal to provide a revitalized and healthy mixed-use corridor along Riverside Drive. The zoning for the subject site General Commercial (C-2). The proposed use is identified as a permitted use subject to the approval of a Conditional Use Permit within the C-2 zone. Further, the proposed commercial project will assist in achieving the development of a well-balanced and functional mix of residential, commercial, industrial, open space, recreational and institutional land uses.

2. The Project complies with the design directives contained in the LEMC and all applicable provisions of the LEMC.

The project is appropriate to the site and surrounding developments. The architectural design of the proposed building complies with the Nonresidential Development Standards (Chapter 17.112) of the LEMC. Sufficient setbacks and enhanced onsite landscaping have been provided thereby creating interest and varying vistas as a person moves along abutting streets and within the park. The project will create a visually pleasing, non-detractive relationship between the proposed development and existing projects through the use of a 'Contemporary' architectural design that is similar to existing developments in the vicinity. In addition, safe and efficient circulation has been achieved onsite.

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing held on April 16, 2024. The Project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.

Section 4: Based upon all of the evidence presented, the above findings, and the conditions of approval imposed upon the project, the Commission hereby approves CDR No. 2023-06.

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 16th day of April 2024.

Jodi Peters, Chair

Attest:

Damaris Abraham,
Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2024-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held on April 16, 2024, and that the same was adopted by the following vote:

AYES
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Community Development Director

CONDITIONS OF APPROVAL

PROJECT: PA 2020-92/CUP 2023-16/CDR 2023-06
PROJECT NAME: Riverside/Lincoln Commercial
PROJECT LOCATION: APNs: 379-111-017, 018, 019, and 020
(Previous APN: 379-111-014)
APPROVAL DATE:
EFFECTIVE DATE:
EXPIRATION DATE:

GENERAL

1. Conditional Use Permit (CUP) No. 2023-16 proposes to establish a 16-pump gasoline-dispensing station (with anticipated throughput of 1.5 million to 1.7 million gallons of fuel per year) with a 4,291 square foot sq. ft. canopy, beer and wine sales (Type 20), self-storage facility (three (3) buildings 38,016 sq. ft. in total) and a 4,456 sq. ft. drive thru-restaurant. Commercial Design Review (CDR) No. 2023-06 proposes building design and construction of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, 221 parking stalls, and landscaping and related site improvements on an approximately 6.36-acre site. The project site is located at the southwest corner of Lincoln Street and Riverside Drive (APNs: 379-111-017, 018, 019, and 020 (Previous APN: 379-111-014)).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning the approval, implementation, and construction of CUP 2023-16, and CDR 2023-06, which action is brought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension, or modification of CUP 2023-16, and CDR 2023-06 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community Development Department for inclusion in the case records.

PLANNING DIVISION

4. Conditional Use Permit No. 2023-16 shall lapse and become void two years following the

date on which the conditional use permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the conditional use permit approval pursuant to subsections (a), (b), and (c) of Lake Elsinore Municipal Code (LEMC) Section 17.415.070.D.2. Subject to the provisions of LEMC Section 17.415.070.I, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure, which was the subject of the Conditional Use Permit application.

5. Commercial Design Review No. 2023-06 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
6. An application for modification, expansion or other change in a Conditional Use Permit shall be reviewed according to the provisions of the Section 17.415.070 of the LEMC, in a similar manner as a new application.
7. If operation of this use triggers concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said Conditional Use Permit.
8. The applicant shall provide all project-related on-site and off-site improvements as required by these Conditions of Approval.
9. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of a Certificate of Occupancy.
10. All future development proposals shall be reviewed by the City on a project-by-project basis. If determined necessary by the Community Development Director or designee, additional environmental analysis will be required.
11. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application.
12. Provisions of the City's Noise Ordinance (LEMC Chapter 17.176) shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays

and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays.

13. No individual signs are approved as part of this approval. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site. **OR** The applicant shall submit a sign program for review and approval of the Planning Commission prior to installation. Sign plans submitted to the City for review shall incorporate City identification signs.
14. In accordance with Section 17.112.090.O. of the LEMC, establishments engaged in the concurrent sale of motor vehicle fuel with alcoholic beverages shall abide by the following requirements:
 - a. No beer or wine shall be displayed within five feet of the cash register or the front door.
 - b. No advertisement of alcoholic beverages shall be displayed at motor fuel islands.
 - c. No sale of alcoholic beverages shall be made from a drive-in window.
 - d. No display or sale of beer or wine shall be made from an ice tub.
 - e. No beer or wine advertising shall be located on motor fuel islands and no self-illuminated advertising for beer or wine shall be located on buildings or windows.
 - f. Employees on duty between the hours of 10:00 p.m. and 2:00 a.m. shall be at least 21 years of age to sell beer and wine.
15. Graffiti shall be removed within 24 hours.
16. The entire site shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.
17. No outside overnight storage of inoperable vehicles shall occur at the site.
18. Since the project is proposed to be completed in phases, unimproved portions of the property should be maintained and kept in good repair as noted on the phasing plan exhibit.
19. All roof mounted or ground support air conditioning units or other mechanical equipment incidental to development shall be architecturally screened or shielded by landscaping so that they are not visible from neighboring property or public streets. Any roof mounted central swamp coolers shall also be screened, and the Community Development Director, prior to issuance of building permit shall approve screening plan.
20. The property address (in numerals at least six inches high) shall be displayed near the entrance and be easily visible from the front of the subject property and public right-of-way.
21. The applicant shall construct trash enclosure(s) with a decorative roof to match the colors, materials and design of the project architecture.
22. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title;

institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation.

Prior to Issuance of Grading Permits/Building Permits

23. The applicant shall pay all applicable City fees, including but not limited to Development Impact Fees (DIF) and MSHCP Fees per LEMC Section 16.85, at the rate in effect at the time of payment.
24. All roof mounted or ground support air conditioning units or other mechanical equipment incidental to development shall be architecturally screened or shielded by landscaping so that they are not visible from neighboring property or public streets. Any roof mounted central swamp coolers shall also be screened, and the Community Development Director, prior to issuance of building permit shall approve screening plan.
25. Prior to issuance of Building Permit, the Applicant shall submit a photometric study to the Community Development Department for review and approval. The plan shall ensure that all exterior on-site lighting are shielded and directed on-site so as not to create glare onto neighboring properties and streets or allow illumination above the horizontal plane of the fixture.
26. Prior to the issuance of a Building Permit, all exterior wall mounted and freestanding light fixtures shall be submitted for review and approval by the Director of Community Development, or their designee. Light fixtures shall compliment the architectural style of the buildings onsite.
27. Prior to the issuance of a Building Permit, the color, finish and pattern of all decorative paving onsite shall be submitted for review and approval by the Director of Community Development, or their designee.
28. Prior to issuance of a building permit, Final Landscaping / Irrigation Detail Plans shall be submitted along with appropriate fees for review and approval by the Community Development Director or designee.
 - a. All planting areas shall have permanent and automatic sprinkler system with 50% plant coverage using a drip irrigation method.
 - b. Mature specimen trees shall be planted on locations visible from public views.
 - c. All planting areas shall be separated from paved areas with a six inch (6") high and six inch (6") wide concrete curb. Runoff shall be allowed from paved areas into landscape areas.
 - d. Planting within fifteen feet (15') of ingress/egress points shall be no higher than twenty-four inches (24").
 - e. Landscape planters shall be planted with an appropriate parking lot shade tree pursuant to the LEMC and Landscape Design Guidelines.
 - f. No required tree planting bed shall be less than 5 feet wide.
 - g. Root barriers shall be installed for all trees planted within 10 feet of hardscape areas to include sidewalks.
 - h. Any transformers and mechanical or electrical equipment shall be indicated on landscape plan and screened as part of the landscaping plan.
 - i. The landscape plan shall provide for ground cover, shrubs, and trees and meet all requirements of the City's adopted Landscape Guidelines.

- j. All landscape improvements shall be bonded 100% for material and labor for two years from installation sign-off by the City. Release of the landscaping bond shall be requested by the applicant at the end of the required two years with approval/acceptance reviewed by the Landscape Consultant and approved by the Community Development Director or Designee.
 - k. All landscaping and irrigation shall be installed within affected portion of any phase at the time a Certificate of Occupancy is requested for any building.
 - l. Final landscape plan must be consistent with approved site plan.
 - m. Final landscape plans to include planting and irrigation details.
 - n. Final landscape plans shall include drought tolerant planting consistent with Elsinore Valley Municipal Water District standards subject to plan check and approval by the City's landscape plan check consultant.
 - o. No turf shall be permitted.
 - p. Final landscape plans shall include plant palette selection that will complement adjacent properties such as the Launch Pointe.
29. Landscaping installed for the project shall be continuously maintained to the reasonable satisfaction of the Community Development Director. If it is determined that the landscaping is not being maintained, the Director of Community Development shall have the authority to require the property owner to bring the landscaping into conformance with the approved landscape plan. The continued maintenance of all landscaped areas shall be the responsibility of the developer or any successors in interest.
30. The proposed location of on-site construction trailers shall be approved by the Community Development Director or designee. A cash bond of \$1,000 shall be required for any construction trailers placed on the site and used during construction. Bonds will be released after removal of trailers and restoration of the site to an acceptable state, subject to approval of the Community Development Director or designee. Such trailer(s) shall be fully on private property and outside the public right of way.
31. Prior to building permit issuance, the applicant shall initiate and complete Covenants, Conditions and Restrictions (CC&Rs) which shall be approved by the City. All CC&R documents that address including, but not limited to, reciprocal easements, shall be submitted for review and approval by City Planning, Engineering and the City Attorney and upon City approval shall be recorded. Such documents shall include Covenants, Conditions and Restrictions (CC&Rs).
- All landscaping, all drainage basins, and common areas including but not limited to parking areas and drive aisles, shall be maintained in accordance with the CC&Rs.
 - Provisions to restrict parking upon other than approved and developed parking spaces shall be written into the CC&Rs for the project.

BUILDING DIVISION

General Conditions

32. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes which are enforced at the time of building plan submittal.

33. Compliance with Code. All design components shall comply with applicable provisions of the 2022 edition of the California Building, Plumbing and Mechanical Codes: 2022 California Electrical Code; California Administrative Code, 2022 California Energy Codes, 2022 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.
34. Disabled Access. Applicant shall provide details of all applicable disabled access provisions and building setbacks on plans to include:
 - a. All ground floor units to be adaptable.
 - b. Disabled access from the public way to the entrance of the building.
 - c. Van accessible parking located as close as possible to the main entry.
 - d. Path of accessibility from parking to furthest point of improvement.
 - e. Path of travel from public right-of-way to all public areas on site, such as clubhouse, trash enclosure, tot lots and picnic areas.
35. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single-family residential projects. It takes 10 days to issue address and notify other agencies. Please contact Sonia Salazar at ssalazar@lake-elsinore.org or 951-674-3124 X 277.
36. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department evidencing the payment or exemption from School Mitigation Fees.
37. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.
38. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.
39. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.
40. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

At Plan Review Submittal

41. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
 - a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
 - b. A Sound Transmission Control Study in accordance with the provisions of Section 5.507

- of the 2022 edition of the California Building Code.
- c. A precise grading plan to verify accessibility for the persons with disabilities.
 - d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

Prior to Issuance of Grading Permit(s)

- 42. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.
- 43. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project.

Prior to Issuance of Building Permit(s)

- 44. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.

Prior to Beginning of Construction

- 45. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

ENGINEERING DEPARTMENT

GENERAL

- 46. All new submittals for plan check or permit shall be made using the City's online Citizen Self-Service Portal (CSSP).
- 47. All engineering plans shall be prepared by a Registered Civil Engineer using the City's standard title block, Design Manual guidance, Lake Elsinore Municipal Code, California Building Code, Riverside County Flood Control Standards, and City and Caltrans Standards unless otherwise noted or approved by City staff.
- 48. All required soils, geotechnical, hydrology/hydraulic, and seismic reports shall be prepared by a Registered Civil Engineer and Soils Engineer, as applicable.
- 49. In accordance with the City's Franchise Agreement for waste disposal and recycling, the developer shall be required to contract with CR&R Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated during cleaning, demolition, clear and grubbing or all other phases of construction.
- 50. All open space landscaping, and slopes except for public parks and schools and flood control district facilities, outside the public right-of-way shall be owned and maintained by the property owner or property owner's association. Documentation of maintenance responsibility shall be recorded prior to occupancy.
- 51. Applicant shall submit a detailed hydrology and hydraulic study for review for the sufficient

containment and conveyance of the storm water to a safe and adequate point as approved by the City Engineer.

52. All Public Works requirements shall be complied with as a condition of development as specified in the Lake Elsinore Municipal Code (LEMC) and Lake Elsinore Public Works Standard Plans.
53. Phasing plan, if any, shall be approved by the City Engineer prior to issuance of any permits.
54. The site will accommodate all construction activity, building activity, vehicles, etc. No staging on public streets, or private property belonging to others shall be conducted without the written permission of the property owner.
55. Minimum good housekeeping and erosion and sediment control Best Management Practices (BMPs) as identified by the City shall be implemented by all projects.

FEES

56. Applicant shall pay all applicable permit application and Engineering assessed fees, including without limitation plan check and construction inspection fees, at the prevalent rate at time of payment in full.
57. Applicant shall pay all applicable Mitigation and Development Impact Fees at the prevalent rate at time of payment in full. Fees are subject to change. Mitigation and Development Impact Fees include without limitation:
 - a. Master Drainage Plan Fee – Due prior to Grading Permit issuance.
 - b. Traffic Infrastructure Fee (TIF) – Due prior to Building Permit issuance
 - c. Transportation Uniform Mitigation Fee (TUMF) – Due prior to Occupancy
 - d. Fair Share/In-Lieu Fees calculated on a project basis.

STORM WATER MANAGEMENT / POLLUTION PREVENTION / NPDES

Design

58. The project is responsible for complying with the latest Santa Ana Region National Pollutant Discharge Elimination System (NPDES) Permits as warranted based on the nature of development and/or activity.
59. A Final Water Quality Management Plan (WQMP) will be required and shall be prepared using the Santa Ana Region of Riverside County Guidance Document and approved template and submitted for review and approval to the City. The Final WQMP shall be approved by the City prior rough grading plan approval or issuance of any permit for construction.
60. The Final WQMP shall document the following:
 - Detailed site and project description.
 - Potential stormwater pollutants.
 - Post-development drainage characteristics.
 - Low Impact Development (LID) BMP selection and analysis.

- Structural and non-structural source control BMPs.
 - Treatment Control BMPs.
 - Site design and drainage plan (BMP Exhibit).
 - Documentation of how vector issues are addressed in the BMP design, operation and maintenance.
 - GIS Decimal Minute Longitude and Latitude coordinates for all LID and Treatment Control BMP locations.
 - Hydraulic Conditions of Concern (HCOC) – demonstrate that discharge flow rates, velocities, duration and volume for the post construction condition from a 2-year, 24-hour rainfall event will not cause adverse impacts on downstream erosion and receiving waters, or measures are implemented to mitigate significant adverse impacts downstream public facilities and water bodies. Evaluation documentation shall include pre- and post-development hydrograph volumes, time of concentration and peak discharge velocities, construction of sediment budgets, and a sediment transport analysis. If HCOC applies, the project shall implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes and channels; and minimize significant impacts from urban runoff. (Note the facilities may need to be larger due to flood mitigation for the 10-year, 6- and 24-hour rain events).
 - Operations and Maintenance (O&M) Plan and Agreement (using City approved form and/or CC&Rs) as well as documentation of formation of funding district for long term maintenance costs.
61. The existing Final WQMP shall be resubmitted for plan check and approval through the CSSP.
62. Parking lot landscaping areas shall be designed to provide for treatment, retention or infiltration of runoff.
63. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
64. Project trash enclosure shall be covered, bermed, and designed to divert drainage from adjoining paved areas and regularly maintained.
65. If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Department.
66. All storm drain inlet facilities shall be appropriately marked “Only Rain in the Storm Drain” using the City authorized marker.
67. All restaurants and commercial food handling facilities must provide an area for the washing/steam cleaning of equipment and accessories. The area must be self-contained, equipped with a grease trap, and properly connected to a sanitary sewer. If the wash area is located outdoors, it must be covered, paved have secondary containment, and be connected to the sanitary sewer or other appropriately permitted disposal facility. Plan Requirements: The Owner/Applicant shall incorporate these food facility requirements into project design and depict on plans, including detail plans as needed.

Construction

68. A Storm Water Pollution Prevention Plan (SWPPP) (as required by the NPDES General Construction Permit) and compliance with the Green Building Code for sediment and erosion control are required for this project.
69. Prior to grading or building permit for construction or demolition and/or weed abatement activity, projects subject to coverage under the NPDES General Construction Permit shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer. A copy of the SWPPP shall be kept at the project site, updated, and be available for review upon request.
70. Erosion & Sediment Control – Prior to the issuance of any grading or building permit for construction or demolition, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet(s) of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water quality regulations for grading and construction activities. A copy of the plan shall be incorporated into the SWPPP, kept updated as needed to address changing circumstances of the project site, be kept at the project site, and available for review upon request.

Post-Construction

71. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
 - Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.
 - Provide signed, notarized certification from the Engineer of Work that the structural BMPs identified in the project's WQMP are installed in conformance with approved plans and specifications and operational.
 - Submit a copy of the fully executed, recorded City approved Operations and Maintenance (O&M) Plan and Agreement for all structural BMPs or a copy of the recorded City approved CC&R.
 - The Operation and Maintenance (O&M) Plan and Agreement and/or CC&R's shall: (1) describe the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identify the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; (3) describe the mechanism for funding the long-term operation and maintenance of the referenced BMPs; and (4) provide for annual certification for water quality facilities by a Registered Civil Engineer. The City format shall be used.
 - Provide documentation of annexation into a CFD for funding facilities to be maintained by the City.
 - Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan or CC&R's attached) are available for each of the initial occupants.
 - Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed

certification from the Engineer of Work dated 12 months after the Certificate of Occupancy will be considered in lieu of a Special Investigation by the City.

- Provide the City with a digital .pdf copy of the Final WQMP.
72. Chemical Management – Prior to the issuance of building permits for any tank or pipeline, the uses of said tank or pipeline shall be identified and the developer shall submit a Chemical Management Plan in addition to a WQMP with all appropriate measures for chemical management (including, but not limited to, storage emergency response, employee training, spill contingencies and disposal) in a manner meeting the satisfaction of the Manager, Permit Intake, in consultation with the Riverside County Fire Department and wastewater agencies, as appropriate, to ensure implementation of each agency's respective requirements. A copy of the approved "Chemical Management Plans" shall be furnished to the Fire Marshal prior to the issuance of any Certificates of Use and Occupancy.

UTILITIES

73. All arrangements for relocation of utility company facilities (power poles, vaults, etc.) out of the roadway shall be the responsibility of the applicant, property owner, and/or his agent. Overhead utilities (34.5 kV or lower) shall be undergrounded (LEMC Section 16.64).
74. Applicant shall apply for, obtain and submit to the City Engineering Department a letter from Southern California Edison (SCE) indicating that the construction activity will not interfere with existing SCE facilities. Non-Interference Letter (NIL) shall be provided prior to issuance of a grading permit.
75. Submit a "Will Serve" letter to the City Engineering Department from the applicable water agency stating that water and sewer arrangements have been made for this project and specify the technical data for the water service at the location, such as water pressure, volume, etc. Will Serve letters shall be provided prior to issuance of Grading Permit.

IMPROVEMENTS

76. Project will be responsible for the following improvements prior to the issuance of a certificate of use and/or occupancy:
- a. The developer shall implement the project design features and mitigation measures identified in Section 10 of the Traffic Impact Analysis dated September 17, 2020, to the satisfaction of the City Engineer:
 - 1. Restripe median to provide two-way left turn lane on Lincoln Street between the project driveway and Flannery Street/Robin Drive.
 - 2. Construct the northbound approach to consist of one through lane and one two-way left turn lane on Lincoln Street at project driveway.
 - 3. Construct the southbound approach to consist of one shared through/right turn lane on Lincoln Street at project driveway.
 - 4. Construct the eastbound approach (project driveway) to consist of one inbound lane and one shared left/right turn lane with stop-control on Lincoln Street at project driveway.
 - 5. Construct the southbound approach (project driveway) to consist of one right turn only lane with stop-control at project driveway at Riverside Drive.

6. Construct eastbound approach to consist of one through lane at project driveway at Riverside Drive.
 7. Construct westbound approach to consist of one shared through/right turn lane at project driveway at Riverside Drive.
 8. Restripe the southbound approach to consist of two left turn lanes and one shared through/right turn lane at Lincoln Street and Riverside Drive.
 9. Construct a northbound left turn lane and restripe shared left/through/right turn lane to a shared through/right turn lane at Lincoln Street and Riverside Drive.
 10. Convert north-south traffic signal phasing from permitted to protected at Lincoln Street and Riverside Drive.
 11. Construct a second receiving lane on the east leg of the intersection at Lincoln Street and Riverside Drive.
- b. Developer shall construct ultimate half-width street improvements on Lincoln Street in conformance to the City General Plan Roadway Cross Sections for a Collector Highway.
 1. Note that the sidewalks are required to be 5 feet minimum with a landscape area 5 feet in width consistent with the City's General Plan roadway cross section.
 - c. Developer shall construct ultimate half-width street improvements on Riverside Drive in conformance to the City General Plan Roadway Cross Sections for an Urban Arterial Highway. Encroachment Permit from Caltrans will be required prior to any work done in the State right-of-way along Riverside Drive (State Route 74).
 1. Note that the sidewalks are required to be 6 feet minimum with the landscape area 6 feet in width consistent with the City's General Plan roadway cross section.
 - d. Developer shall construct the half-width street improvements for the cul-de-sac on Flannery Street.
 - e. Developer shall construct only one commercial driveway along Riverside Drive in accordance with Caltrans requirements unless otherwise approved by Caltrans and at the discretion of the City of Lake Elsinore.
 - f. Developer shall provide public street lighting consistent with the City Standards. Streetlight system shall be designed as an LS-2B system. Streetlight plans shall be submitted for City review and approval through CSSP.
77. Developer shall submit traffic signal, signing and striping plans for City review and approval through CSSP.
 78. Improvements shall be designed and constructed to City and Caltrans Standards and City Codes (LEMC 12.04, 16.34), or as directed or approved by the City Engineer.
 79. If existing improvements are to be modified, the existing improvement plans on file shall be revised accordingly and approved by the City Engineer prior to issuance of a building permit.
 80. Sight distance into and out of the project location shall comply with City of Lake Elsinore and Caltrans Standards.
 81. An Encroachment Permit is required for all work to be done in the public right-of-way. Upon approval of engineered plans, the requirements outlined in these COAs and the permit issue

letter shall be met prior to Encroachment Permit issuance.

82. 10-year storm runoff shall be contained within the curb and the 100-year storm runoff shall be contained within the street right-of-way. When either of these criteria are exceeded, drainage facilities shall be provided.
83. A drainage study shall be provided. The study shall identify the following: identify storm water runoff from and upstream of the site, show existing and proposed off-site and on-site drainage facilities, and include a capacity analysis verifying the adequacy of the facilities. The drainage system shall be designed to ensure that runoff from a 10-year storm of 6-hours or 24-hours duration under developed condition is equal or less than the runoff under existing conditions of the same storm frequency. Both 6-hour and 24-hour storm duration shall be analyzed to determine the detention basin capacities necessary to accomplish the desired results.
84. All natural drainage traversing the site shall be conveyed through the site, or shall be collected and conveyed by a method approved by the City Engineer. All off-site drainage, if different from historic flow, shall be conveyed to a public facility.
85. Roof drains shall not be allowed to outlet directly through coring in the street curb. Roofs should drain to a landscaped area.
86. The site shall be planned and developed to keep surface water from entering buildings (California Green Building Standards Code 4.106.3).
87. Developer shall mitigate to prevent any flooding and/or erosion downstream caused by the development of the site and/or diversion of drainage.
88. All existing and new storm drain inlet facilities to which the project discharges shall be fitted with full trash capture devices. The device selected shall be approved by the State of California and City of Lake Elsinore. Off-site facilities shall be maintained by the City with maintenance funded through a CFD or other City authorized assessment.

Permitting/Construction

89. An encroachment permit shall be obtained prior to any work on City right-of-way. The developer shall submit the permit application, required fees, and executed agreements, security and other required documentation prior to issuance.
90. All compaction reports, grade certification, monument certification (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted to the Engineering Department before final inspection of public works improvements will be scheduled and approved.

PRIOR TO GRADING PERMIT

Design

91. A grading plan signed and stamped by a California licensed Civil Engineer shall be submitted for City review and approval for all addition and/or movement of soil (grading) on site. The plan shall include separate sheets for erosion control, haul route and traffic control as applicable.

92. If the grading plan identifies alterations in the existing drainage patterns as they exit the site, a Hydrology and Hydraulic Report for review and approval by City Engineer shall be required prior to issuance of grading permits. All grading that modifies the existing flow patterns and/or topography shall be in compliance with Federal, State and Local law and be approved by the City Engineer.
93. The applicant shall obtain all necessary off-site easements and/or permits for off-site grading and the applicant shall accept drainage from the adjacent property owners.
94. All natural drainage traversing the site (historic flow) shall be conveyed through the site in a manner consistent with the historic flow or to one or a combination of the following: to a public facility; accepted by adjacent property owners by a letter of drainage acceptance; or conveyed to a drainage easement as approved by the City Engineer.
95. A Soil/Geotechnical Report is required for any land disturbance. In conjunction, a seismic study shall be submitted to identify earthquake faults, liquefaction and/or subsidence zones present on-site. A certified letter from a Registered Geologist or Geotechnical Engineer shall be submitted confirming the absence of this hazard prior to grading permit.

Permitting/Construction

96. A preconstruction meeting with the City Engineering Inspector (Engineering Department) is required prior to commencement of any grading activity.
97. All grading shall be done under the supervision of a licensed geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City.
98. Applicant shall execute and submit grading and erosion control agreement, post grading security, and pay permit fees as a condition of grading permit issuance.
99. No grading shall be performed without obtaining a grading permit. A grading permit does not include the construction of retaining walls or other structures for which a building permit is required.
100. Hauling in excess of 5,000 cubic yards shall be approved by the City Council (LEMC 15.72.065). Prior to commencement of grading operations, a haul route shall be approved prior to issuance of a grading permit.
101. Approval of the project Final Water Quality Management Plan (WQMP) for post construction shall be received prior to issuance of a grading permit.
102. Applicant shall obtain applicable environmental clearance from the Planning Department and submit applicable clearance document to the Engineering Department. This approval shall specify that the project complies with any and all required environmental mitigation triggered by the proposed grading activity.

PRIOR TO BUILDING PERMIT

103. Applicant shall provide soils, geology and seismic report, including recommendations for

parameters for seismic design of buildings, and walls prior to building permit.

104. All public improvement, traffic signal, signing and striping plans shall be completed and approved by the City Engineer.
105. All required public right-of-way dedications and easements prepared by separate instruments shall be prepared by the applicant or his agent and shall be submitted to the Engineering Department for review and approval prior to issuance of the building permit.

PRIOR TO OCCUPANCY / FINAL APPROVAL

106. All public improvements shall be constructed in accordance with the approved plans or as condition of this development to the satisfaction of the City Engineer prior to first occupancy.
107. All required signing, striping and traffic control devices on-site and off-site shall be installed.
108. In the event of damage to City roads from hauling or other construction related activity, applicant shall repair or pay the cost of restoring the public roads to the baseline condition.
109. Proof of acceptance of maintenance responsibility of slopes, open spaces, landscape areas, and drainage facilities shall be provided.
110. Final soil report showing compliance with recommendations, compaction reports, grade certifications, monument certification (with tie notes delineated on 8 ½" X 11" mylar) shall be submitted in .tif format on USB flash drive or electronically to the Engineering Department before final inspection will be scheduled.
111. As-built plans for all approved plan sets shall be submitted for review and approval by the City. The Developer is responsible for revising the original mylar plans. Once the original mylars have been approved, the applicant shall provide the City an electronic copy of the "as-built" plans in .tif format.
112. All final studies and reports shall be submitted in .tif format on a flash drive or delivered electronically. Studies and reports include, soils, seismic, hydrology, grading, WQMP, etc.
113. Applicant shall pay all outstanding applicable processing and development fees prior to occupancy and/or final approval.
114. Applicant shall submit documentation pursuant to City's Security Release handout.

CITY OF LAKE ELSINORE FIRE MARSHAL

115. The applicant/operator shall comply with all requirements of the Riverside County Fire Department Lake Elsinore Office of the Fire Marshal. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Office of the Fire Marshal at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 671-3124 Ext. 225.
116. Deferred submittals, for any fire systems, shall be identified on all subsequent plans.
117. If applicable, gates must meet Fire Department Standards at the time of building permit application.

118. The applicant or developer shall provide fire hydrants in accordance with the following:

- Prior to placing any combustibles on site, provide an approved water source for firefighting purposes.
- Required fire flow is estimated to be 2375 GPM at 20 PSI for a 2-hour duration based on 2022 California Fire Code and 31,935 square foot building area with Type V=B construction and buildings having a fire sprinkler system. The minimum fire flow shall be based on the largest single structure on the parcel and the verified construction type.
- Fire flow shall be determined by the building of the single largest square footage. The minimum fire flow will be 1500 GPM at 20 PSI for a 2-hour duration, per the 2022 California Fire Code.

119. In all new buildings and structures which are 5,000 square feet or greater, an approved automatic sprinkler system shall be provided regardless of occupancy classification. Where Sections 903.2.1 – 903.2.21 of the California Fire Code have more restrictive requirements than those listed below, the more restrictive requirements shall take precedence.

120. Prior to issuance of Building Permits, the applicant/developer shall provide the Office of the Fire Marshal with an approved site plan for Fire Lanes and signage. (CFC 501.3)

121. Each parcel shall have independent access to the circulating roadway. Shared access shall be documented, and reciprocal access agreements or dedicated access shall be established.

122. The fire apparatus access road shall be (all weather surface) capable of sustaining an imposed load of 80,000 lbs. GVW. The fire apparatus access road or temporary access road shall be reviewed and approved by the Office of the Fire Marshal and in place during the time of construction. (CFC 501.4)

123. The minimum inside turning radius for an access road shall be 24 feet. The minimum outside turning radius shall be 45 feet. As fire apparatus are unable to negotiate tight “S” curves, a 60-foot straight leg must be provided between these types of compound-turns or the radii and/or road width must be increased accordingly.

124. Prior to building permit issuance, install the approved water system, approved access roads, and contact the Fire Department for a verification inspection.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

125. Prior to issuance of a grading permit, the applicant shall submit an application to the Department of Administrative Services to initiate the annexation process into the Community Facilities District No. 2015-2 (Maintenance Services) or current Community Facilities District in place at the time of annexation to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, street maintenance, open space and public storm drains constructed within the development and federal NPDES

requirements to offset the annual negative fiscal impacts of the project. The annexation process shall be completed prior to issuance of the first certificate of occupancy for the project. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project with respect to Maintenance Services. Applicant shall make a non-refundable deposit of \$15,000 or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

MITIGATION MONITORING AND REPORTING PROGRAM

126. The applicant shall comply with all mitigation measures identified in the Mitigation Monitoring & Reporting Program for the Mitigated Negative Declaration (Environmental Review No. 2020-05; SCH # 2021010316) prepared for the Project.
-

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the City Council of the City of Lake Elsinore on TBD. I also acknowledge that all Conditions shall be met as indicated.

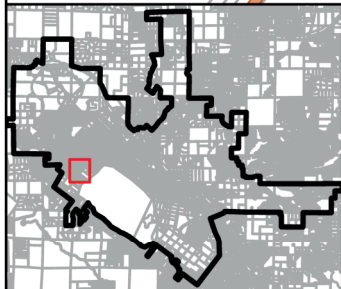
Date:

Applicant's Signature:

Print Name:

Address:

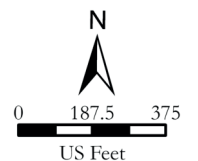
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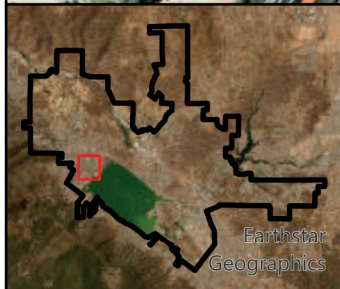


Vicinity Map

Planning Application No. 2020-92
CUP No. 2023-16, CDR No. 2023-06

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

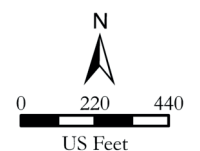


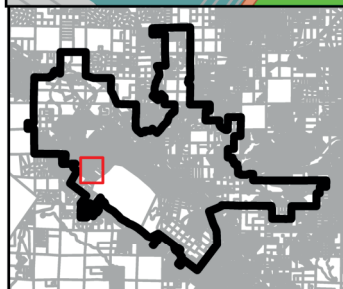
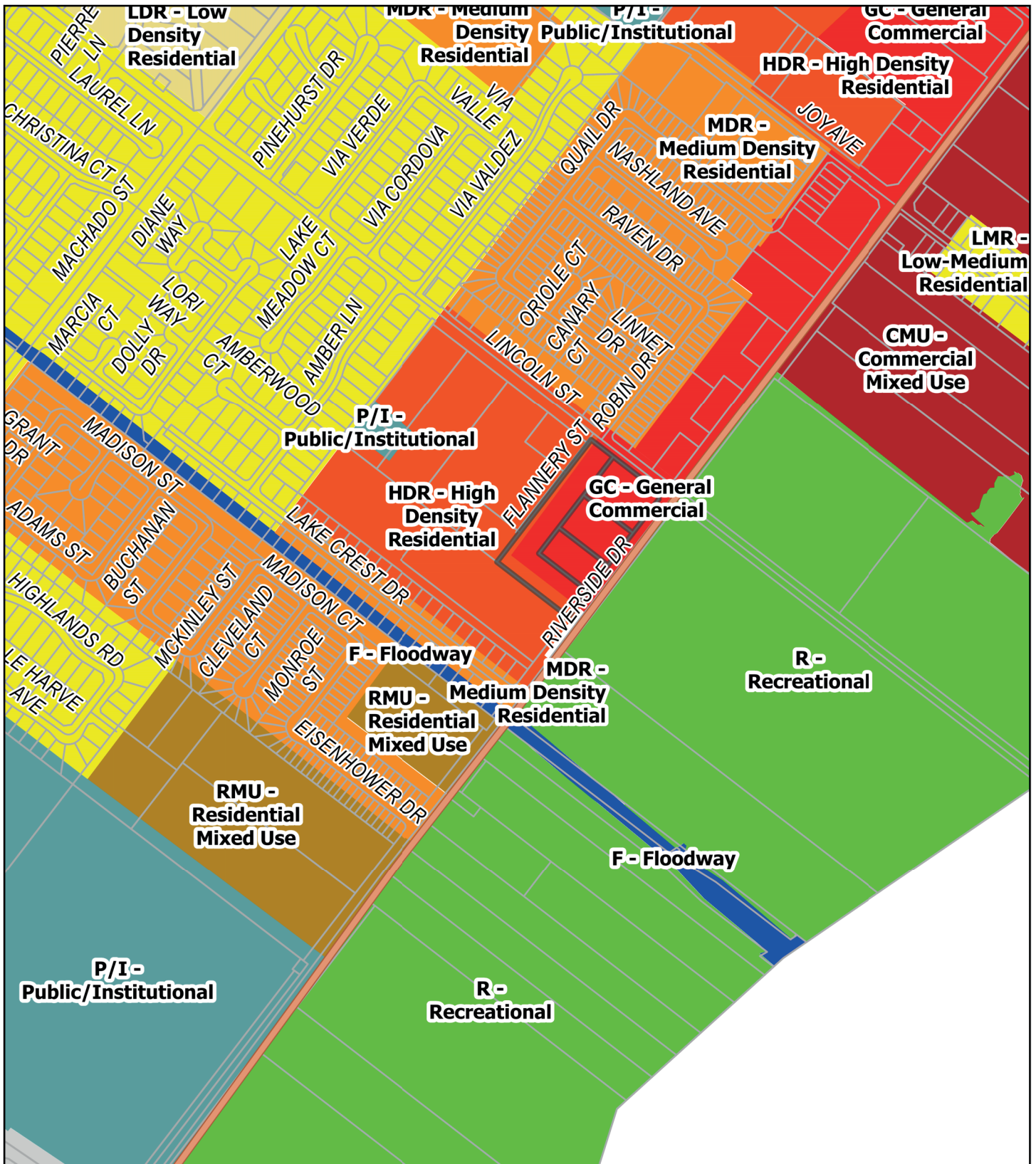


Aerial Map

Planning Application No. 2020-92
CUP No. 2023-16, CDR No. 2023-06

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

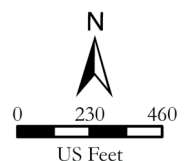


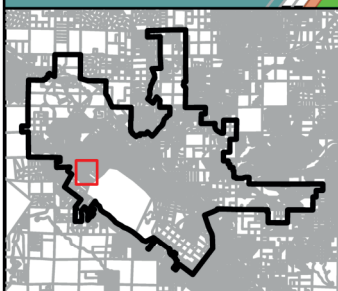
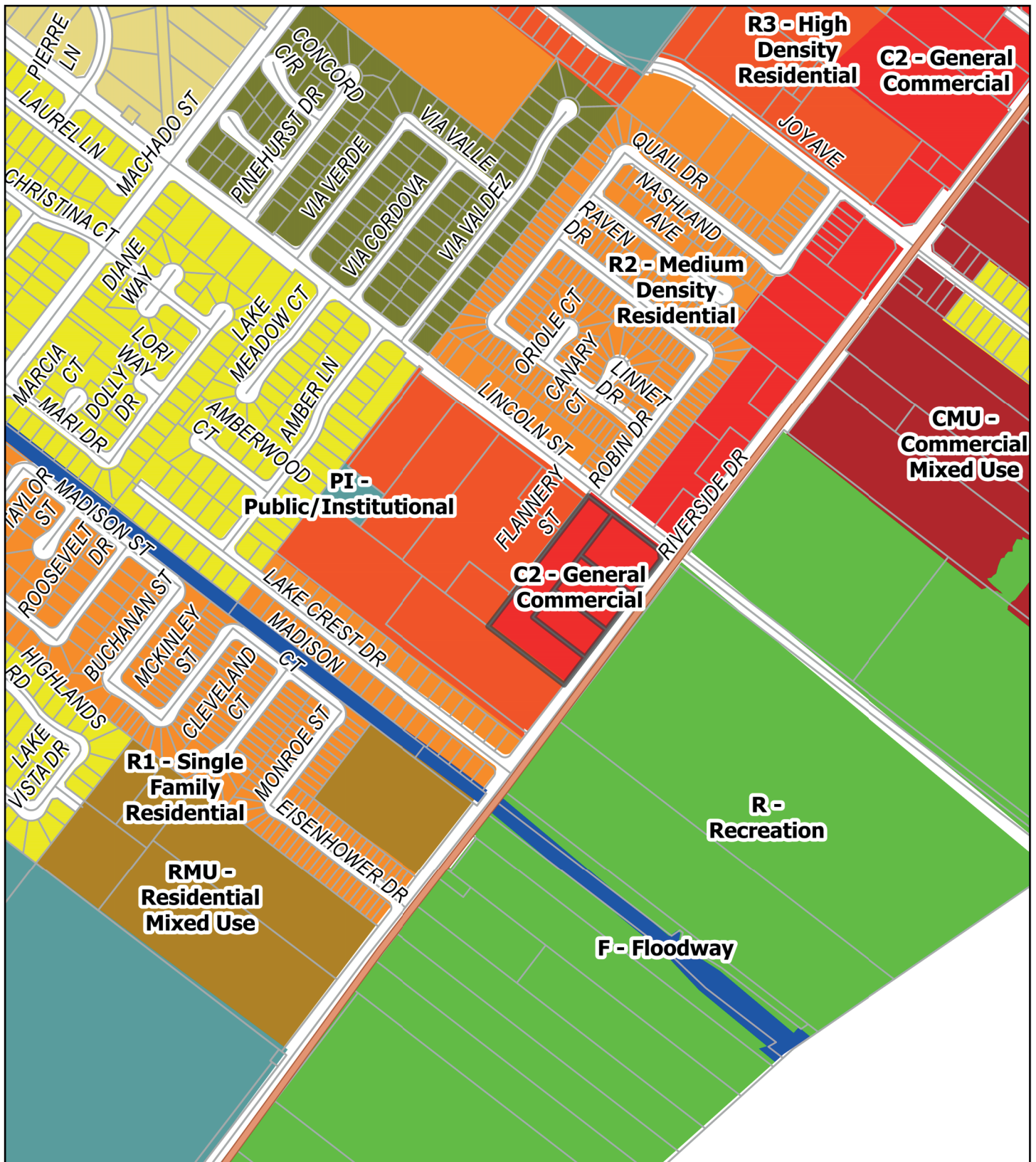


General Plan Exhibit

Planning Application No. 2020-92
CUP No. 2023-16, CDR No. 2023-06

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

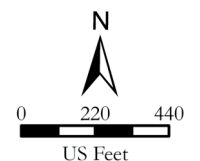


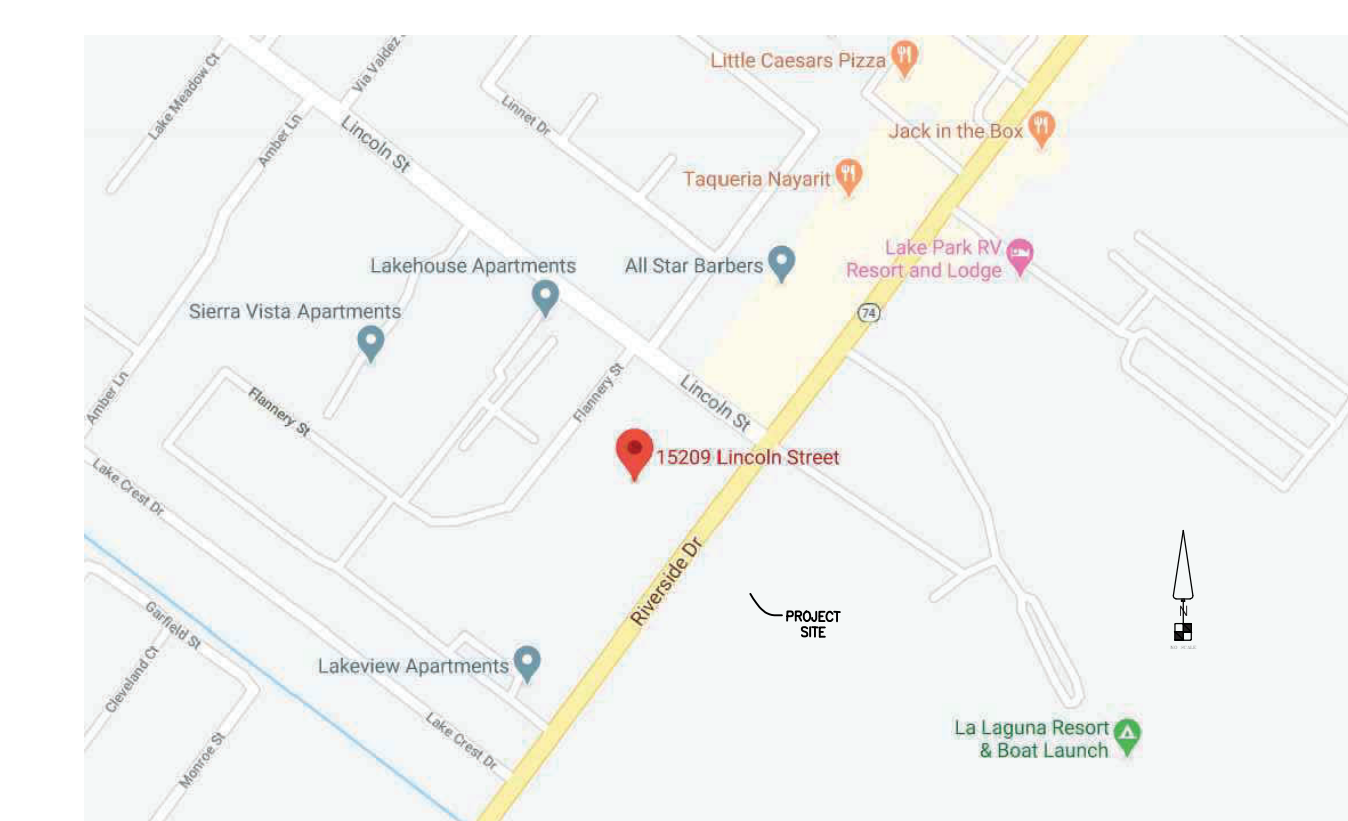


Zoning Exhibit

Planning Application No. 2020-92
CUP No. 2023-16, CDR No. 2023-06

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet





PARCEL A
CONTAINING AN AREA OF 39,463
SQ. FT. OR
2.52 ACRES, MORE OR LESS.

PARCEL B
CONTAINING AN AREA OF 4,290
SQ. FT. OR
0.9 ACRES, MORE OR LESS.

PARCEL C
CONTAINING AN AREA OF 4,456
SQ. FT. OR
0.56 ACRES, MORE OR LESS.

TOTAL LAND AREA
CONTAINING AN AREA OF 4,456
SQ. FT. OR
1.3 ACRES, MORE OR LESS.

REFER TO SURVEY VESTING
TENTATIVE PARCEL MAP
(PENDING)

1. NOTE TO CONTRACTORS: THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCHED OF AVAILABLE RECORDS. APPROVAL OF THESE PLANS BY THE CITY OF LAKE ELSINORE DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION, NOR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY, PIPES OR STRUCTURE WITHIN THE LIMITS OF THE PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEASURES FOR THE PROTECTION OF ALL UTILITIES, PIPES OR STRUCTURES, WHETHER SHOWN ON THESE PLANS OR NOT. ANY UTILITY(IES) DAMAGED DURING THE PERFORMANCE OF THE WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING AGENCY BY THE CONTRACTOR, AT HIS EXPENSE.
2. ALL WORK SHALL CONFORM TO CITY CODES, STANDARD SPECIFICATIONS FOR PUBLIC WORKS (LATEST EDITION), AND STANDARD DRAWING OF THE COUNTY OF RIVERSIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THESE STANDARDS AND CODES AT ALL TIMES.
3. THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR, FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING ANY WORK. CALL FOR INSPECTION AT (951)674-3124, EXTENSION 247, BETWEEN THE HOURS 9:00AM AND 4:00PM, MONDAY THROUGH THURSDAY.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH CALTRANS TRAFFIC MANUAL AND WATCH MANUAL AT ALL TIMES DURING CONSTRUCTION, AS APPROVED BY THE CITY ENGINEER OR HIS REPRESENTATIVE. FAILURE TO DO SO SHALL REQUIRE IMMEDIATE WORK STOPPAGE.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE DEPENDABLE REPRESENTATIVE AT THE JOB SITE, AT ALL TIMES DURING CONSTRUCTION.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE NECESSARY RELOCATION OF ANY UTILITIES. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL ALSO CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-422-4133, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF THE PROPOSED WORK AREA AND RELOCATION AND COST OF ALL EXISTING UTILITIES. SUBDIVIDER MUST INFORM THE CITY OF LAKE ELSINORE OF THE CONSTRUCTION SCHEDULE, PRIOR TO BEGINNING CONSTRUCTION.
8. ALL UNDERGROUND FACILITIES AND LATERALS INCLUDING BUT NOT LIMITED TO SEWER, WATER, TELEPHONE, ELECTRICITY, GAS AND DRAINAGE FACILITIES, SHALL BE IN PLACE PRIOR TO PAVING THE STREET SECTION.
9. ALL STREET SECTIONS ARE TENTATIVE. ADDITIONAL SOIL TEST WILL BE TAKEN AFTER ROUGH GRADING, TO DETERMINE THE EXACT

ALL STREET SECTIONS ARE TENTATIVE. ADDITIONAL SOIL TEST WILL BE TAKEN AFTER ROUGH GRADING, TO DETERMINE THE EXACT

13. IF AN ENCROACHMENT PERMIT IS REQUIRED THROUGH DISTRICT NO.8 OFFICE OF CALTRANS, PLEASE MAKE REFERENCE TO THIS FACT IN THE "GENERAL NOTES" SECTION OF THE IMPROVEMENT PLANS.

<u>ARCHITECTURE</u>	
A0.01	TITLE SHEET/ SITE PLAN
A1.00	7-ELEVEN FLOOR PLAN
A1.20	RAPIDS CAR WASH FLOOR PLAN
A1.30	MCDONALD'S FLOOR PLAN
A1.31	MCDONALD'S ROOF PLAN
A1.40	STORAGE UNIT FLOOR PLAN
A2.40	7-ELEVEN ROOF PLAN
A3.0C	7-ELEVEN ELEVATIONS
A3.1C	7-ELEVEN ELEVATIONS
A3.2C	FUEL CANOPY ELEVATIONS
A3.20	CAR WASH ELEVATIONS PLAN
A3.30	MCDONALD'S ELEVATION PLAN
A7.00	7-ELEVEN MATERIALS BOARD
<u>CIVIL</u>	
C1.00	SURVEY (FOR REFERENCE ONLY)
C1.01	SURVEY PARCEL PLAN (FOR REFERENCE ONLY)
C1.30	PRELIMINARY GRADING PLAN
C1.50	PRELIMINARY UTILITY PLAN
<u>LANDSCAPE</u>	
L1.0	PRELIMINARY LANDSCAPE PLAN
<u>ELECTRICAL</u>	
E1.00	PRELIMINARY EXTERIOR LIGHTING PLAN
E9.00	OUTDOOR PHOTOMETRIC PLAN

- 1 BUILDING
- 2 GAS CANOPY
- 3 CAR WASH
- 4 DRIVE-WAY APPROACH, TYPE 1
- 5 FUEL TANK
- 6 TRASH ENCLOSURE
- 7 LANDSCAPE
- 8 CONCRETE
- 9 ASPHALT
- 10 CURB
- 11 ADA ACCESS STRIPING/ ACCESSIBLE PATH OF TRAVEL
- 12 ROLL OUT AREA.
- 13 CURB RAMP
- 14 DRIVEWAY LINE OF SIGHT
- 16 TURNAROUND PARKING STALL
- 17 CAR WASH SIGNAGE
- 18 WAY FINDING SIGN
- 19 LOADING AREA FOR AFTER HOURS ONLY
- 20 HEALY TANK
- 21 6" BOLLARDS
- 22 17" H, 6" THICK WALL TO ABSORB AND MOVE SOUND AWAY FROM RESIDENTS.
- 23 9' HIGH, 36' LONG SOUND WALL.
- 24 6' HIGH MASONRY WALL.
- 25 TRANSFORMER
- 26 PROPOSED SIGNAGE

[illegible]

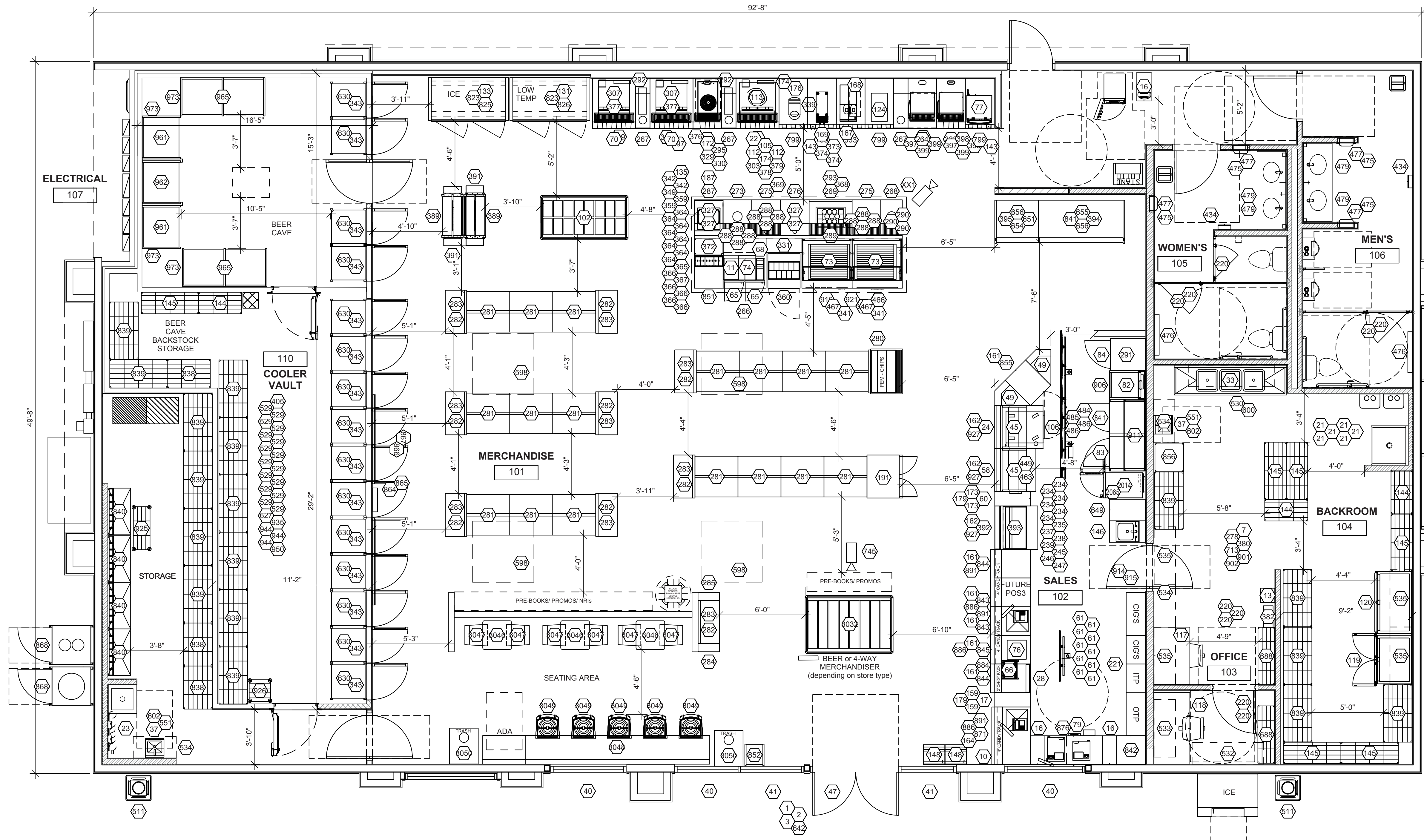
7-ELEVEN
RAPIDS CAR WASH
15209 LINCOLN STREET,
LAKE ELSINORE, CA

Project number	0711-10
Date	2020-04-01
Drawn by	
Checked by	
A0.01	
Scale	As indicated



0 15' 30'

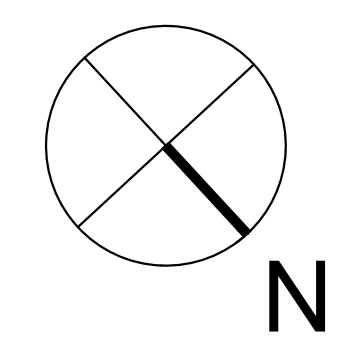
SCALE: 1"=30'



LAYOUT INFORMATION	
ROLLER GRILLS	2 (SELF SERVE)
SANDWICH CASE	9'
NON ALC. VAULT DRS	11
ALC. VAULT DRS	4
LOW TEMP DOORS	2
ICE MERCH. DOORS	2
NOVELTY CASE	1
BAKERY CASE	1 (LG)
SLURPEE BARRELS	8
GONDOLA UNITS (60"H)	34
END CAPS (60"H)	10
POWER WINGS	(02) - NOT IN TOTAL
LOW WALLS (36"H)	00
HIGH WALLS (72"H)	00
TOTAL	44
TOTAL SQ FT	= 4,650 SF
SALES FLOOR AREA	= 2,683 SF
GAS: YES	LIQUOR: NO
BEER: YES	WINE: YES
OCCUPANCY LOAD (>49) = 48	
TRAVEL DISTANCE (<200) = 94'	
COMMON PATH OF TRAVEL (<75) = 57'	
RESTROOMS REQUIRED = 2	
EXITS REQUIRED = 2	

WALL TYPE LEGEND	
EXISTING WALL	
EXISTING COLUMN	
NEW WALL	
NEW PARTIAL HEIGHT WALL	
NEW COOLER WALL	

OCCUPANCY CALCULATION				
MERCHANDISE	2363 SF	/	60	= 40 PEOPLE
KITCHEN / SALES	320 SF	/	200	= 2 PEOPLE
STORAGE/ BACK ROOM	1483 SF	/	300	= 5 PEOPLE
OFFICE	57 SF	/	100	= 1 PERSON
RESTROOM	427 SF	/	N/A	= 0 PEOPLE
TOTAL			=	48 PEOPLE



1045395 - LAKE ELSINORE, CA - FP2 LAYOUT 1

RIVERSIDE DR & LINCOLN ST
LAKE ELSINORE, CA

SCALE: 1/4"=1'-0"


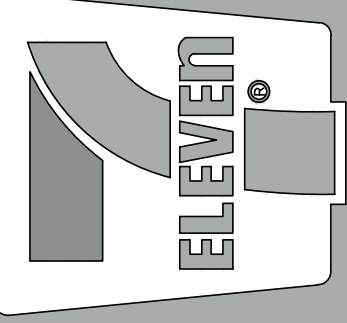
APPROVED: YES ☐ NO ☒

00/00/20

03/17/20


7-ELEVEN, INC.
3200 Hackberry Rd., Irving, Texas 75063

7-11 #1045395
RIVERSIDE DR & LINCOLN ST
LAKE ELSINORE, CA

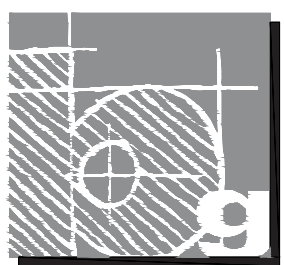
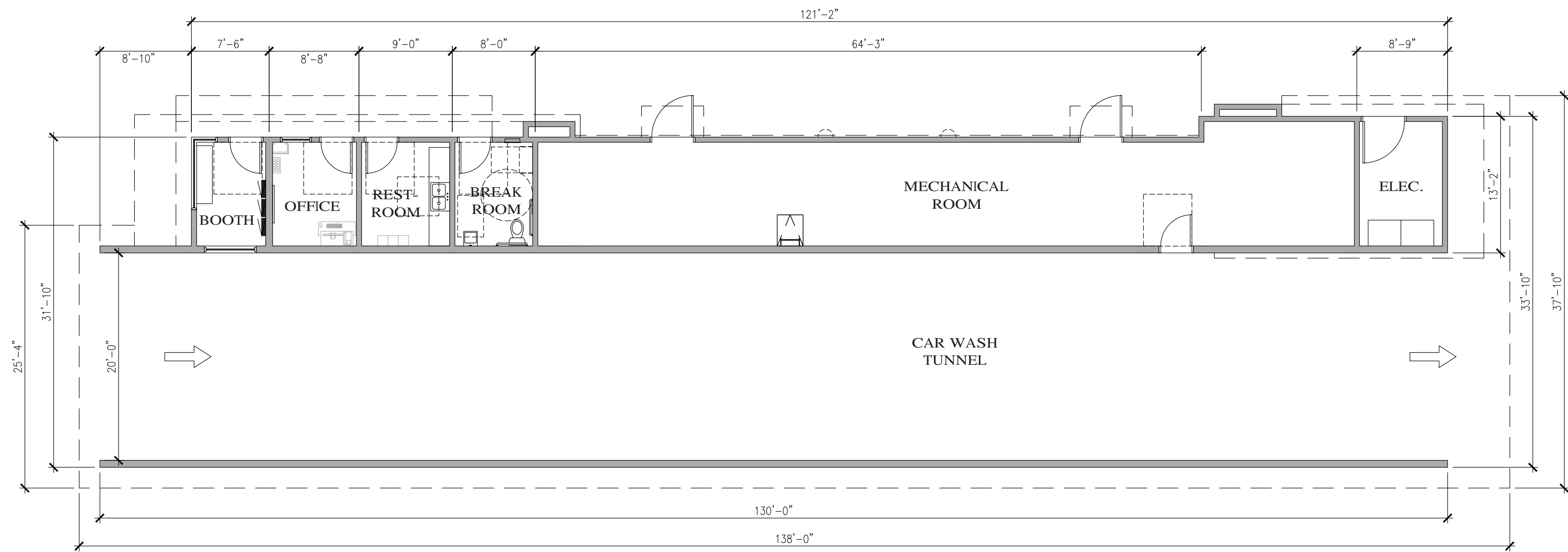


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Drawn By:	
Checked By:	

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A1.00

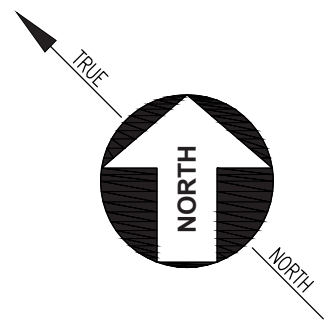


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GOOGIE CAR WASH

15209 LINCOLN STREET
LAKE ELSINORE, CALIFORNIA

A1.20



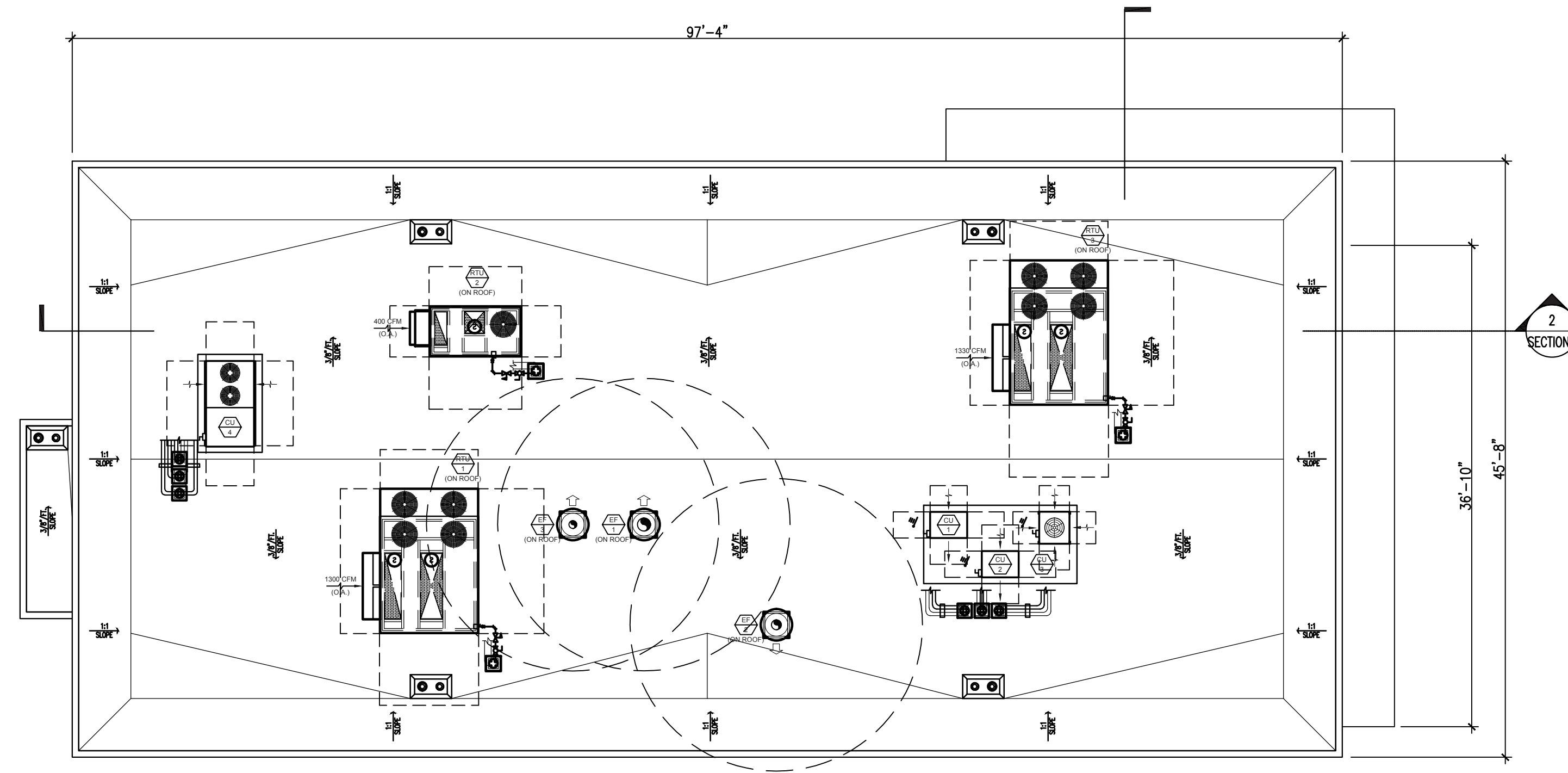
FLOOR PLAN

Scale: 1/8" = 1'-0"

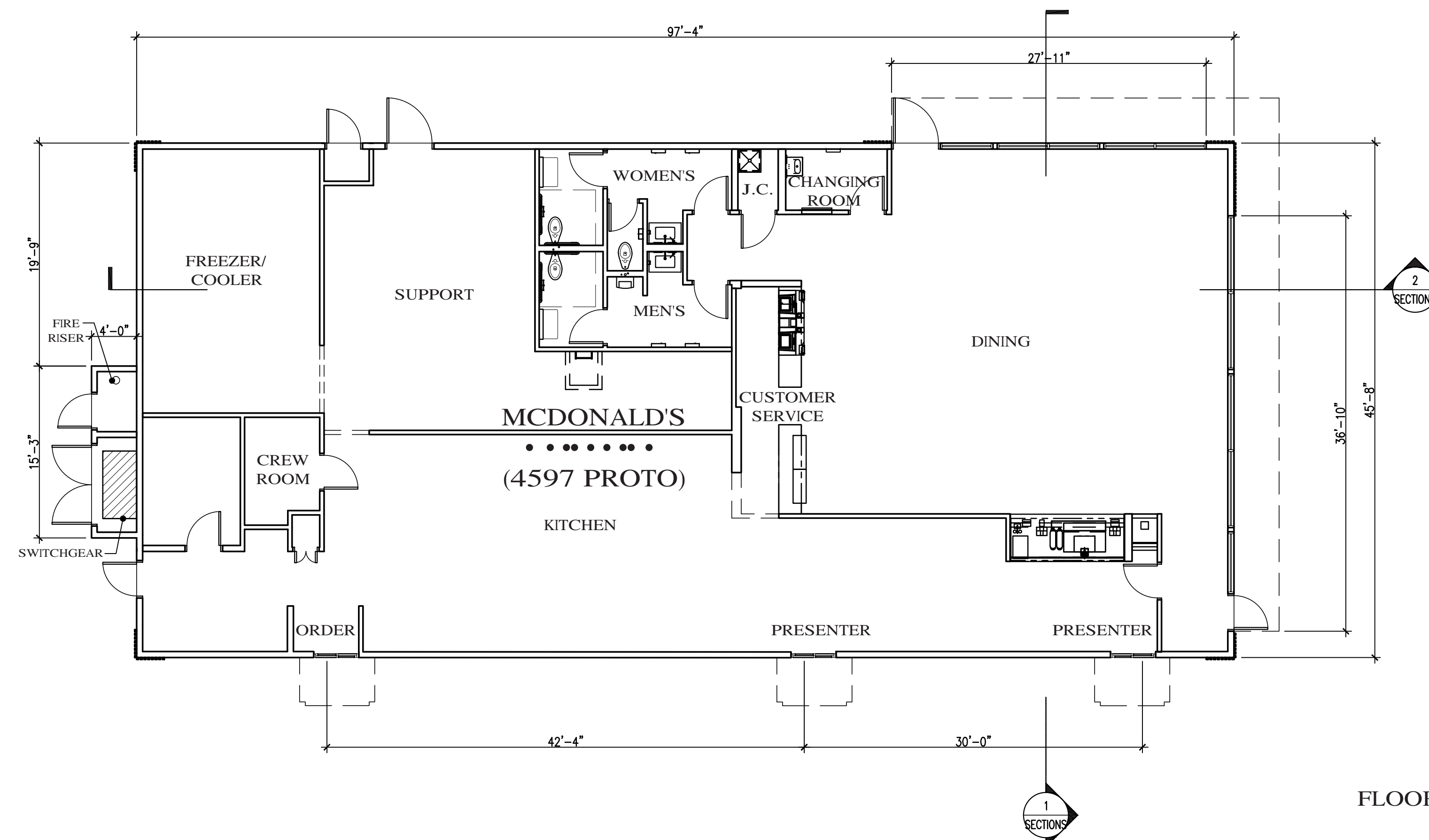
July 13, 2020

F:\20\20160 - Lake Elsinore, Riverside Dr Googie Wash\Design\Floor
Plan\20160 - Floor Plan.dwg

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ROOF PLAN



FLOOR PLAN

NOTES:

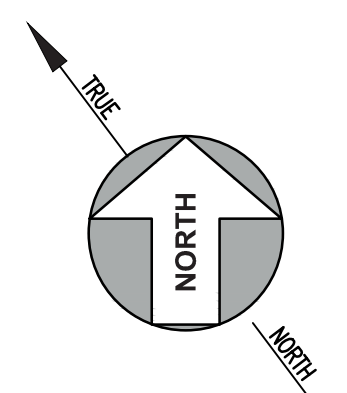
ALL ROOFTOP MOUNTED EQUIPMENT TO BE SCREENED FROM VIEW, LOCATIONS OF ALL EQUIPMENT TO BE CONFIRMED DURING CD PHASE



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McDONALD'S 004-5013

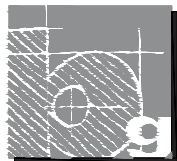
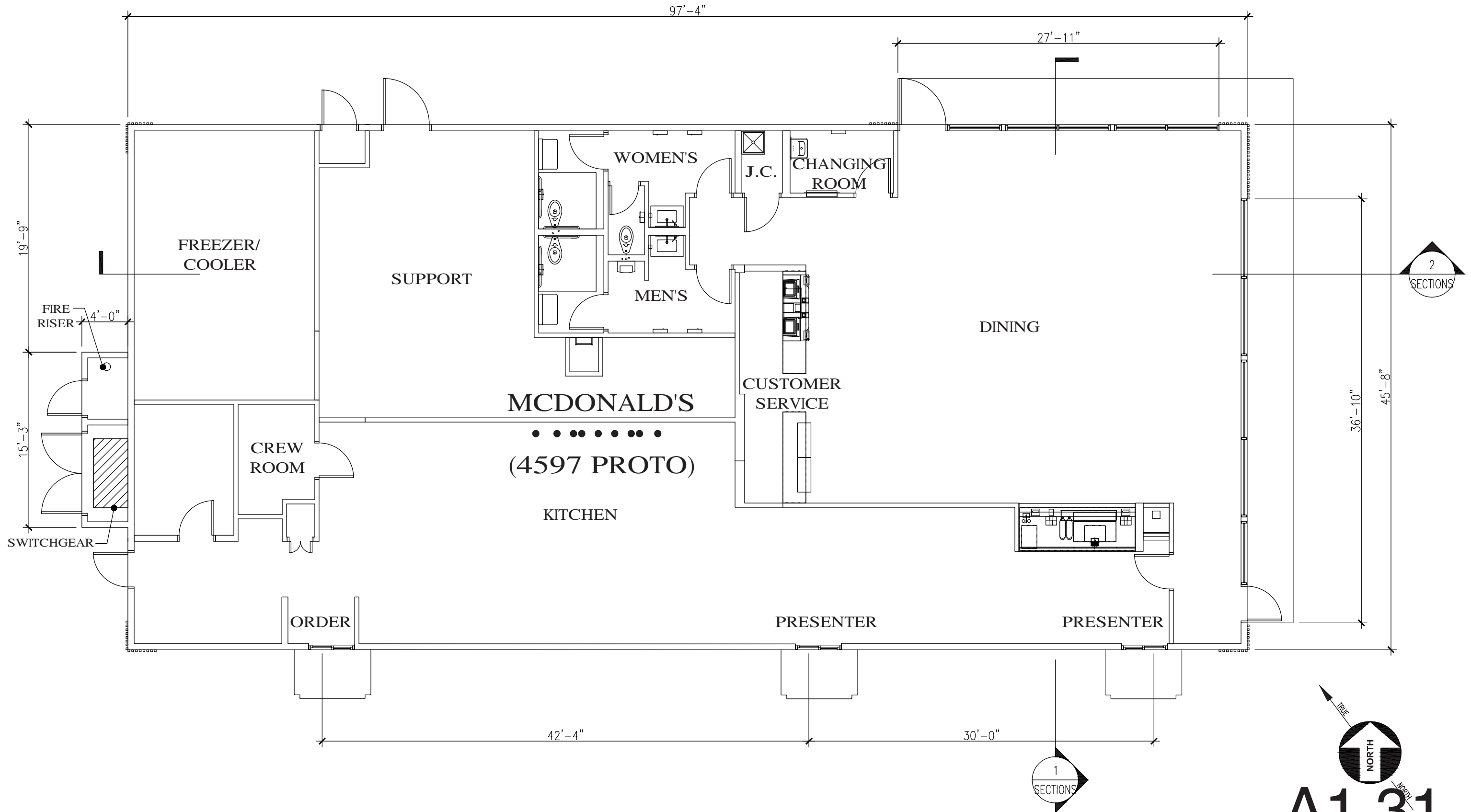
SWC LINCOLN STREET & RIVERSIDE DRIVE
LAKE ELSINORE, CALIFORNIA



A1.30 FLOOR & ROOF PLANS

Scale: 1/8" = 1'-0"
May 20, 2020

FA1919790 - McD Lake Elsinore, SWC Lincoln St & Riverside
Dr\Design\Floor Plan\19790 - Floor Plan.dwg
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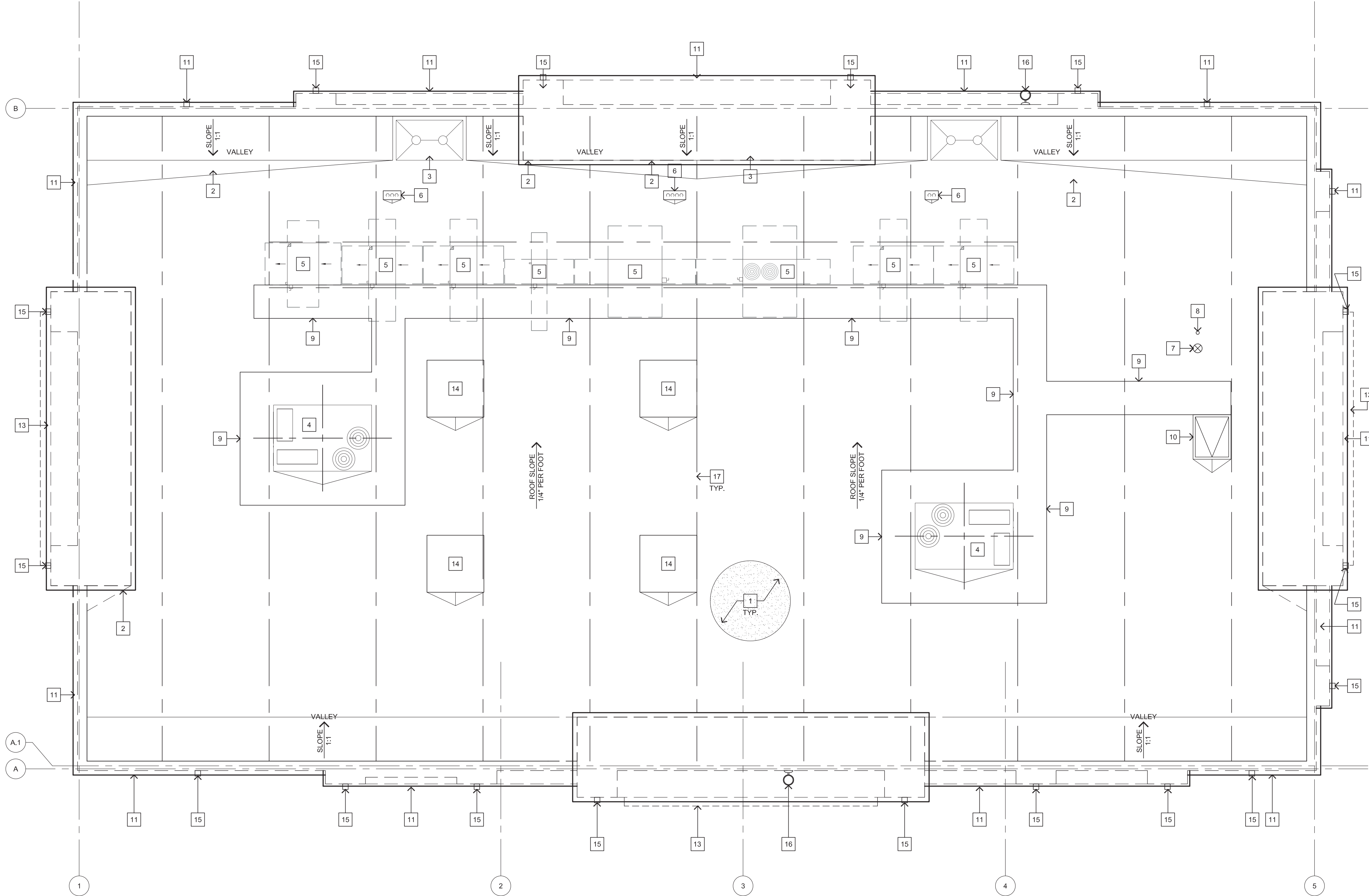
A1.31

FLOOR PLAN

Scale: 1/8" = 1'-0"
May 20, 2020

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ROOF PLAN

SCALE:
1/4" = 1'-0"

1

GENERAL NOTES

1. ROOF MATERIAL IS MINERAL SURFACE ROLL ROOFING. CLASS A FIRE RATING MINIMUM.
2. NEW MECHANICAL CURBS SHALL BE A MINIMUM OF 8" HIGH.
3. MECHANICAL EQUIPMENT SHALL BE SET ON APPROVED CURBS OR PLATFORMS. IN LIEU OF CURBS OR PLATFORMS, EQUIPMENT MAY BE SET ON LEVEL REDWOOD SLEEPERS WHICH SPAN STRUCTURAL ROOF FRAMING MEMBERS. SLEEPERS SHALL BE SET INTO A FULL BED OF ROOFING MASTIC AND SECURED WITH LAG SCREWS INTO STRUCTURAL FRAMING MEMBERS. LAG SCREW HEADS SHALL BE COVERED WITH DOLLOP OF MASTIC.

KEYNOTES

- 1 SINGLE PLY ROOFING OVER ROOF DECK
- 2 ROOF CRICKET WITH TAPERED INSULATION TYP.
- 3 ROOF AND OVERFLOW DRAIN
- 4 FLEXPACK UNIT
- 5 RTU UNIT
- 6 REFRIGERANT PIPE PORTAL
- 7 EXHAUST VENT
- 8 PLUMBING VENT
- 9 WALKING PAD TO BE A MINIMUM 30" AROUND MECHANICAL UNIT.
- 10 ROOF ACCESS HATCH
- 11 PRE-FINISHED METAL COPING
- 12 LOTTO SATELLITE DISH
- 13 INTERNALLY ILLUMINATED SIGNAGE (UNDER SEPARATE PERMIT)
- 14 SKYLIGHT
- 15 WALL SCONCE LIGHT FIXTURE
- 16 EMERGENCY EGRESS LIGHT FIXTURE
- 17 ROOF JOIST

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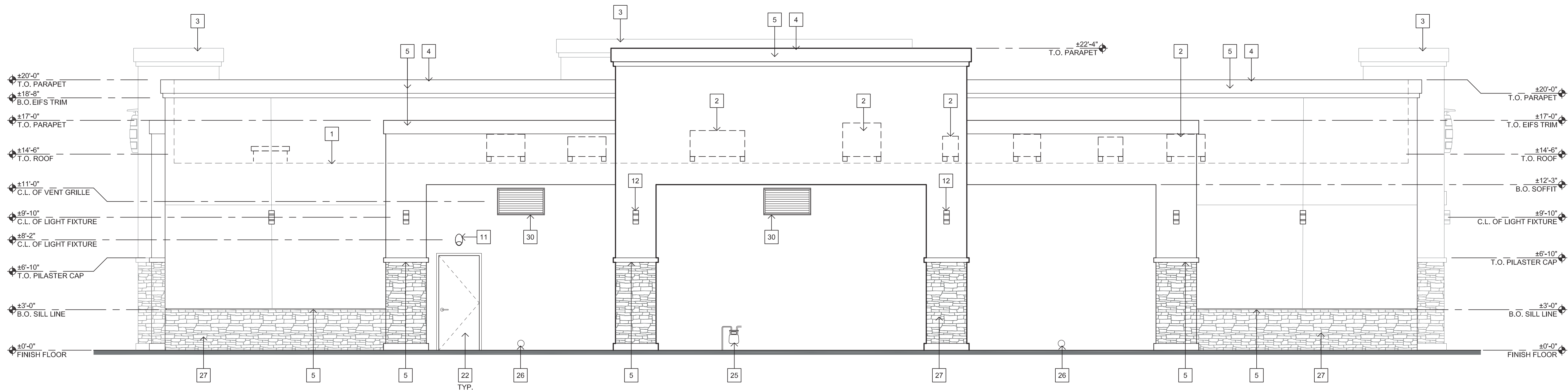
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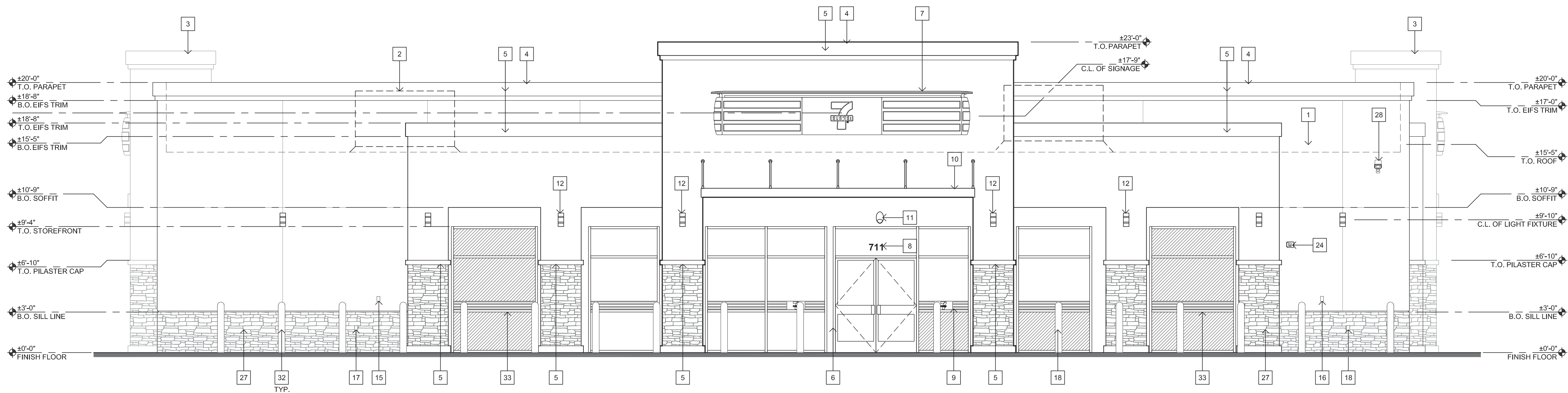
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ROOF PLAN

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1	02/21/20	CLIENT REVISIONS
1	05/27/20	CITY COMMENTS



EXTERIOR ELEVATION - SOUTHWEST
SCALE: 1/4" = 1'-0"
2



EXTERIOR ELEVATION - NORTHEAST (STOREFRONT)
SCALE: 1/4" = 1'-0"
1

Rev. #	Date	Description
1	02/21/20	CLIENT REVISIONS

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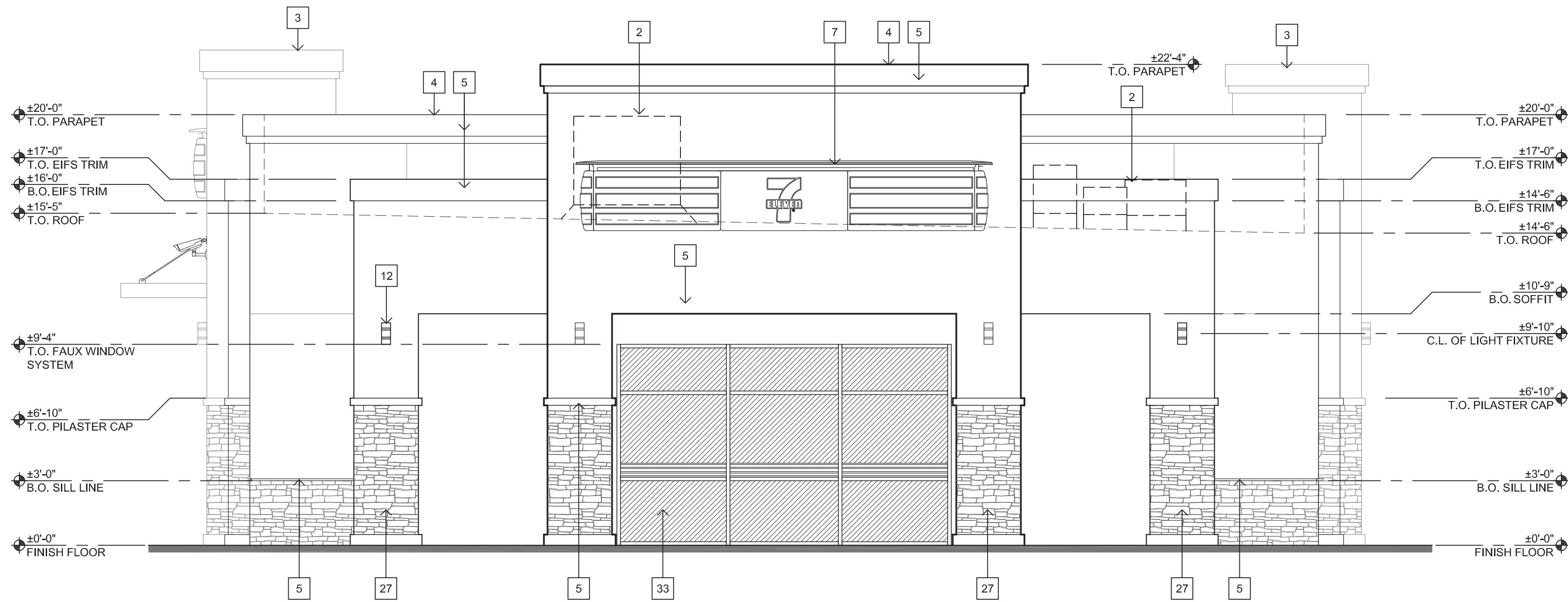
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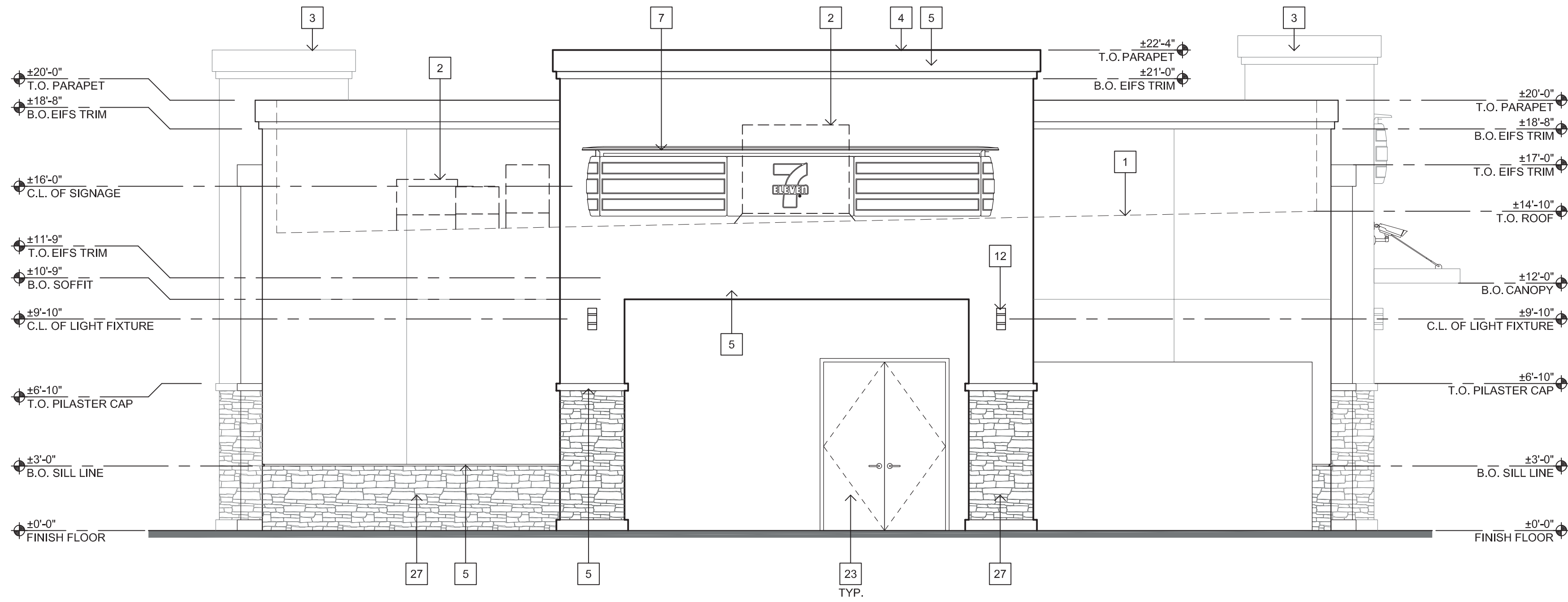
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EXTERIOR ELEVATION - NORTHWEST (FACING LINCOLN STREET)

SCALE:
1/4" = 1'-0"

2



EXTERIOR ELEVATION - SOUTHEAST

SCALE:
1/4" = 1'-0"

1

KEYNOTES

- 1 ROOF LINE
- 2 MECHANICAL UNIT BEYOND
- 3 ELEVATION BEYOND
- 4 20 GA. PREFINISHED METAL PARAPET CAP
- 5 EIFS TRIM WITH FLASHING
- 6 ALUMINUM STOREFRONT SYSTEM
- 7 INTERNALLY ILLUMINATED FASCIA SIGN (UNDER SEPARATE PERMIT) - PROPOSED LOCATION
- 8 6" WHITE VINYL STREET ADDRESS
- 9 7-ELEVEN FILM STRIPING. APPLY PER SIGNAGE DRAWINGS (UNDER SEPARATE PERMIT)
- 10 PREFABRICATED METAL CANOPY
- 11 EMERGENCY EGRESS LIGHT
- 12 WALL SCONCE FIXTURE
- 13 RECESSED LIGHT FIXTURE
- 14 ELECTRICAL SERVICE METER CABINET
- 15 EMERGENCY SHUT OFF FOR FUEL DISPS MTD AT 48-INCHES AFF
- 16 ALTERNATE LOCATION FOR EMERGENCY SHUT OFF FOR FUEL
- 17 EXTERIOR OUTLET MTD AT 24-INCHES AFF
- 18 EXTERIOR OUTLET AT 24-INCHES AFF
- 19 HOSE BIB WITH LOCKABLE BOX
- 20 CO2 TANK CAGE
- 21 N2 TANK CAGE
- 22 EMERGENCY EGRESS DOOR
- 23 ELECTRICAL ROOM DOOR
- 24 KNOX BOX
- 25 GAS METER
- 26 OVERFLOW ROOF DRAIN SPOUT; SET BOTTOM AT 6-INCHES AFS
- 27 STONE VENEER
- 28 SECURITY CAMERA
- 29 PROPANE EXCHANGE
- 30 PREFINISHED DARK BRONZE LOUVER
- 31 WALL HYDRANT
- 32 PARKING BOLLARD
- 33 FAUX WINDOW WITH GLAZING TO MATCH ALUMINUM STOREFRONT SYSTEM

Rev.	Date	Description
1	02/21/20	CLIENT REVISIONS

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EXTERIOR ELEVATIONS	

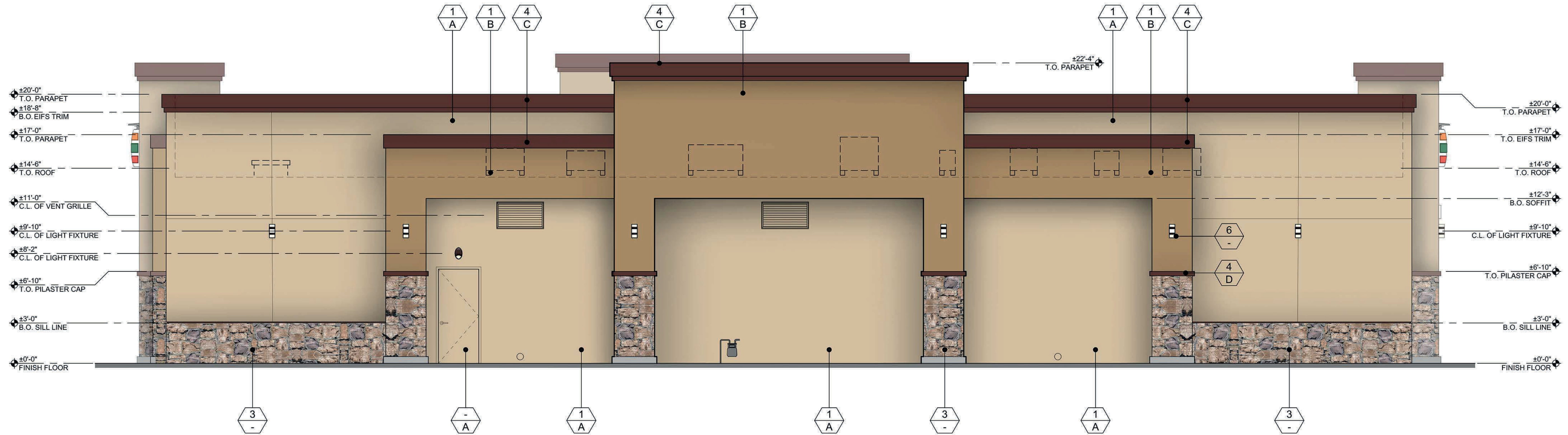
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EXTERIOR ELEVATION - SOUTHWEST
SCALE: 1/4" = 1'-0" 2



EXTERIOR ELEVATION - NORTHEAST (STOREFRONT)
SCALE: 1/4" = 1'-0" 1

Rev. #	Date	Description
1	02/21/20	CLIENT REVISIONS

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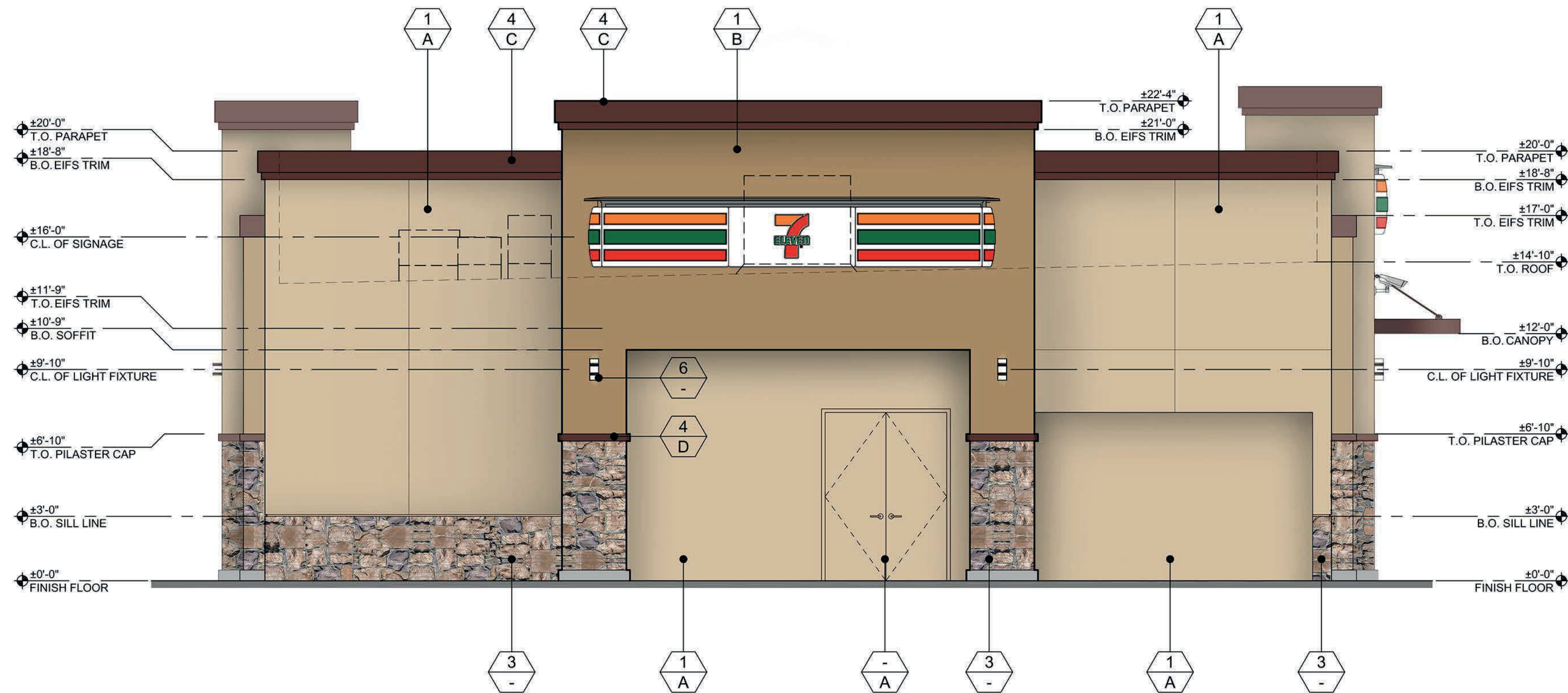
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EXTERIOR ELEVATION - NORTHWEST (FACING LINCOLN STREET)

SCALE:
1/4" = 1'-0"

2

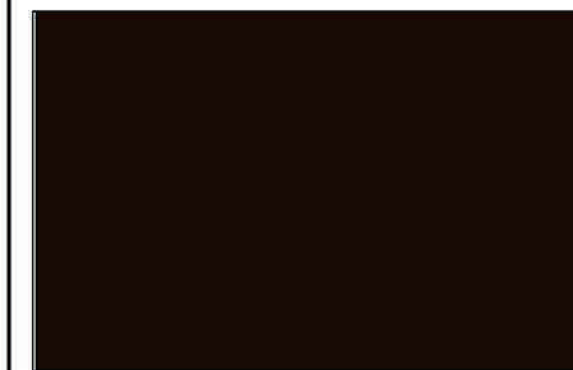


EXTERIOR ELEVATION - SOUTHEAST

SCALE:
1/4" = 1'-0"

1

MATERIAL SAMPLES



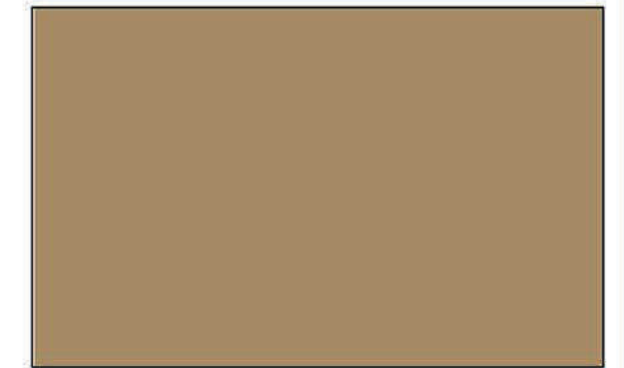
DARK BRONZE
KAWNEER
ANODIZED ALUMINUM



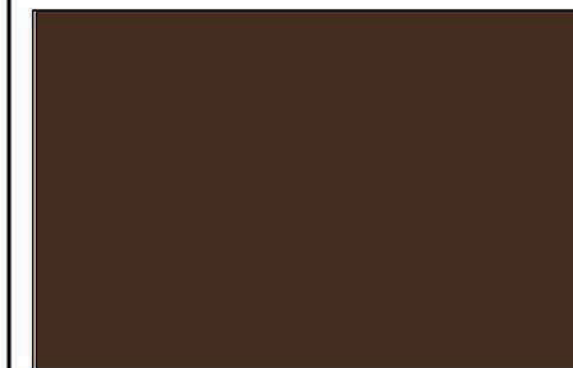
'TUSCAN VILLA'
CORONADO STONE
FLORENTINE



BELIEVABLE BUFF SW6120
SHERWIN WILLIAMS



BAGUETTE SW6123
SHERWIN WILLIAMS



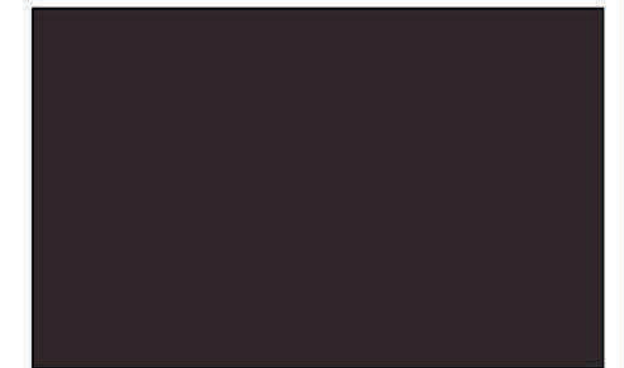
FRENCH ROAST SW6069
SHERWIN WILLIAMS



FIERY BROWN SW6055
SHERWIN WILLIAMS



WALL SCONCE 'APOLLO'
ECLIPSE LIGHTING



PANTONE 'PQ-440C'
BOLLARD COVER, TYP.

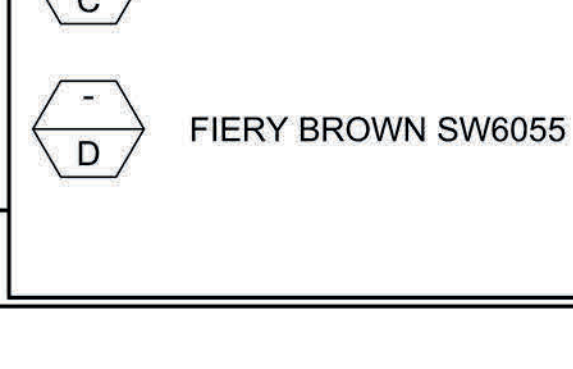
FINISHES

- 7/8" EXTERIOR CEMENT PLASTER OVER 3.4# EXP. DIAMOND MESH OVER "TYVEK" COMMERCIAL WRAP OVER 15# BUILDING PAPERS
MANUFACTURER: LA HABRA STUCCO
A LIGHT DASH. MACHINE APPLY
- ALUMINUM STOREFRONT FRAME SYSTEM 451VTG
BY: KAWNEER
FINISH: DARK BRONZE ANODIZED
- STONE VENEER 'TUSCAN VILLA'
BY: CORONADO STONE
FINISH: FLORENTINE
- CORNICE/ TRIM:
1/8" EXTERIOR STUCCO OVER EIFS CORNICE
A SMOOTH STEEL TROWEL
- ALUMINUM CANOPY
BY: MAPES, INC
FINISH: DARK BRONZE ANODIZED
- EXTERIOR WALL SCONCE 'APOLLO BASIC'
BY: ECLIPSE LIGHTING 'GALILEO'
FINISH: DARK BRONZE ANODIZED
- PARKING BOLLARD PLASTIC COVER
BY: BROWN - PANTONE 'PQ-440C'
MFR: T.B.D.

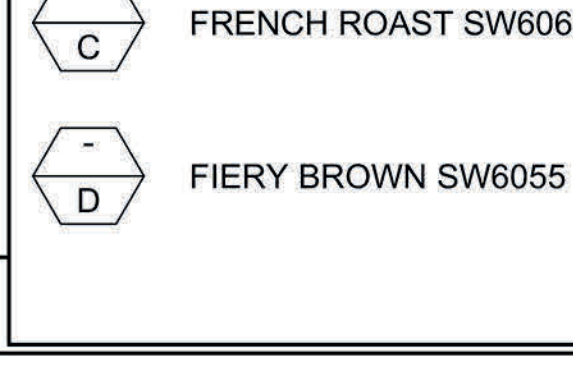
MATERIAL SAMPLES



BELIEVABLE BUFF SW6120 - SHERWIN WILLIAMS



BAGUETTE SW61231 - SHERWIN WILLIAMS



FRENCH ROAST SW6069 - SHERWIN WILLIAMS



FIERY BROWN SW6055 - SHERWIN WILLIAMS

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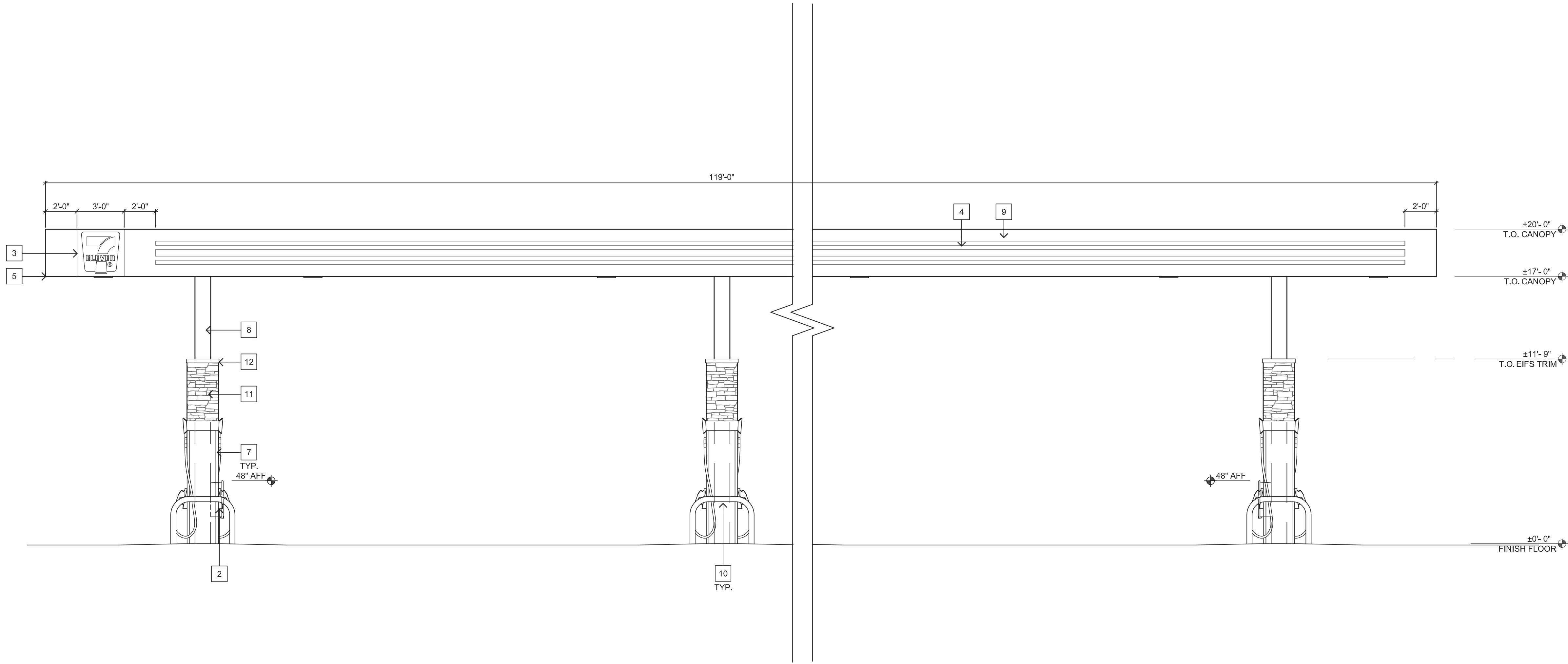
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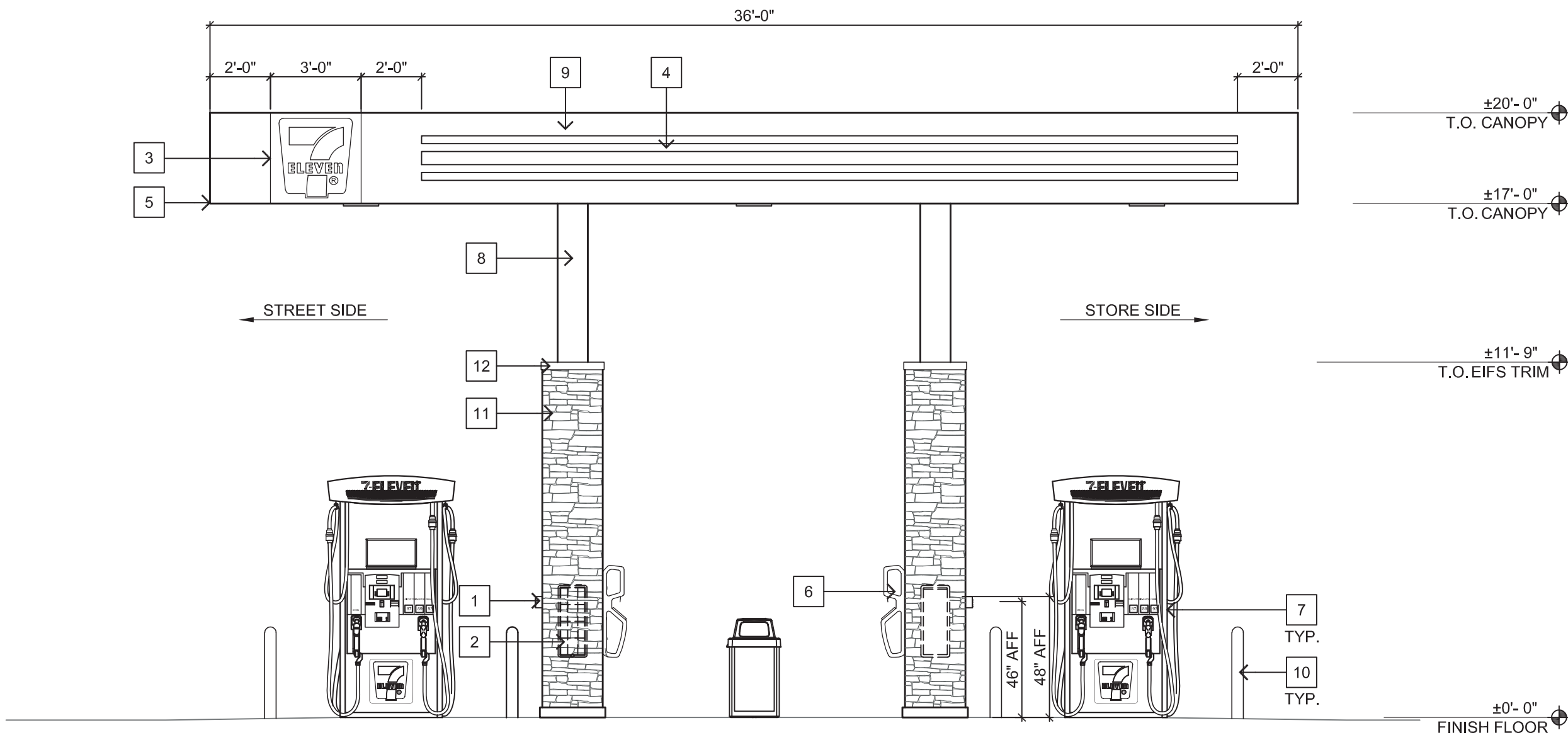
SHEET:
A3.1C



EXTERIOR ELEVATION - NORTHEAST (FACING RIVERSIDE)

SCALE:
1/4" = 1'-0"

2



EXTERIOR ELEVATION - NORTHWEST (FACING LINCOLN ST.)

SCALE:
1/4" = 1'-0"

1

KEYNOTES

- 1 INTERCOM CALL BOX. MECHANICALLY FASTENED TO COLUMN. MOUNT AT 46-INCHES **MAX. ABOVE SLAB** TO BUTTON
- 2 FIRE EXTINGUISHER - ADA MOUNTING HEIGHT TO BE MAX. 48-INCHES FROM GRADE TO PAPER TOWEL OPENING
- 3 3-FEET X 3-FEET **ILLUMINATED LOGO SIGN (UNDER SEPARATE PERMIT)**
- 4 TATEYAMA IMAGE **TRI-STRIP** (NON-ILLUMINATED)
- 5 OVERFLOW PROTECTION AS REQUIRED. SEE **CANOPY DRAWINGS AND** SPECIFICATIONS SPECIFICATIONS
- 6 WASH BUCKET - ADA MOUNTING HEIGHT TO BE MAX. 48-INCHES FROM GRADE TO PAPER TOWEL OPENING
- 7 GAS DISPENSER
- 8 CANOPY COLUMN
- 9 ACM CANOPY FASCIA
- 10 **PARKING CORNER**
- 11 **EIFS OVERLAP**
- 12 EIFS DECORATIVE TRIM WITH FLASHING

Rev. #	Date	Description
1	02/21/20	CLIENT REVISIONS
1	05/27/20	CITY COMMENTS

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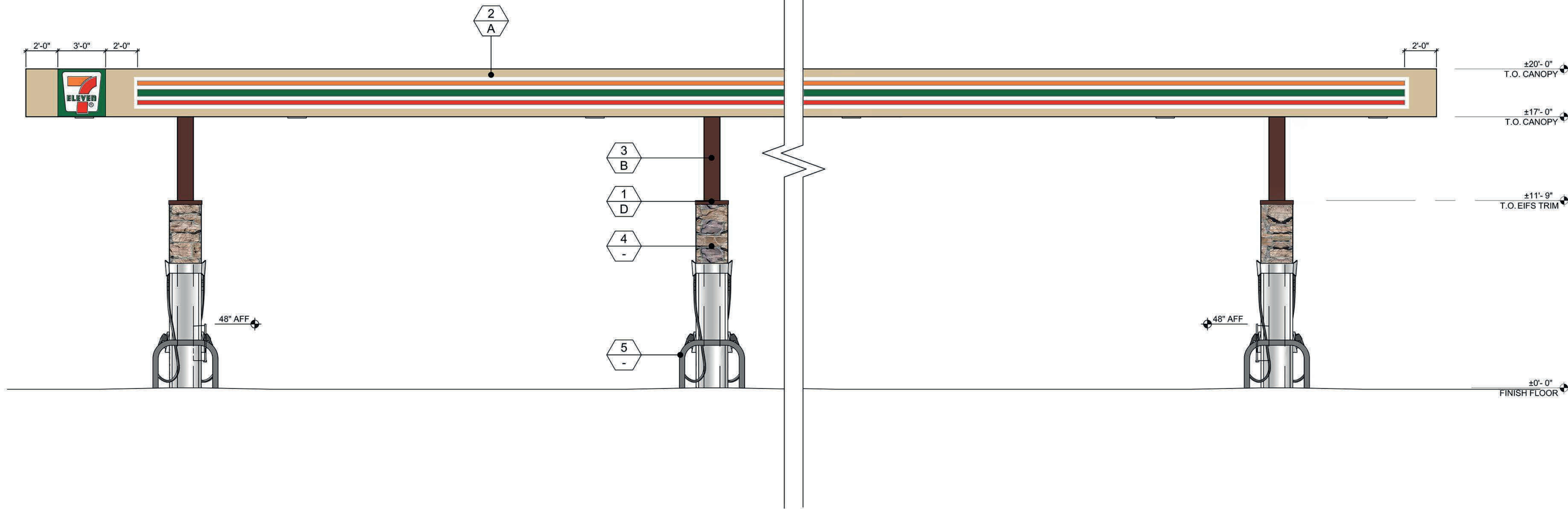
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A3.2



EXTERIOR ELEVATION - NORTHEAST (FACING RIVERSIDE)

SCALE:
1/4" = 1'-0"

2

MATERIAL SAMPLES

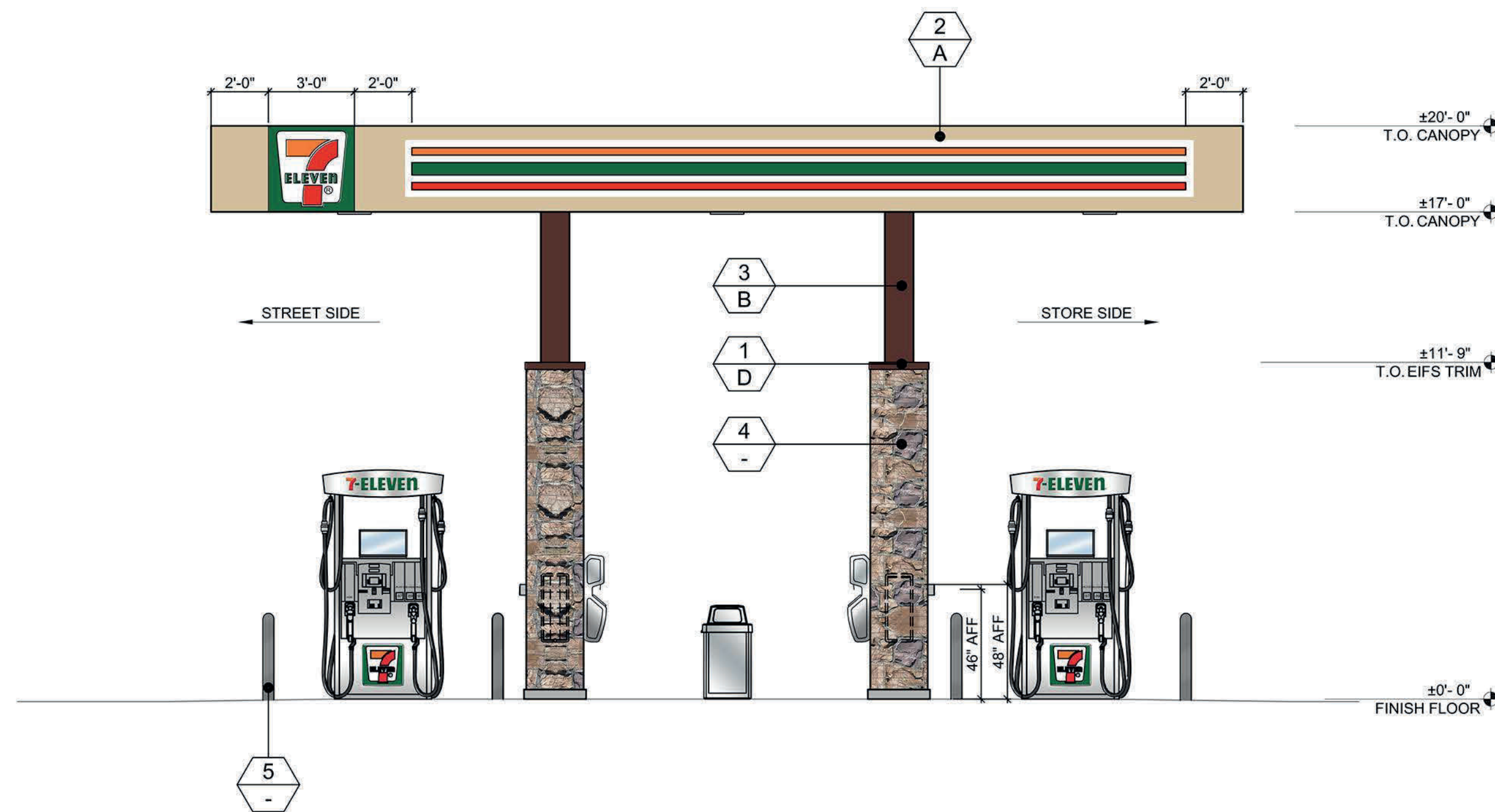


FINISHES

- 1 - 1/8" EXTERIOR STUCCO OVER EIFS CAP TRIM
- 2 - ACM CANOPY FASCIA
- 3 - CANOPY COLUMN
- 4 - STONE VENEER 'TUSCAN VILLA'
BY: CORONADO STONE
FINISH: FLORENTINE
- 5 - PARKING BOLLARD PLASTIC COVER
BY: BROWN - PANTONE 'PQ-440C'
MFR: T.B.D.

MATERIAL SAMPLES

- A - BELIEVEABLE BUFF SW6120 - SHERWIN WILLIAMS
- B - BAGUETTE SW61231 - SHERWIN WILLIAMS
- C - FRENCH ROAST SW6069 - SHERWIN WILLIAMS
- D - FIERY BROWN SW6055 - SHERWIN WILLIAMS



EXTERIOR ELEVATION - NORTHWEST (FACING LINCOLN ST.)

SCALE:
1/4" = 1'-0"

1

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EXTERIOR ELEVATIONS - FUEL

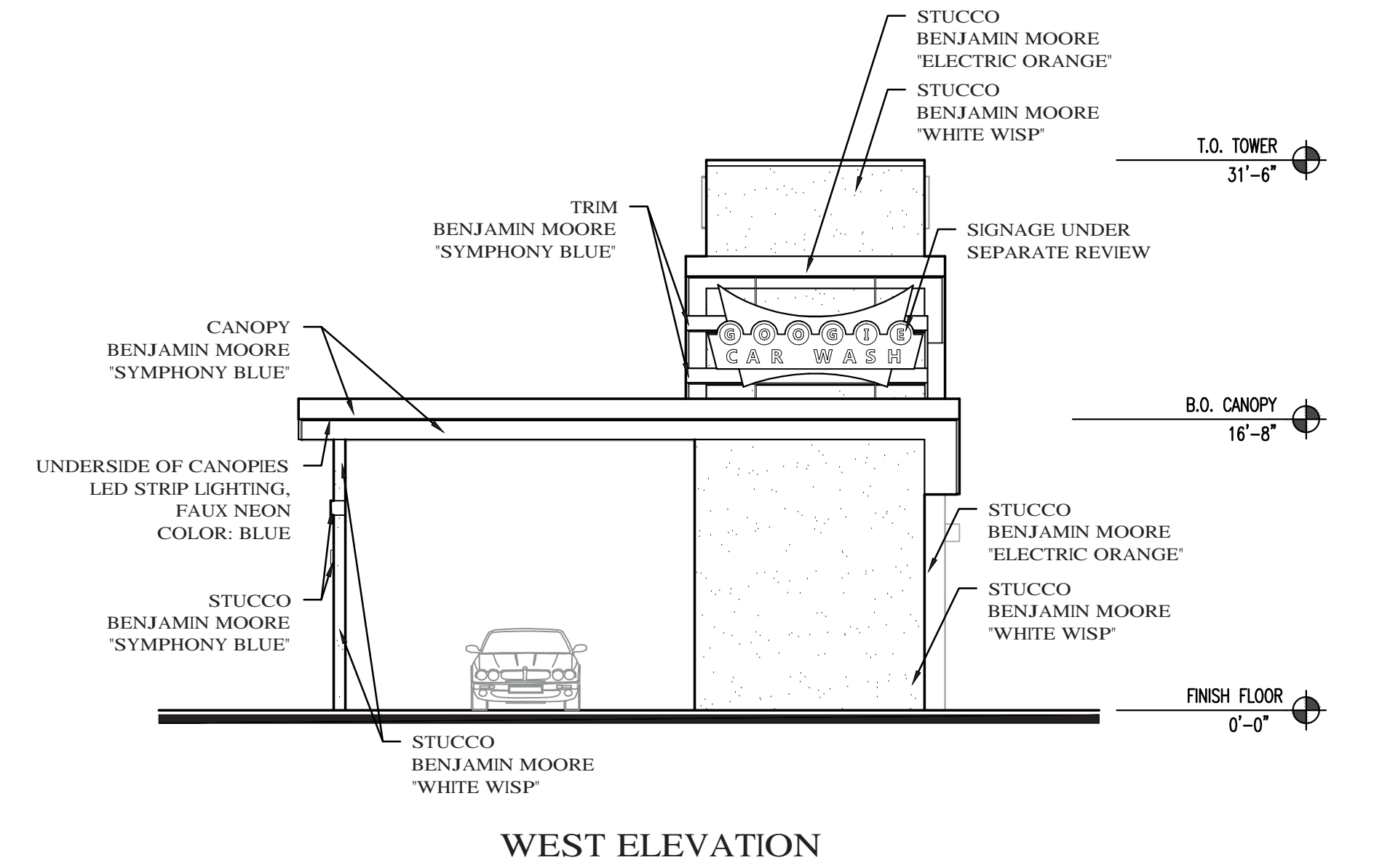
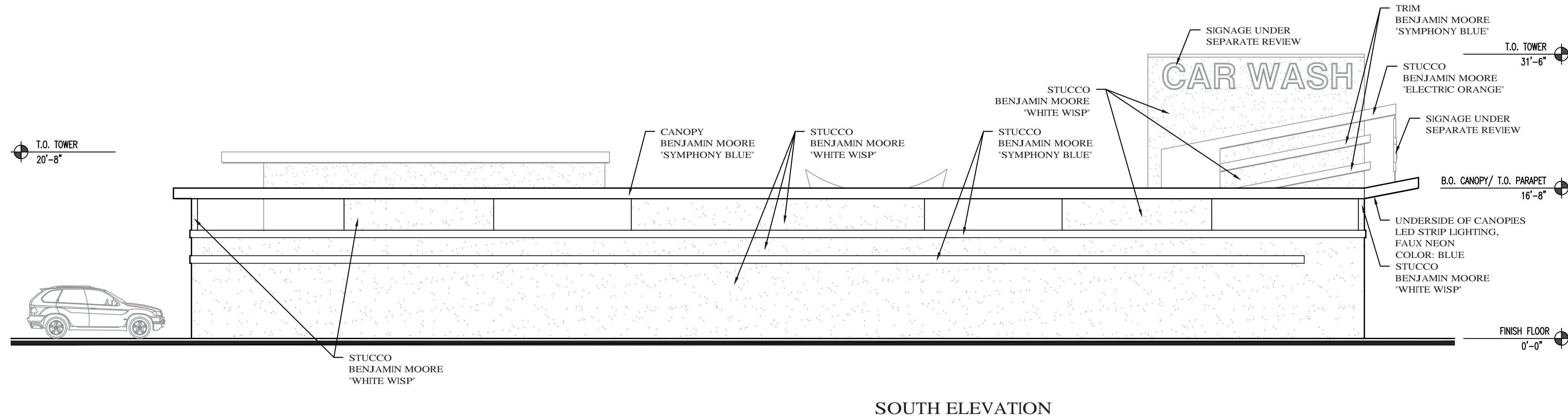
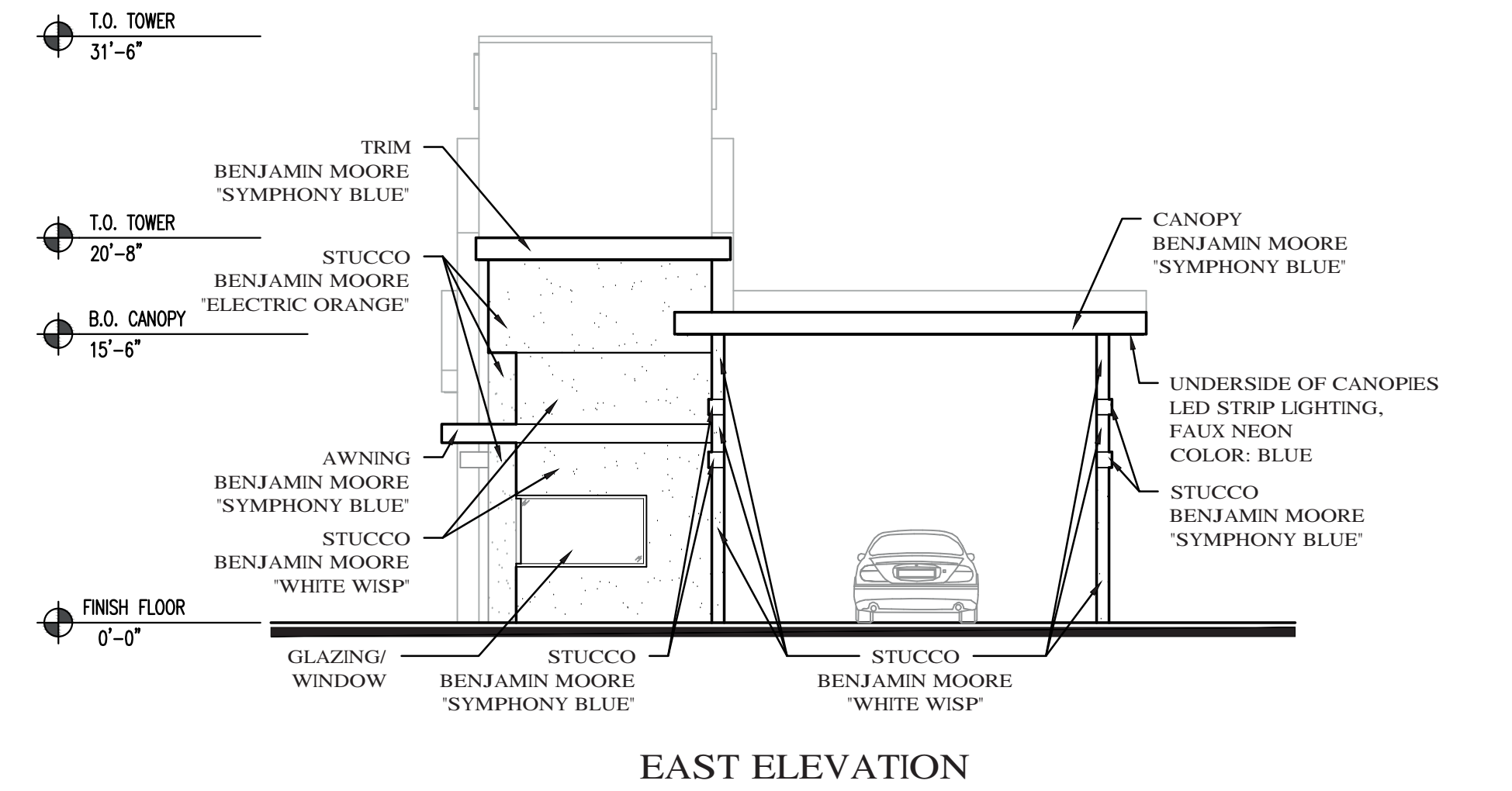
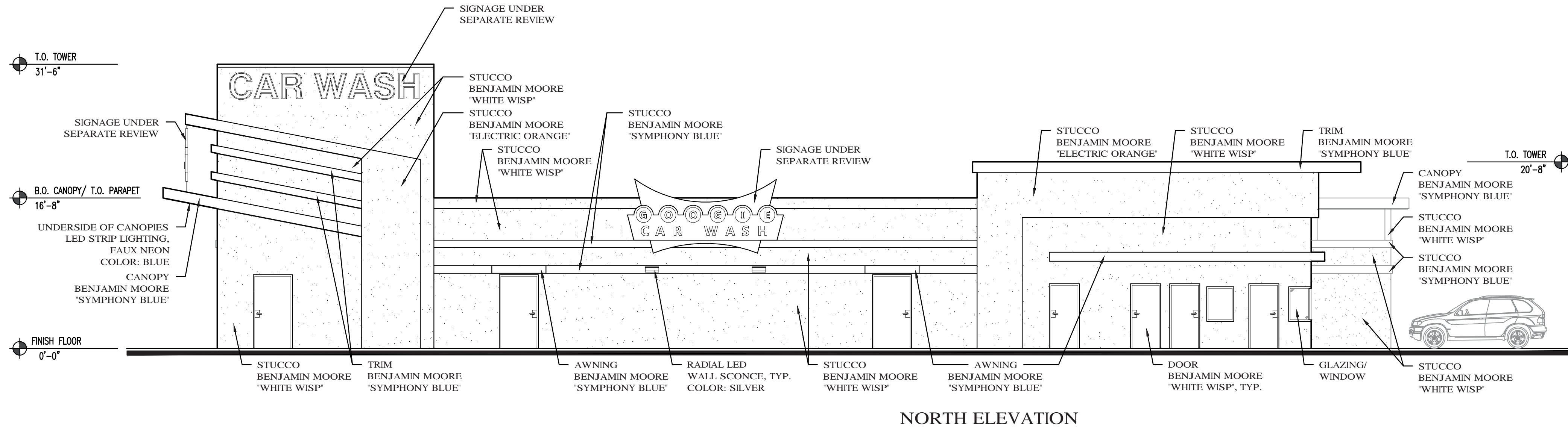


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Job#:	SE1208
Scale:	AS NOTED
Date:	05/28/20
Drawn By:	KJ
Checked By:	PM

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SHEET:
A3.2



CAR WASH VACUUM CANOPY



BICKEL GROUP
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BICKEL GROUP INCORPORATED
3600 BIRCH STREET, SUITE 120
NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
www.bickelgrp.com

GOOGIE CAR WASH

15209 LINCOLN STREET
LAKE ELSINORE, CALIFORNIA

A3.20 ELEVATIONS

Scale: 1/8" = 1'-0"
July 13, 2020

F:\20\20160 - Lake Elsinore, Riverside Dr Googie Wash\Design\Elevations\20160 - Elevation.dwg

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GOOGIE CAR WASH - LAKE ELSINORE , CA - LIGHTING DESIGN



LED STRIP LIGHTING,
FAUX NEON
COLOR: BLUE

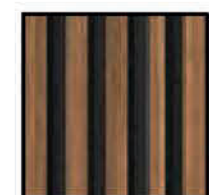


RADIAL LED WALL SCONCE
COLOR: SILVER



6" RECESSED LED
DOWNLIGHT, OR SIMILAR
COLOR: SILVER

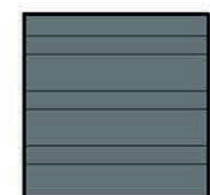
A3.21



2"x2" ALUMINUM BATTEN
B+N INDUSTRIES
FORTINA
TA-647



ALUMINUM COMPOSITE
ALPOLIC
RAL
7022



REVEAL PANEL
METAL ERA
WEATHERED ZINC



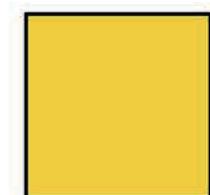
PLASTER/STUCCO
RAL
7022



PLASTER/STUCCO
BENJAMIN MOORE
FAIRVIEW TAUPE
HC-85



STOREFRONT
DARK BRONZE
ALUMINUM



PANTONE 123



BICKEL GROUP
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BICKEL GROUP INCORPORATED
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NEWPORT BEACH, CA 92660
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www.bickelgrp.com

McDONALD'S 004-5013

SWC LINCOLN STREET & RIVERSIDE DRIVE
LAKE ELSINORE, CALIFORNIA

A3.30
ELEVATIONS

Scale: 1/8" = 1'-0"
January 31, 2020

F:\19\19790 - McD Lake Elsinore, SWC Lincoln St & Riverside
Dr\Design\Elevations\19790 - Elevations.dwg
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BB20 Design Elements – In Depth // **LIGHTING**



**LINEAR LED ACCENT FIXTURE
BY SECURITY LIGHTING
COLOR: RAL 7022**

BATTEN AREAS



**RADIAL LED WALL SCONCE
BY SECURITY LIGHTING
COLOR: WHITE**

WHITE CANOPY



**RADIAL LED WALL SCONCE
BY SECURITY LIGHTING
COLOR: SILVER**

BACK OF HOUSE
DRIVE THRU



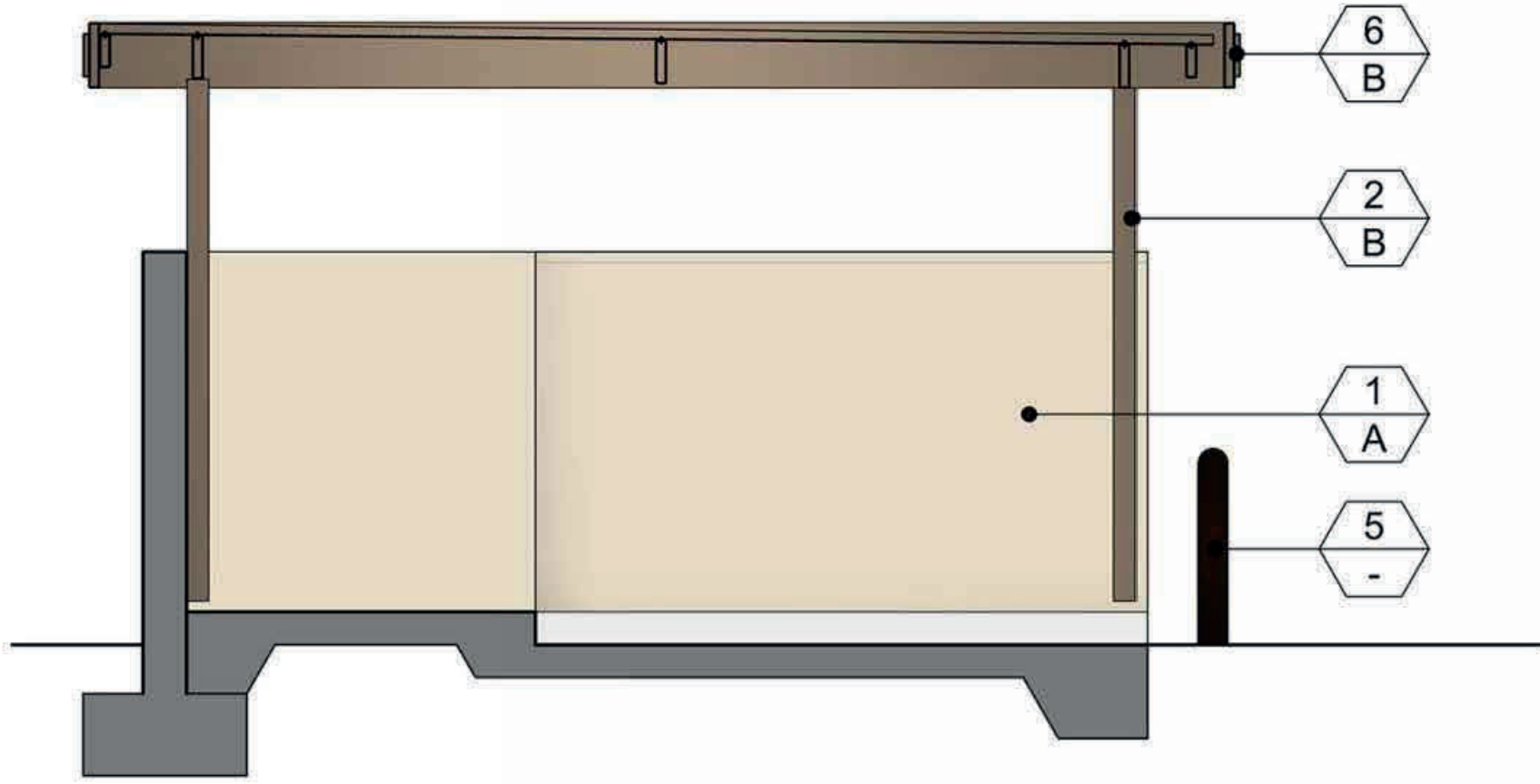
**ARCHITECTURAL LED FLOOD LIGHT
BY SECURITY LIGHTING
COLOR: RAL 7022**

WHITE CANOPY (ABOVE)



**6" LED DOWNLIGHT
BY SECURITY LIGHTING
COLOR: WHITE**

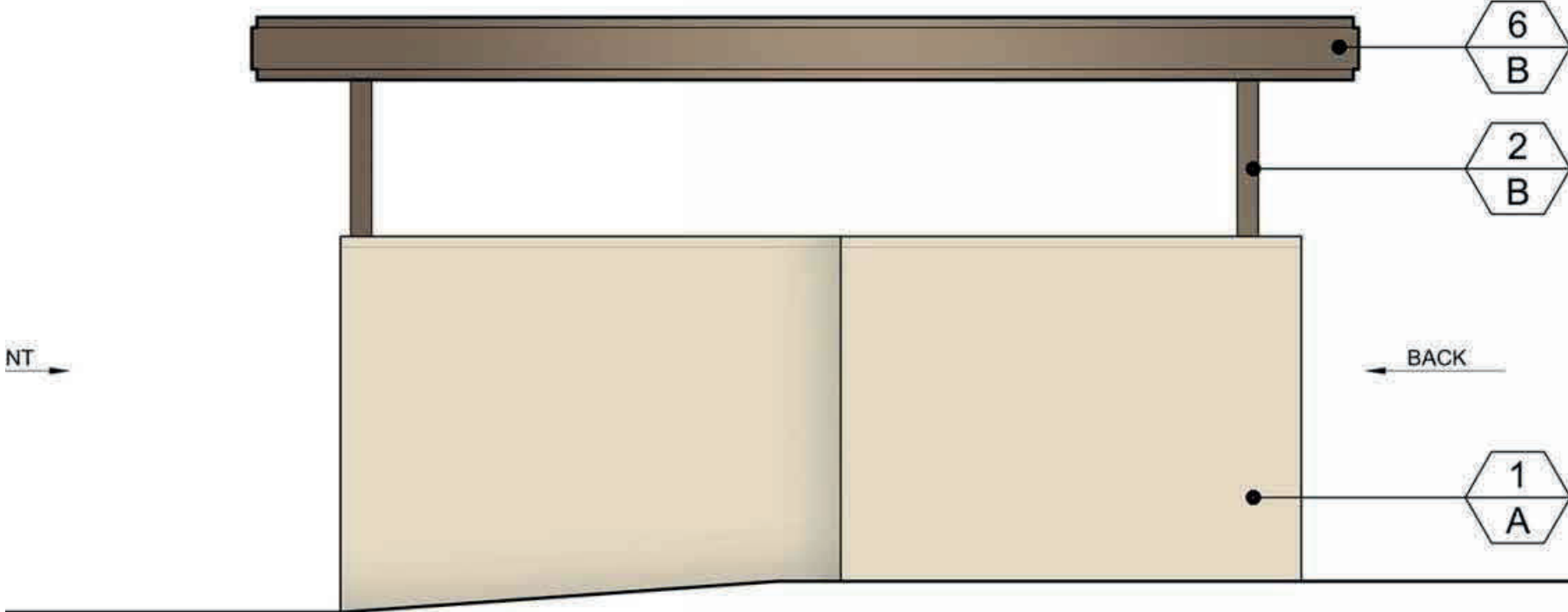
DRIVE THRU CANOPIES
CUSTOMER ENTRIES AT GOLD
UNDERSCORE



ENCLOSURE SECTION

SCALE: 3/8" = 1'-0"

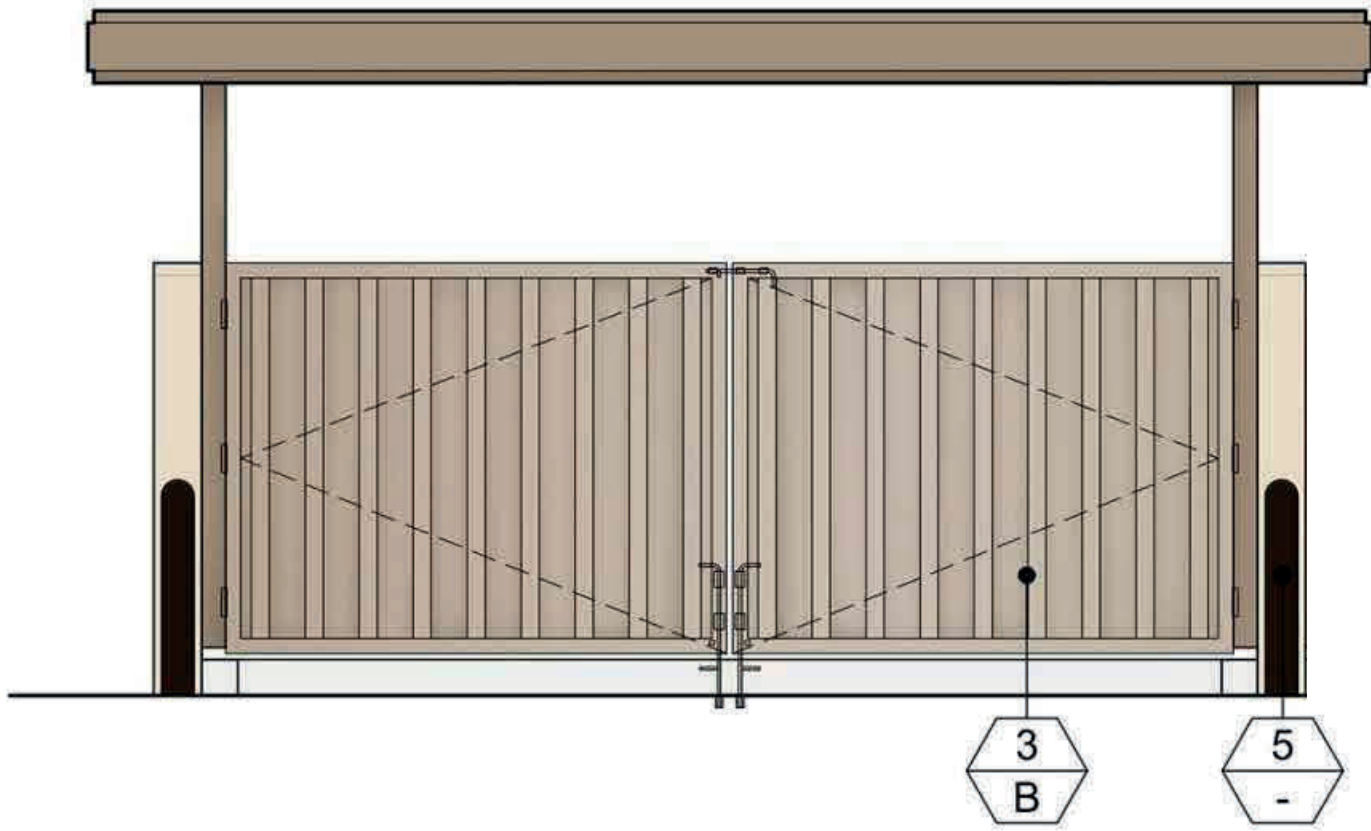
7



ENCLOSURE ELEVATION

SCALE: 3/8" = 1'-0"

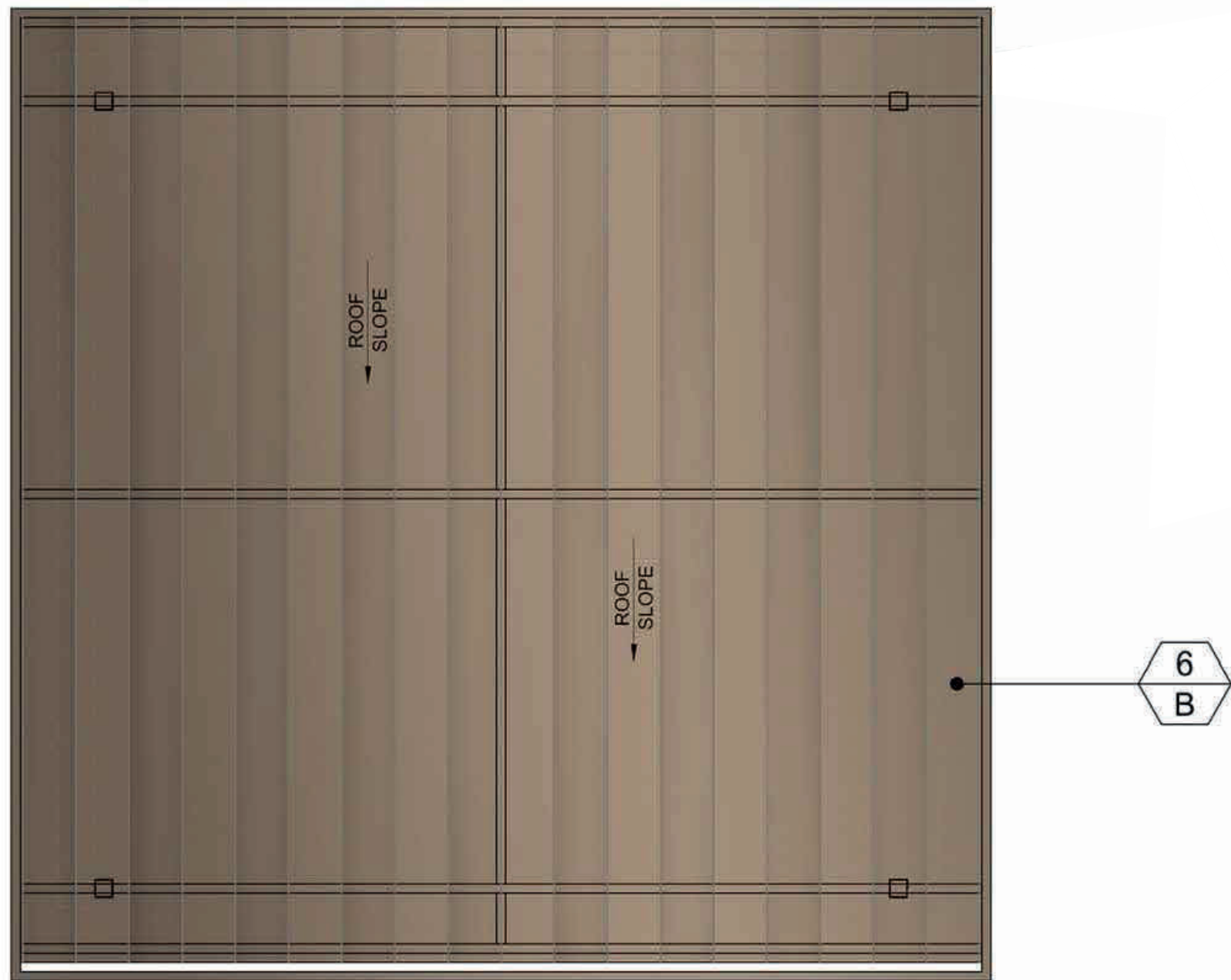
6



ENCLOSURE ELEVATION

SCALE: 3/8" = 1'-0"

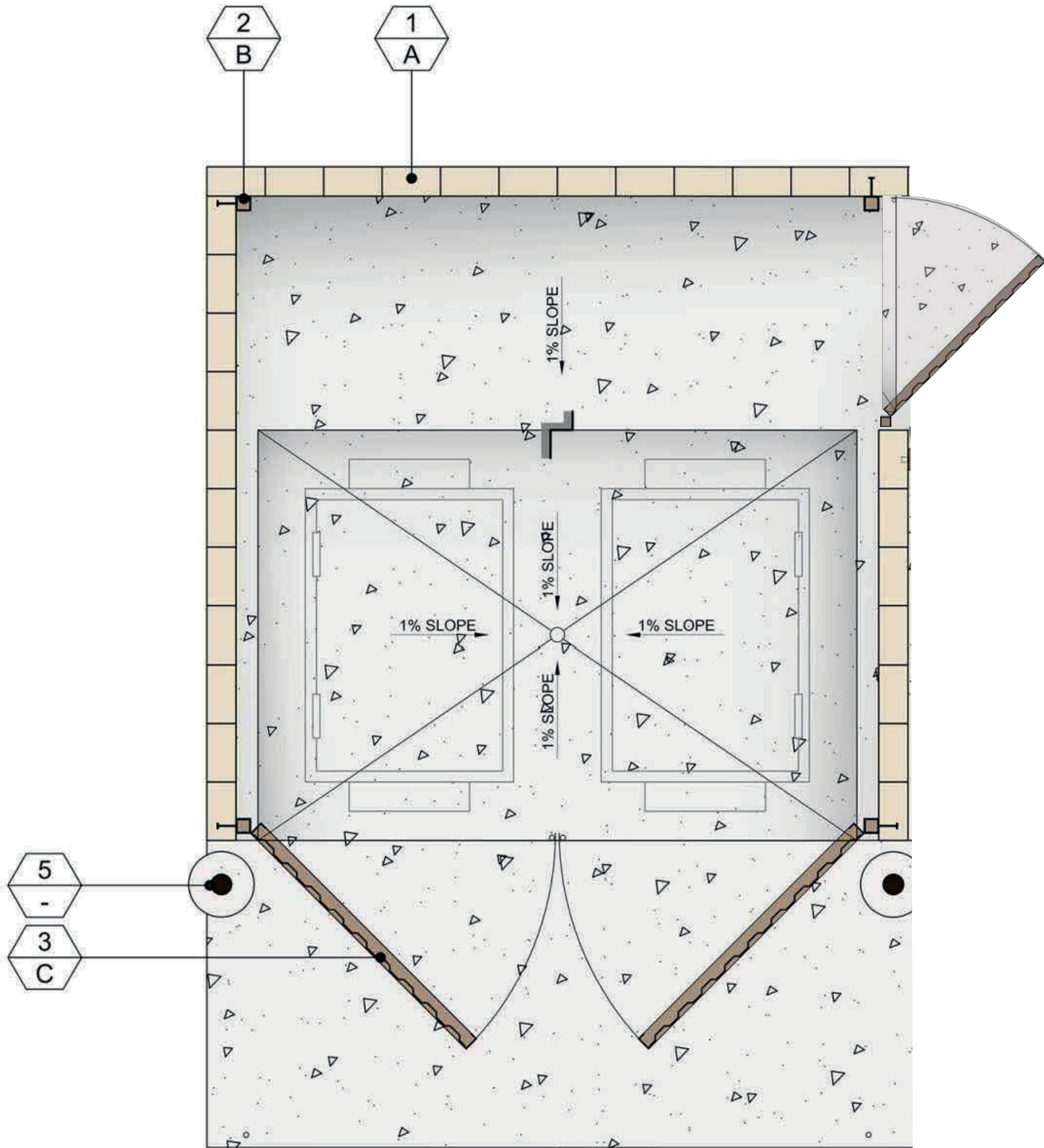
2



ENCLOSURE ROOF PLAN

SCALE: 3/8" = 1'-0"

5



ENCLOSURE PLAN

SCALE: 3/8" = 1'-0"

1

MATERIAL SAMPLES



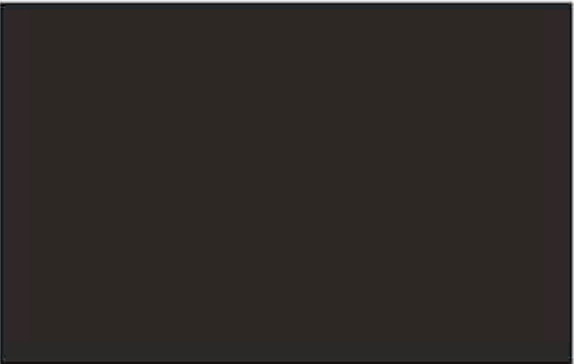
CASA BLANCA - SW 7571
SHERWIN WILLIAMS



MEXICAN SAND - SW 7519
SHERWIN WILLIAMS

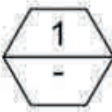


ANODIZED DARK BRONZE
KAWNEER



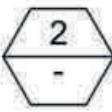
PANTONE 'PQ-440C'
BOLLARD COVER, TYP.

FINISHES



7/8" EXTERIOR CEMENT PLASTER OVER 8"x8"x16"x6'-0" H CMU WALL. PROVIDE GRAFFITI RESISTANT COATING.4# EXP. DIAMOND MESH OVER "TYVEK" COMMERCIAL WRAP OVER 15# BUILDING PAPERS

MANUFACTURER: LA HABRA STUCCO
A LIGHT DASH. MACHINE APPLY



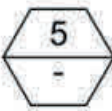
4"x4" STEEL COLUMNS /TRELLIS
FINISH: DARK BRONZE ANODIZED
MFR: T.B.D.



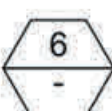
16 GA. RIBBED METAL GATES
FINISH: DARK BRONZE ANODIZED
MFR: T.B.D.



METAL FLASHING CAP
FINISH: SHERWIN WILLIAMS
MFR: T.B.D.

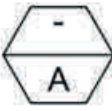


PARKING BOLLARD PLASTIC COVER
FINISH: BROWN - PANTONE 'PQ-440C'
MFR: T.B.D.

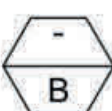


CORRUGATED METAL PANEL
FINISH: MEXICAN SAND - SW7519
MFR: T.B.D.

MATERIAL SAMPLES



CASA BLANCA - SW 7571
SHERWIN WILLIAMS



MEXICAN SAND - SW 7519
SHERWIN WILLIAMS



DARK BRONZE #40
KAWNEER



1180 S. BEVERLY DR #300
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424.241.2256



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ARCHITECT: ATC DESIGN GROUP
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CPOST@ATCDSIGNGROUP.COM
TEL: 760.738.8809

ASSESSOR'S PARCEL# 379-111-014
15209 LINCOLN ST.
LAKE ELSINORE, CA

BLDG INFO:
GROSS ACERAGE: 6.29 ACRES
TOTAL BLDG AREA: 51,101 SF
CANOPY AREA: 7,697 SF
LOT COVERAGE:
LANDSCAPING LOT COVERAGE:
LANDSCAPING PROVIDED:

REQUIRED BLDG SETBACKS:
FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

No.	Description	Date

15209 LINCOLN STREET,
LAKE ELSINORE, CA

DETAILS

Project number 0711-10

Date 2020-07-15

Drawn by

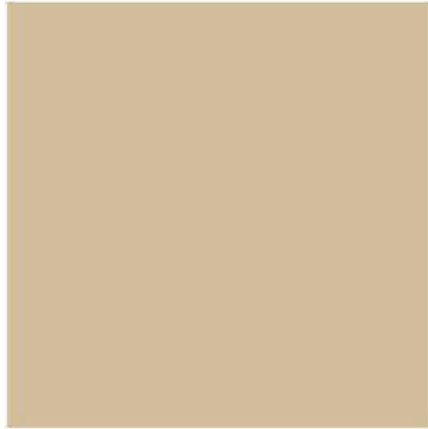
Checked by

A5.00

Scale As indicated



WALL SCONCE
APOLLO 'BASIC'
ECLIPSE LIGHTING



BELIEVABLE BUFF
SW6120
SHERWIN WILLIAMS



BAGUETTE
SW6123
SHERWIN WILLIAMS



FRENCH ROAST
SW6069
SHERWIN WILLIAMS



FIERY BROWN
SW6055
SHERWIN WILLIAMS



TUSCAN VILLA
'FLORENTINE'
CORONADO STONE



NORTHEAST (STOREFRONT) ELEVATION

A7.00

TAIT

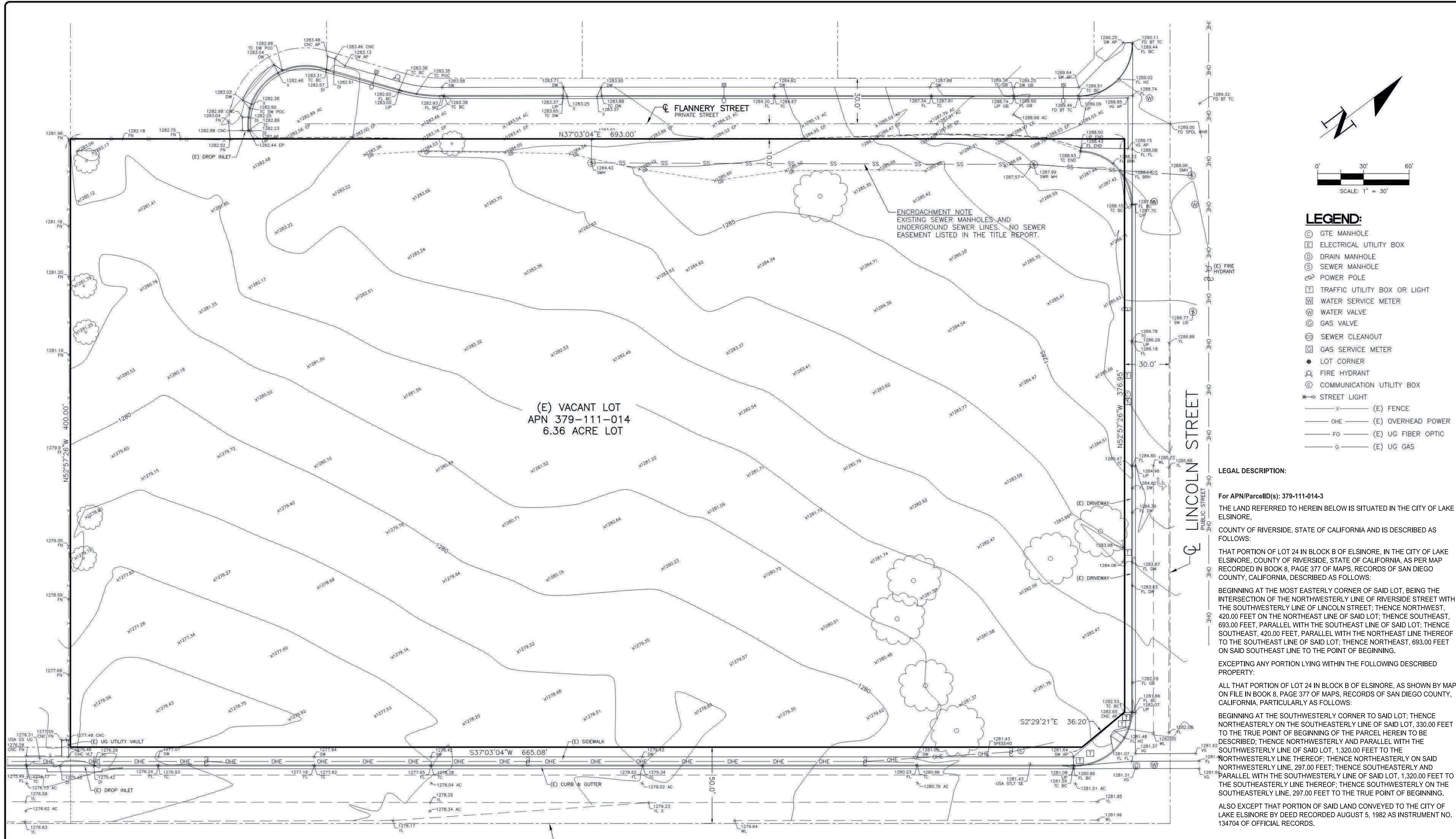
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RIVERSIDE DRIVE, HWY 74 & LINCOLN
LAKE ELSINORE, CA 92530





- ABBREVIATIONS:**
- AC = ASPHALT CONCRETE
 - AP = ANGLE POINT
 - CNC = CONCRETE
 - CLK = CHAIN-LINK
 - COR = CORNER
 - DI = DROP INLET
 - DW = DRIVEWAY
 - (E) = EXISTING
 - EP = EDGE OF PAVEMENT
 - FD = FOUND
 - FO = FACE OF
 - FF = FINISH FLOOR
 - FL = FLOWLINE
 - FN = FENCE
 - GR = GRASS
 - INV = INVERT
 - IP = IRON PIPE
 - LP = LOW POINT
 - NG = NATURAL GROUND
 - MH = MANHOLE
 - MON = MONUMENT
 - OHE = OVERHEAD ELECTRIC LINE
 - PP = POWERPOLE
 - RET = RETENTION WALL
 - R/W = RIGHT-OF-WAY
 - R/P = RIGHT-OF-WAY
 - SD = STORM DRAIN
 - SGN = SIGN
 - SPG = WATER SPIGOT
 - SMH = SEWER MANHOLE
 - STP = STEP
 - TC = TOP OF CURB
 - TOE = TOE OF SLOPE
 - TOP = TOP OF SLOPE
 - WD = WOOD
 - WI = WROUGHT IRON
 - WLL = WALL

BASIS OF BEARINGS:
THE BEARING OF N52°57'26"W, SHOWN FOR THE CENTERLINE OF LINCOLN STREET ON PARCEL MAP NO. 13633, MAP BOOK 82, PAGE 55, WAS USED AS THE BASIS OF BEARINGS HEREON.

NOTES:
ALL DISTANCES AND DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
THE PROPERTY LINES SHOWN HEREON ARE RECORD.

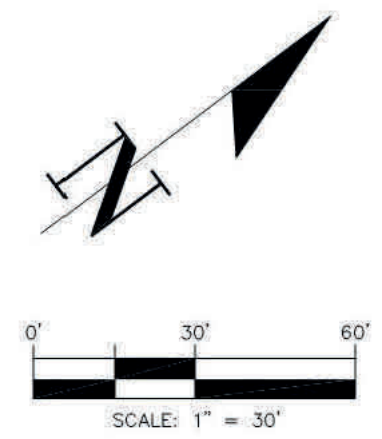
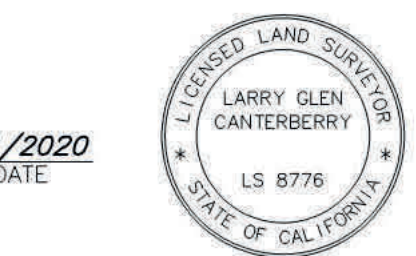
LAND AREA:
CONTAINING AN AREA OF 6.36 ACRES, MORE OR LESS

LEGAL DESCRIPTION:
PORTION OF LOT 24 IN BLOCK B OF ELSINORE, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 377 OF MAPS

LOCAL BENCHMARK:
TOP OF SPINDLE AND WASHER AT CENTERLINE INTERSECTION OF LINCOLN STREET AND FLANNERY STREET
ELEVATION: 1289.00 FEET

SURVEYOR'S STATEMENT:
THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF ILAN GOLCHEH IN JANUARY OF 2020.

Larry Glen Canterberry 1/21/2020
LARRY GLEN CANTERBERRY, LS 8776 DATE



- LEGEND:**
- GTE MANHOLE
 - ELECTRICAL UTILITY BOX
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - POWER POLE
 - TRAFFIC UTILITY BOX OR LIGHT
 - WATER SERVICE METER
 - WATER VALVE
 - GAS VALVE
 - SEWER CLEANOUT
 - GAS SERVICE METER
 - LOT CORNER
 - FIRE HYDRANT
 - COMMUNICATION UTILITY BOX
 - STREET LIGHT
 - (E) FENCE
 - OHE OVERHEAD POWER
 - FO (E) UG FIBER OPTIC
 - G (E) UG GAS

LEGAL DESCRIPTION:

For APN/ParcelID(s): 379-111-014-3
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
THAT PORTION OF LOT 24 IN BLOCK B OF ELSINORE, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 377 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT, BEING THE INTERSECTION OF THE NORTHWESTERLY LINE OF RIVERSIDE STREET WITH THE SOUTHWESTERLY LINE OF LINCOLN STREET; THENCE NORTHWEST, 420.00 FEET ON THE NORTH LINE OF SAID LOT; THENCE SOUTHEAST, 693.00 FEET, PARALLEL WITH THE SOUTHEAST LINE OF SAID LOT; THENCE SOUTHEAST, 420.00 FEET, PARALLEL WITH THE NORTHEAST LINE THEREOF TO THE SOUTHEAST LINE OF SAID LOT; THENCE NORTHEAST, 693.00 FEET ON SAID SOUTHEAST LINE TO THE POINT OF BEGINNING.
EXCEPTING ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:
ALL THAT PORTION OF LOT 24 IN BLOCK B OF ELSINORE, AS SHOWN BY MAP ON FILE IN BOOK 8, PAGE 377 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, PARTICULARLY AS FOLLOWS:
BEGINNING AT THE SOUTHWESTERLY CORNER TO SAID LOT; THENCE NORTHEASTERLY ON THE SOUTHEASTERLY LINE OF SAID LOT, 330.00 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN TO BE DESCRIBED; THENCE NORTHWESTERLY AND PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT, 1,320.00 FEET TO THE NORTHWESTERLY LINE THEREOF; THENCE NORTHEASTERLY ON SAID NORTHWESTERLY LINE, 297.00 FEET; THENCE SOUTHEASTERLY AND PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT, 1,320.00 FEET TO THE SOUTHEASTERLY LINE THEREOF; THENCE SOUTHWESTERLY ON THE SOUTHEASTERLY LINE, 297.00 FEET TO THE TRUE POINT OF BEGINNING.
ALSO EXCEPT THAT PORTION OF SAID LAND CONVEYED TO THE CITY OF LAKE ELSINORE BY DEED RECORDED AUGUST 5, 1982 AS INSTRUMENT NO. 134704 OF OFFICIAL RECORDS.

PREPARED BY:
CALIFORNIA ENGINEERING & SURVEYING INC
5210 MOULSE COURT, BAKERSFIELD, CA 93308
(661) 809-7372 glen@cclengr.com

DRAWN BY: GC
CHECKED BY: GC
DATE: 1/19/2020
JOB NO.: 20-1560
DWG. NAME: TOPO

APN 379-111-014 VACANT LAND TOPOGRAPHIC SURVEY LAKE ELSINORE, CA COUNTY OF RIVERSIDE

REVISIONS

SHEET NO. 1 OF 1 SHEETS

GOLCHEH GROUP
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LOS ANGELES, CA 90035
424.241.2256

ATC DESIGN GROUP
ARCHITECTS • ENGINEERS • SURVEYORS
1277 PACIFIC OAKS PL., SUITE 102 ESCONDIDO, CA 92029
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ILAN@GOLCHEHGROUP.COM
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ARCHITECT: ATC DESIGN GROUP
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CPOST@ATCDISIGNGROUP.COM
TEL: 760.738.8809

ASSESSOR'S PARCEL#: 379-111-014
15209 LINCOLN ST.
LAKE ELSINORE, CA

BLDG INFO:
GROSS ACERAGE: 6.29 ACRES
TOTAL BLDG AREA: 51,101 SF
CANOPY AREA: 7,697 SF
LOT COVERAGE:
LANDSCAPING LOT COVERAGE:
LANDSCAPING PROVIDED:

REQUIRED BLDG SETBACKS:
FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

No.	Description	Date

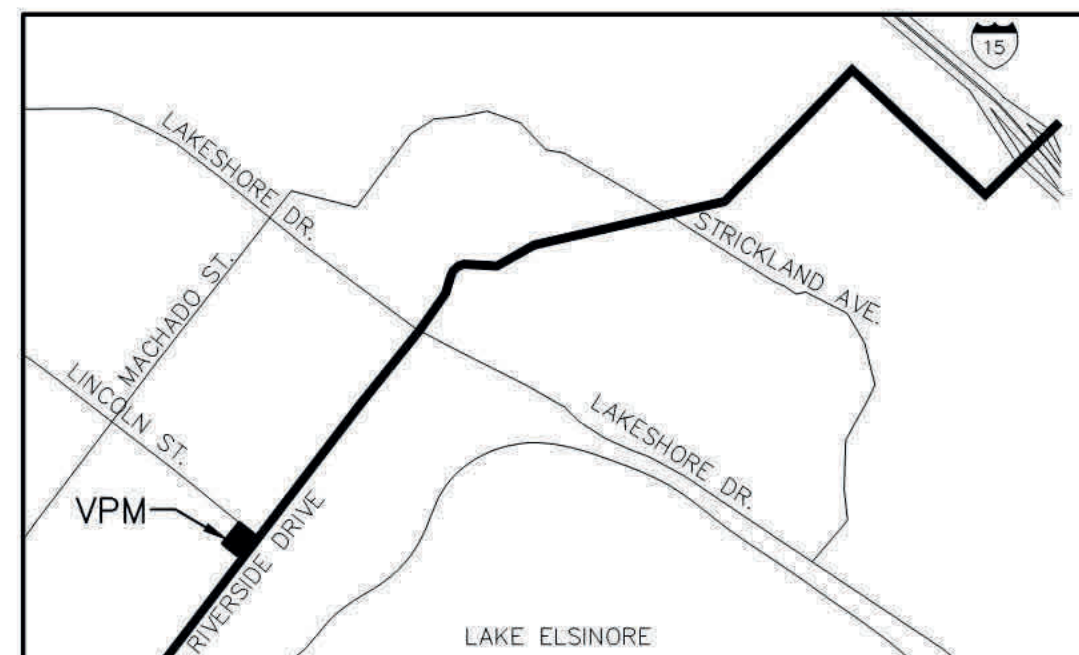
15209 LINCOLN STREET,
LAKE ELSINORE, CA

SURVEY (FOR REFERENCE ONLY)

Project number	0711-10
Date	2020-07-15
Drawn by	
Checked by	
	C1.00
Scale	As indicated

FOR REFERENCE ONLY - NOT TO SCALE

BEING A DIVISION OF A PORTION OF LOT 24 IN BLOCK B OF ELSINORE, IN THE CITY OF LAKE ELSINORE,
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 377 OF MAPS
AND DOCUMENT NUMBER 2003-218687, O.R.



VICINITY MAP
NOT TO SCALE

APN: 379-111-014
TOTAL SITE AREA = 6.36 ACRES

PARCEL A
2.86 GROSS ACRES
2.56 NET ACRES

<u>PARCEL B</u>	
40,663	GROSS SF
39,233	NET SF

PARCEL C
1.16 GROSS ACRES
1.12 NET ACRES

PARCEL D
1.38 GROSS ACRES
1.31 NET ACRES

IIAN GOLCHEH
1180 S. BEVERLY DRIVE, SUITE 300
LOS ANGELES, CA 90035
IIAN@GOLCHEHGROUP.COM
(310) 923-2594

(C) QTE MANHOLE
 (E) ELECTRICAL UTILITY BOX
 (S) DRAIN MANHOLE
 (S) SEWER MANHOLE
 (P) POWER POLE
 (T) TRAFFIC UTILITY BOX OR LIGHT
 (W) WATER SERVICE METER
 (V) WATER VALVE
 (G) GAS VALVE
 (C) SEWER CLEANOUT
 (G) GAS SERVICE METER
 ● LOT CORNER
 (F) FIRE HYDRANT
 (C) COMMUNICATION UTILITY BOX
 (S) STREET LIGHT

_____ X _____ (E) FENCE
 _____ OHE _____ (E) OVERHEAD PO
 _____ FO _____ (E) UG FIBER OP
 _____ G _____ (E) UG GAS

CABLE TV, BROADBAND & TELEPHONE
SPECTRUM
PHONE TOLL FREE 1-855-707-7328
31500 GRAPE STREET, SUITE 9, LAKE ELSINORE, CA 92532

FIOS TV, BROADBAND & TELEPHONE
FRONTIER
1-855-331-0424
43218 BUSINESS PARK DR, TEMECULA, CA 92590

ELECTRIC
SOUTHERN CALIFORNIA EDISON
1-800-655-4555
26100 MENIFEE RD, MENIFEE, CA 92585

GAS
THE GAS COMPANY - SOUTHERN CAL GAS
PHONE TOLL FREE 1-800-427-2200
1801 S. ATLANTIC BLVD.
MONTEREY PARK, CA 91754

TELEPHONE
SOUTHERN CALIFORNIA TELEPHONE COMPANY
1-800-840-6673
27515 ENTERPRISE CIRCLE W. TEMECULA, CA 92590

TRASH & WASTE DISPOSAL
CR&R DISPOSAL
1-800-755-8112
1706 GOETZ ROAD PERRIS, CA

WATER & SEWER SERVICE
ELSINORE VALLEY MUNICIPAL WATER DISTRICT
(951) 674-3146
31315 CHANEY STREET LAKE ELSINORE, CA 92530

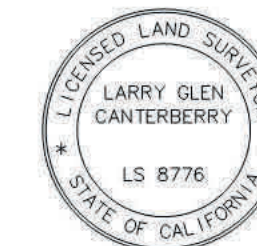
RMU – RESIDENTIAL MIXED USE

THE BEARING OF N52°57'26"W, SHOWN FOR THE CENTERLINE OF LINCOLN STREET ON PARCEL MAP NO. 13633, MAP BOOK 82, PAGE 55, WAS USED AS THE BASIS OF BEARINGS HEREON.

① EXISTING SEWER MANHOLES AND UNDERGROUND SEWER LINES. NO SEWER EASEMENT LISTED IN THE TITLE REPORT.

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF ILAN GOLCHEH IN JANUARY OF 2020.

Larry Z. Canterbury 6/30/2020
LARRY Z. CANTERBERRY, LS/8776 DATE



DRAWN: TLM
CHECKED: GC
DATE: 6/30/20
JOB NO: 20-1560
DWG. NAME: VTPM

APN 379-111-014 VACANT LAND
VESTING TENTATIVE PARCEL MAP
LAKE ELSINORE, CA COUNTY OF RIVERSIDE

REVISIONS

SHEET NO. 1 OF 1 SHEETS



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APPLICANT: LINCOLN RIVERSIDE GROUP, LLC
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ILAN@GOLCHEHGROUP.COM
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ARCHITECT: ATC DESIGN GROUP
1277 PACIFIC OAKS PL. STE #102
ESCONDIDO, CA 92029
CPOST@ATCDESIGNGROUP.COM
TEL: 760.738.8809

ASSESSOR'S
PARCEL# 379-111-014
15209 LINCOLN ST.
LAKE ELSINORE, CA

BLDG INFO:	
GROSS ACERAGE:	6.29 ACRES
TOTAL BLDG AREA:	51,101 SF
CANOPY AREA:	7,697 SF
LOT COVERAGE:	
LANDSCAPING LOT COVERAGE:	
LANDSCAPING PROVIDED:	

REQUIRED BLDG SETBACKS:
FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

[illegible]

15209 LINCOLN STREET,
LAKE ELSINORE, CA

SURVEY PARCEL MAP
(FOR REFERENCE ONLY)

Project number	0711-10
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Date 2020-07-15

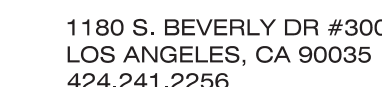
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Checked by

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Scale	As indicated
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FOR REFERENCE ONLY - NOT TO SCALE



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FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

[illegible]

15209 LINCOLN STREET,
LAKE ELSINORE, CA

PRELIMINARY GRADING AND DRAINAGE PLAN

Project number 0711-10

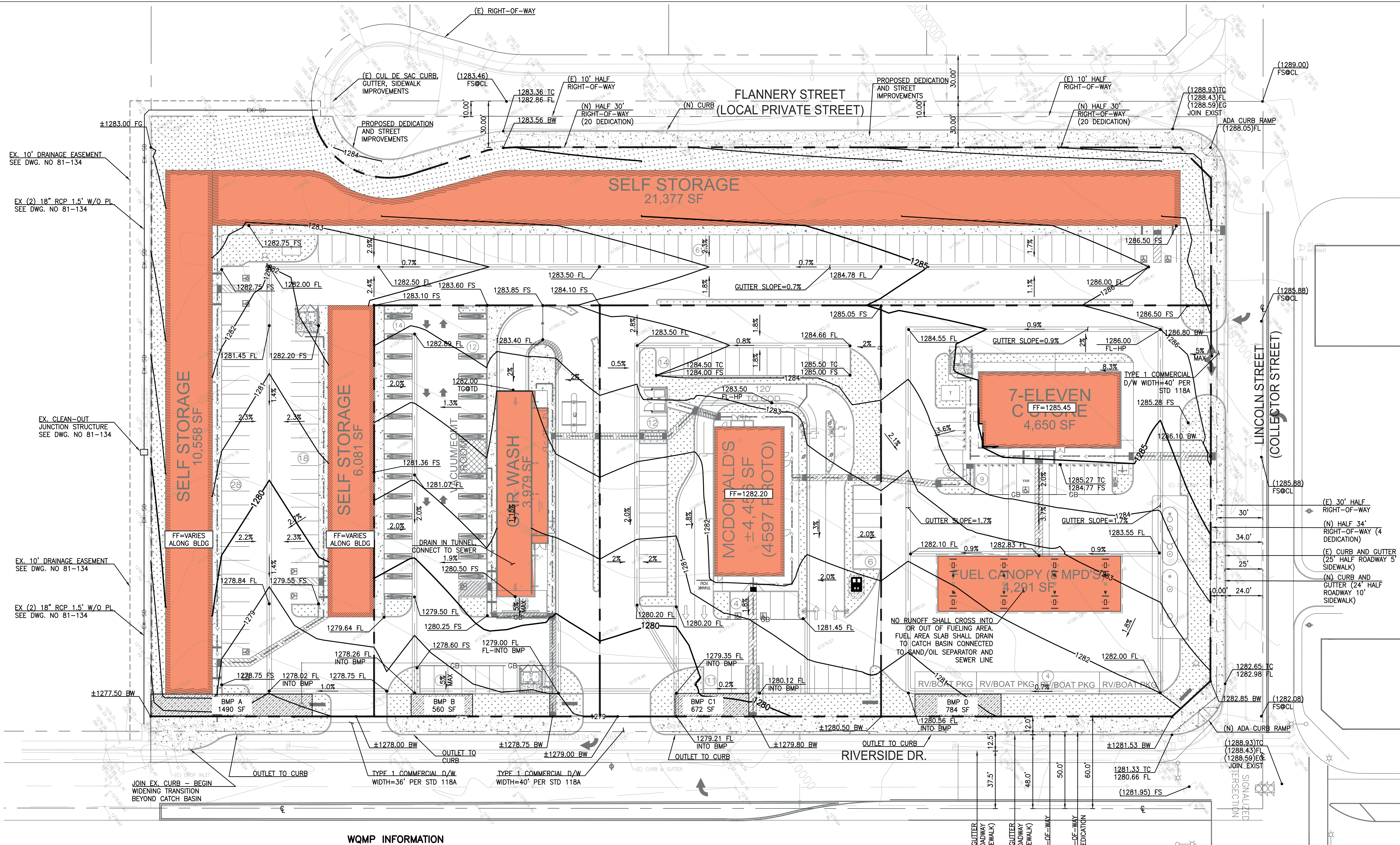
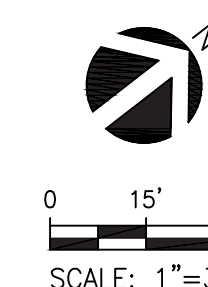
Date	2020-07-15
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Drawn by JU

Checked by	RR
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Scale	As indicated
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WQMP INFORMATION

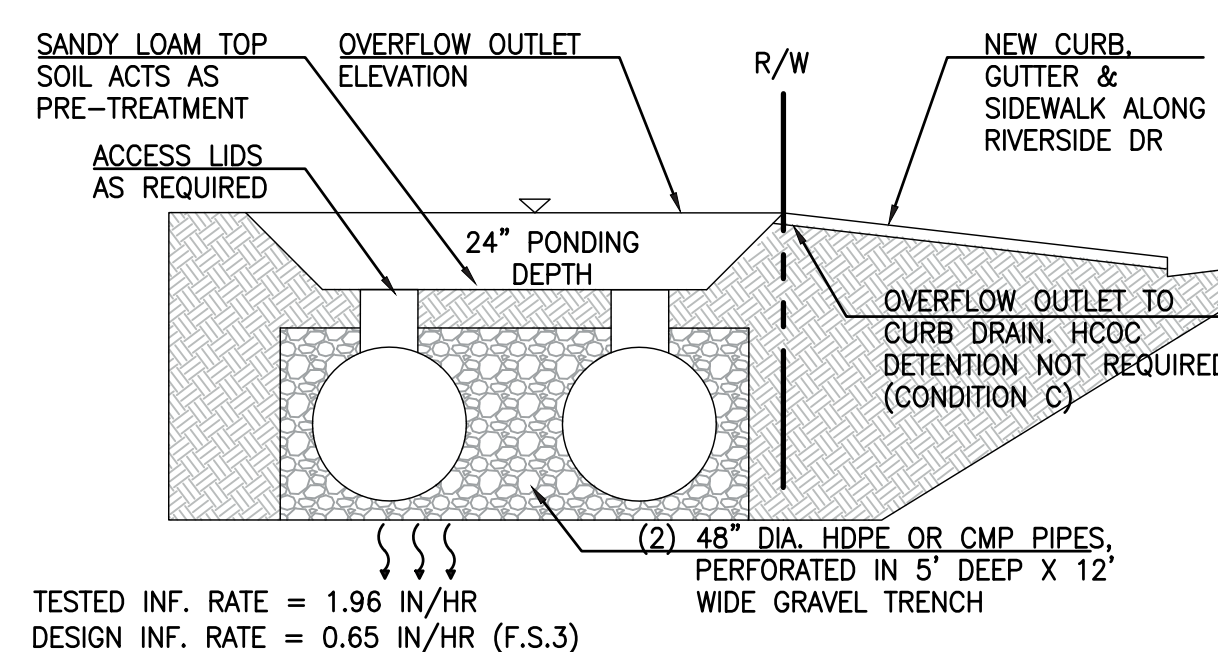
85TH % ISOHYET = 0.85" HCOC - NOT APPLICABLE (CONDITION C)
INFILTRATION RATE = 1.96 IN/HR

AREA SUMMARY

LABEL	AREA	%IMP	WQMP VOLUME (85TH% ISO = 0.85")
AREA A	108,000 SF (2.48 AC)	95%	6,579 CF
AREA B	39,350 SF (0.90 AC)	95%	2,379 CF
AREA C	48,960 SF (1.12 AC)	95%	2,982 CF
AREA D	57,050 SF (1.31 AC)	95%	3,475 CF

BMP SUMMARY

LABEL	FOOTPRINT	AREA	VOLUME	REQ. VOL	Q10 OVERFLOW
BMP A	105'X14'	1,490 SF	6,615 CF	6,579 CF	X.X CFS
BMP B	40'X14'	590 SF	2,520 CF	2,379 CF	X.X CFS
BMP C	48X14'	672 SF	3,024 CF	2,982 CF	X.X CFS
BMP D	56'X14'	784 SF	3,528 CF	3,475 CF	X.X CFS



WQMP & DETENTION BASIN TYPICAL SECTION

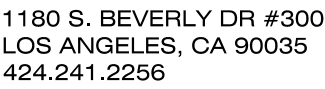
SCALE: 1"=5'

SITE GRADING & EARTHWORK

1. SOILS IN NEW STRUCTURE AREAS PLUS FIVE FEET IN EACH DIRECTION, SHOULD BE REMOVED TO A MINIMUM OF 3 FEET, OR TO THE DEPTH NECESSARY TO EXPOSE COMPETENT SOIL. PER GEOTECH RECOMMENDATIONS.
2. ASPHALT: PARKING AREAS SHALL BE PAVED WITH 4" AC OVER 4" BASE. DRIVE LANES SHALL BE 5" AC OVER 4" BASE. SECTION SHOULD BE PLACED MIN. 2' COMPACTED SOIL. PER GEOTECH RECOMMENDATIONS.
3. BUILDING PADS ASSUMED 10" BELOW FF ELEVATION. (4" SLAB OVER 6" SAND) PER GEOTECH RECOMMENDATIONS.

EARTHWORK VOLUMES

CUT (TO R&R LIMITS)	20,000 CY
FILL (TO RG PAD)	20,000 CY
NET (IMPORT/EXPORT)	±0 CY



RUSSELL CONSULTING & ENGINEERING

310.614.4116 | rob@russellce.com
50 N. HARVARD BLVD #109, LOS ANGELES CA 90027
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FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

[illegible]

15209 LINCOLN STREET,
LAKE ELSINORE, CA

PRELIMINARY UTILITY PLAN

Project number 0711-10

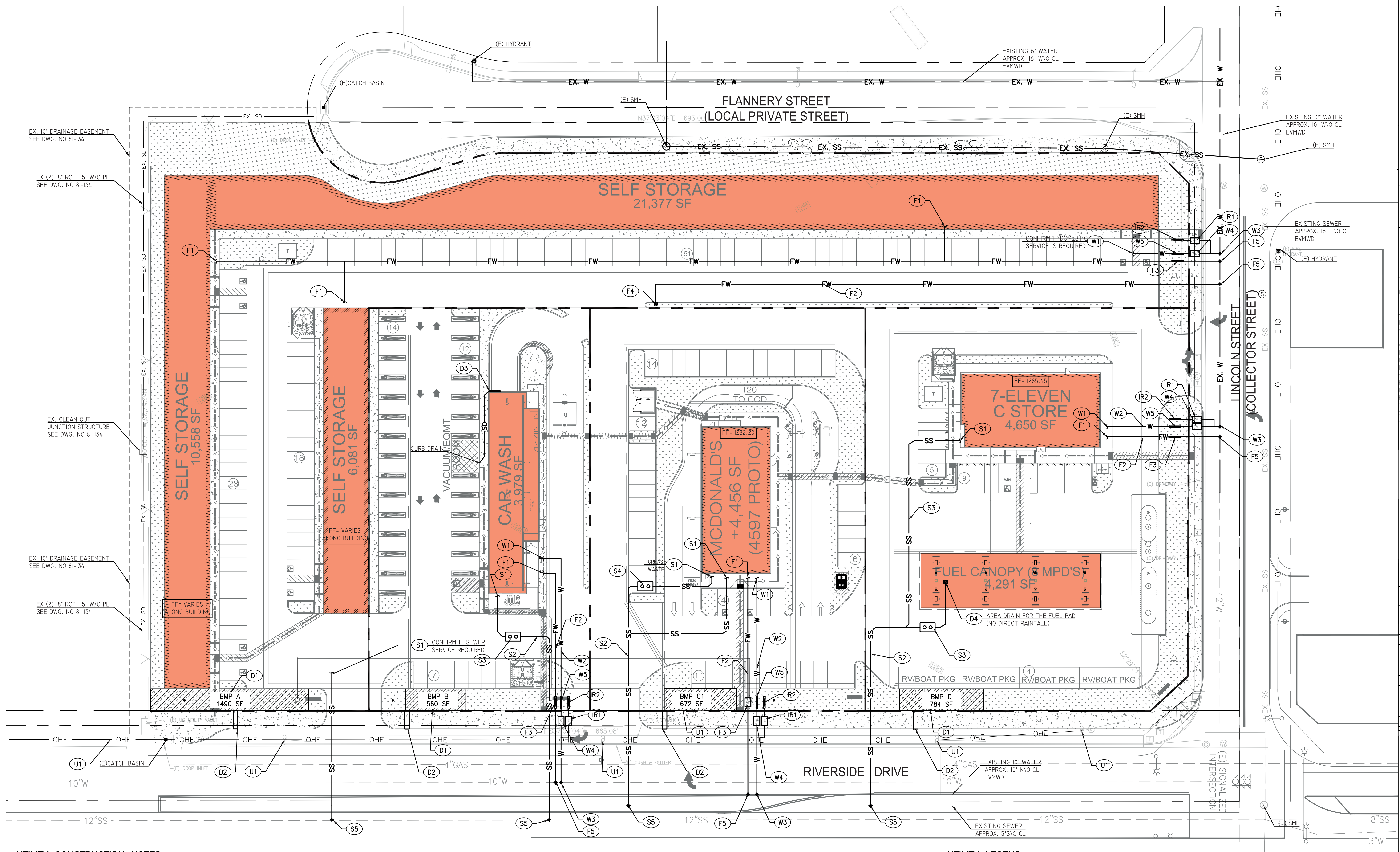
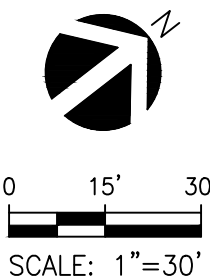
Date 2020-07-15

Drawn by JU

Checked by RR

C1.50

Scale As indicated



UTILITY CONSTRUCTION NOTES:

SANITARY SEWER

- | | |
|----|--|
| S1 | BUILDING SEWER POINT OF CONNECTION. |
| S2 | PVC SEWER PIPE. CLEANOUTS REQUIRED PER CODE. 2% MIN. SLOPE UNLESS APPROVED BY ENGINEERING. |
| S3 | SAND/OIL SEPARATOR. EVMWD STD. DWG. NO. S-16A |
| S4 | GREASE INTERCEPTOR. EVMWD STD. DWG. NO. S-17A |
| S5 | SEWER LATERAL CONNECTION. EVMWD STD. DWG. NO. S-15 |

STORM DRAIN

- D1 INFILTRATION BMP FOR WOMP. SEE SECTION ON CI. DCV STORED AND INFILTRATED. OVERFLOW TO CURB DRAIN. NO HYDROMOD REQUIRED.
- D2 BMP OVERFLOW TO CURB / PARKWAY DRAIN
- D3 TRAFFIC RATED TRENCH DRAIN. DISCHARGE THRU ADJACENT CURB DRAIN AS ELEVATION ALLOWS.
- D4 TRAFFIC RATED AREA DRAIN

FIRE WATER

- | | |
|----|---|
| F1 | BUILDING FIRE SPRINKLER WATER POINT OF CONNECTION |
| F2 | SITE FIRE WATER PIPE, SIZE AND MATERIAL TBD |
| F3 | FIRE DOUBLE DETECTOR CHECK METER INSTALLATION. EVMWD STD. DWG. NO. W-23 |
| F4 | FIRE HYDRANT ASSEMBLY. EVMWD STD. DWG. NO. W-7. CONFIRM REQUIRED HYDRANT(S) AND LOCATION(S) WITH FIRE DEPARTMENT. |
| F5 | CONNECT TO EXISTING MAIN. EVMWD STD. DWG. NO. W-29. |

DOMESTIC WATER

- | | |
|----|--|
| W1 | BUILDING DOMESTIC WATER POINT OF CONNECTION |
| W2 | SITE WATER PIPE. SIZE AND MATERIAL TBD |
| W3 | DOMESTIC WATER SERVICE CONNECTION. SIZE TBD. EVMWD STD. DWG. NO. W-10. |
| W4 | WATER METER BOX. EVMWD STD. DWG. NO. W-12. |
| W5 | BACKFLOW ASSEMBLY EVMWD STD. DWG. NO. W-21A & W-21B |





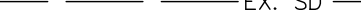




IRRIGATION

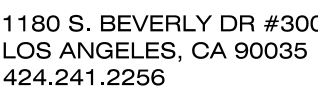
- (IR2) BACKFLOW ASSEMBLY EVMWD STD. DWG. NO. W-21A & W-21B.

MISC. UTILITIES

- (UI) OVERHEAD POWER LINES SHALL BE UNDERGROUNDED, POLES REMOVED.

UTILITY LEGEND:

- | | | |
|---|--------|----------------------|
|  | EX. G | EXISTING GAS |
|  | | PROPOSED SEWER |
|  | EX. SS | EXISTING SEWER |
|  | | PROPOSED STORM DRAIN |
|  | EX. SD | EXISTING STORM DRAIN |
|  | | PROPOSED WATER |
|  | EX. W | EXISTING WATER |
|  | | PROPOSED FIRE WATER |
|  | | PROPOSED IRRIGATION |



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REQUIRED BLDG SETBACKS:
FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

[illegible]

15209 LINCOLN STREET,
LAKE ELSINORE, CA

PRELIMINARY LIGHTING PLAN

Project number 0711-10

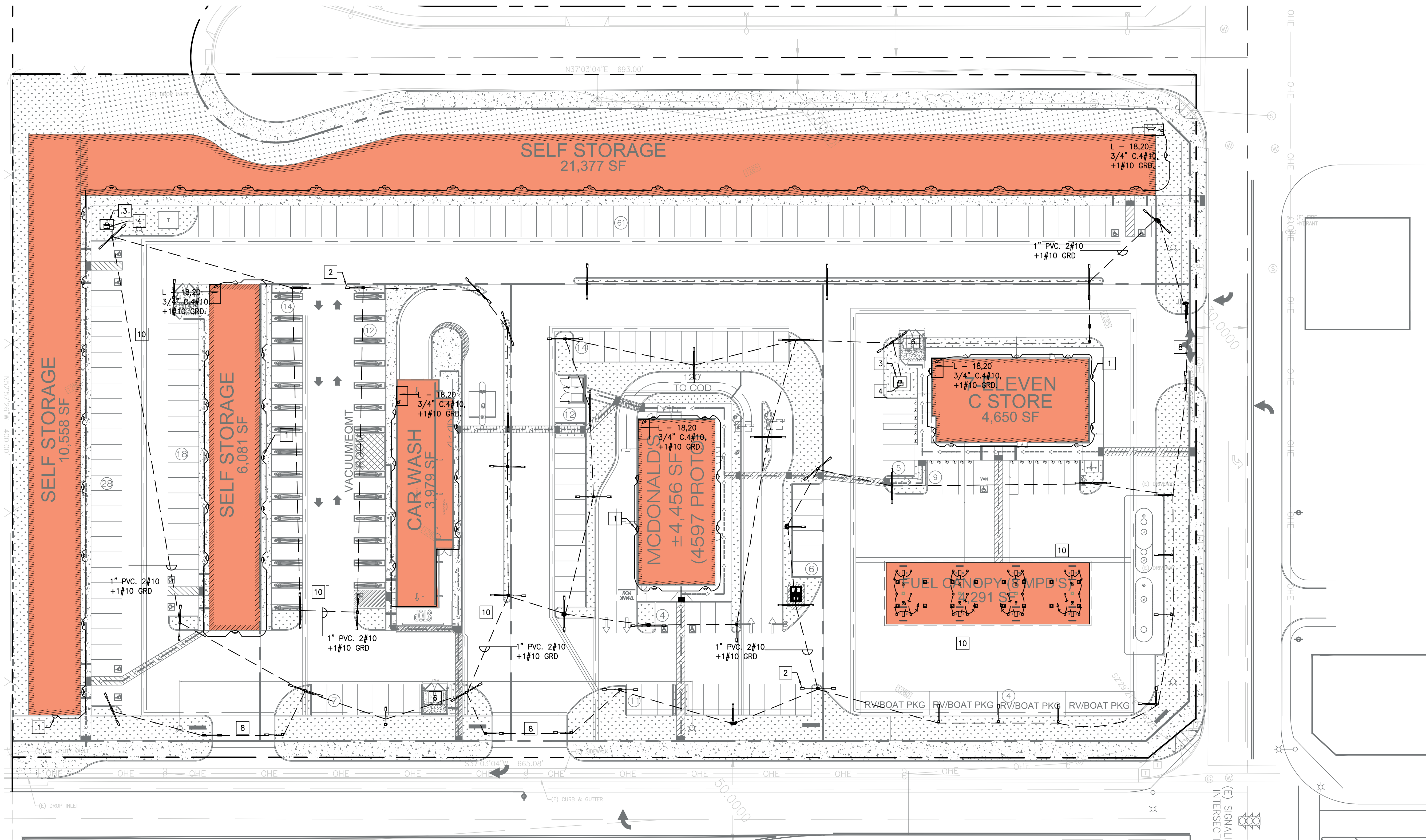
Date 2020-07-15




Drawn by

Checked by _____

E1.00

Scale As indicated



OUTDOOR LIGHTING FIXTURE SCHEDULE											
SYMBOL	TAG	QTY	CATALOG	NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS	MOUNTING
	FWPT	62	FWPT080		OUTDOOR LED WALLPACK	LED	FWPT080.IES	9,825	1.00	80	WALL
	FALC	84	FALC200		OUTDOOR AREA LIGHTS, WITH UV RESISTANT POWDER COAT	LED	FALC200--T3.IES	26,200	1.00	200	POLE
	FCPA	16	FCPA240		IP 65 RATED CANOPY LIGHTING	LED	FCPA240_IESNA2002.IES	32,000	1.00	240	SURFACE

GENERAL NOTES

1. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL NEW ELECTRICAL EQUIPMENTS AS SHOWN ON THIS SITE PLAN AND ASSOCIATED CONDUITS WITH CONDUCTORS AS SHOWN
2. ELECTRICAL CONTRACTOR SHALL DIG ALERT AT 800.227.2600 TWO (2) WORKING DAYS BEFORE DIGGING.
3. ALL ROOF/WALL PENETRATION SHALL BE PROPERLY SEALED.
4. THIS SITE PLAN IS FOR REFERENCE ONLY.
5. CONTRACTOR TO CONTACT SCE BEFORE COMMENCING ROUGH-IN

ALL EQUIPMENTS SHALL BE U.L. LISTED, OR CERTIFIED BY A NATIONAL
RECOGNIZED TESTING LABORATORY ACCREDITED BY THE UNITED STATES
OCCUPATIONAL SAFETY HEALTH ADMINISTRATION




CONDUCTORS

ALL CONDUCTORS SHALL BE COPPER AS FOLLOWS:

- #12 AWG AND SMALLER - SOLID, THHN/THWN-2
- #10 AWG AND LARGER - STRANDED, THWN-2, THHN OR XHHW

ALL TERMINATIONS AND CONDUCTOR SIZES ARE BASED ON 75C TEMPERATURE RATING

SYMBOLS LEGEND

- | | |
|---|-----------------------------|
|  | SITE LIGHT |
|  | EXTERIOR WALL LIGHT FIXTURE |
|  | LED CANOPY LIGHT |

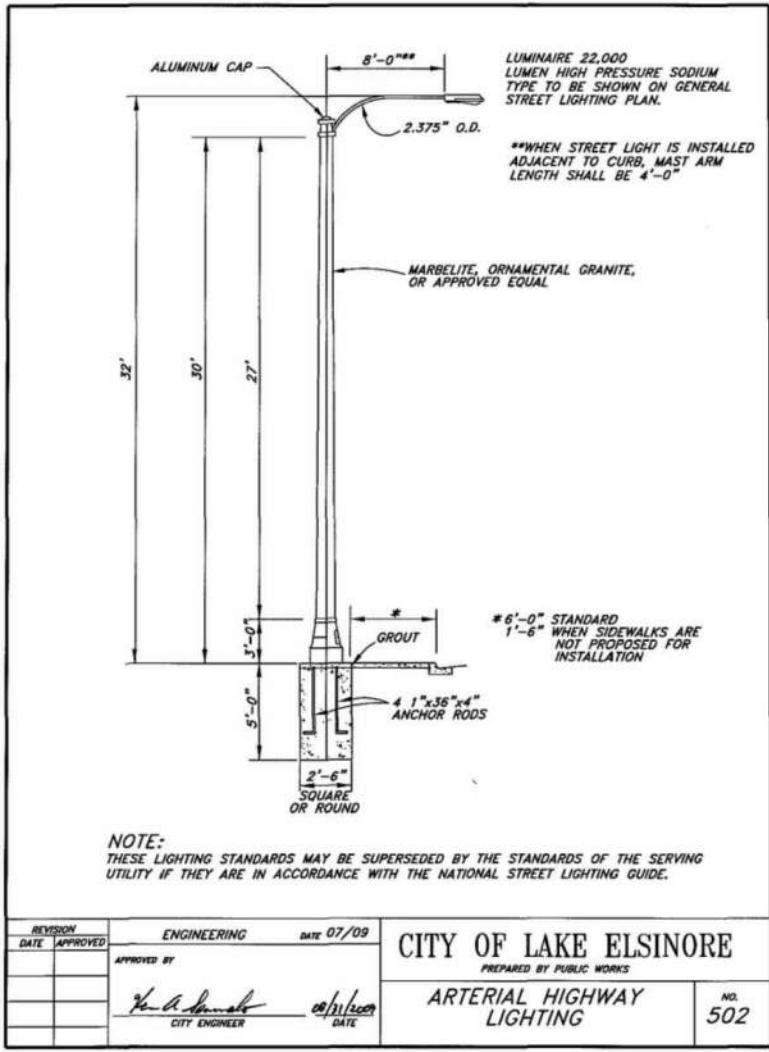
KEY NOTES

- 1 WALL SCONCE WITH BUILT-IN OCCUPANCY SENSOR AND DIMMING
- 2 SIGHT LIGHT REFER TO LIGHTING FIXTURE SCHEDULE
- 3 72" X 96" CONCRETE PAD PER SCE SPECIFICATION
- 4 TRANSFORMER PER SCE
- 5 400A 120/208V. 3 -4W PULL/METER SECTION
- 6 TRASH ENCLOSURE
- 7 MONUMENT SIGN. PROVIDE WP JBOX WITH 20A/1P DISCONNECT SWITCH AND MAKE CONNECTION TO SIGN AS REQUIRED.
- 8 DRIVE-WAY APPROACH
- 9 NOT USED
- 10 BURY CONDUIT AT MINIMUM OF 24" BELOW GRADE

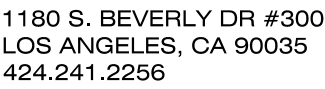


0 15' 30'

SCALE: 1"=30'



LIGHT POLE FOUNDATION DETAIL



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FRONT:
REAR:
SIDE 1 INTERIOR:
SIDE 2 INTERIOR:

[illegible]

15209 LINCOLN STREET,
LAKE ELSINORE, CA

PRELIMINARY LANDSCAPE PLAN

Project number 0711-10

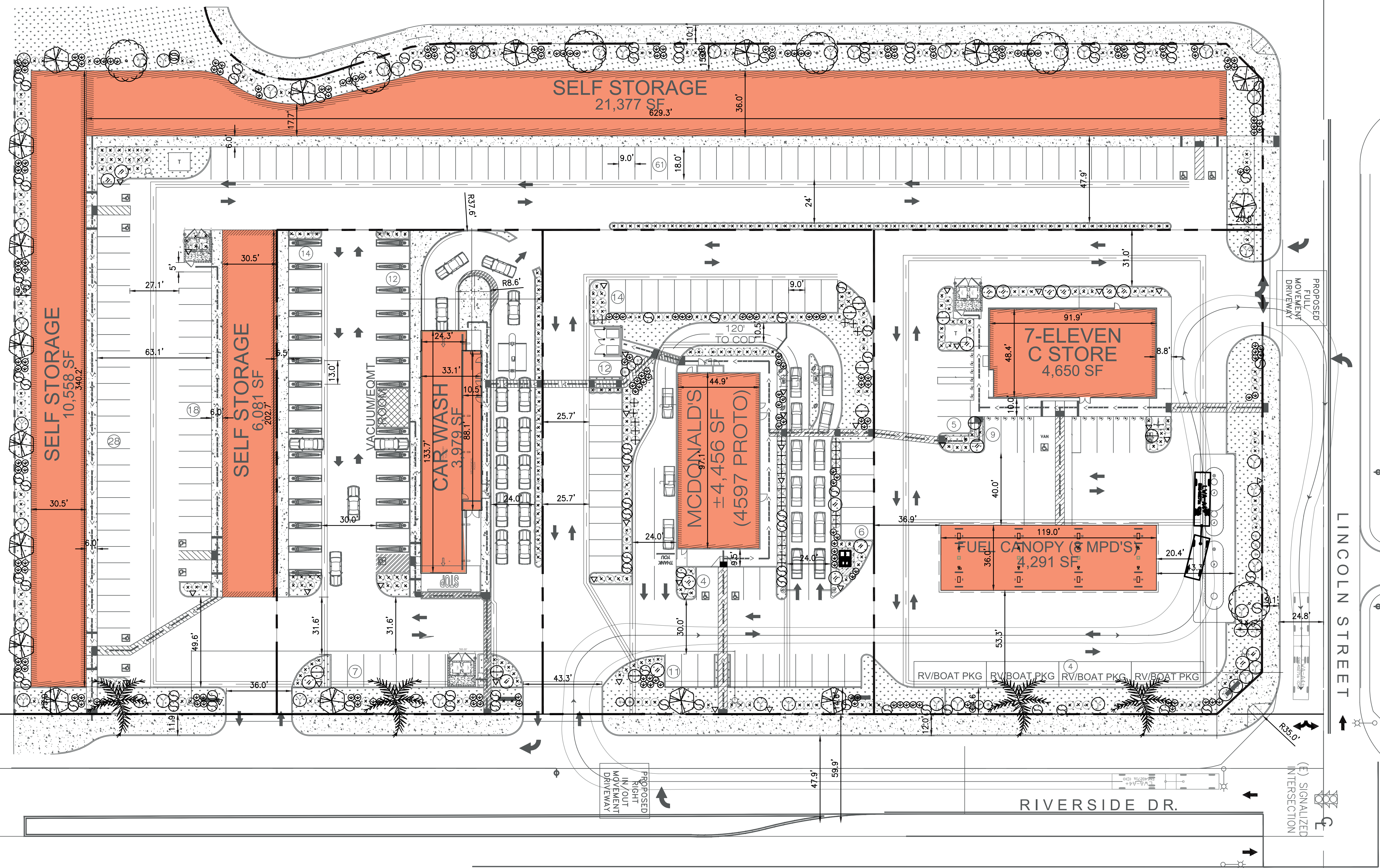
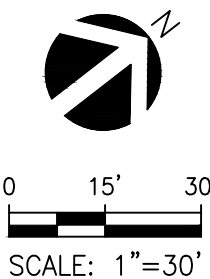
Date 2020-07-15

Drawn by








Checked by _____





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Scale As indicated



PROPOSED PLANT LEGEND

SYMBOL	BOTANICAL NAME	QTY.	CONTAINER SIZE	WATER USE
	COMMON NAME		MATURE H X W	COMMENTS
	TREES: LAGERSTROEMIA 'TUSCARORA' RED CRAPE HYDRATE	18	24" BOX 20" X 15"	MODERATE
	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM	4	20" BTH 25" X 20"	LOW (CITY STREET TREE OR OTHER SPECIES APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR)
	RHUS LANCIA AFRICAN SUMAC	6	24" BOX 25" X 25"	LOW
	SHRUBS* CALLISTEMON 'LITTLE JOHN' COMPACT BOTTLEBRUSH	373	15 GALLON 36" X 30"	LOW
	ELAEAGNUS P. 'FRUITLANDII' SILVERBERRY	10	15 GALLON 6' X 4'	LOW
	HEMEROCALLIS 'STELLA D'ORO' YELLOW DAYLILY	208	5 GALLON 24" X 24"	MODERATE
	LEPTOSPERMUM S. 'SNOW WHITE' NEW ZEALAND TEA TREE	5	15 GALLON 4' X 4'	LOW
	MUHLBERGIA RIGENS DEER GRASS	27	5 GALLON 30" X 30"	LOW
	PHORUM T. 'AMAZING RED' NEW ZEALAND FLAX	41	15 GALLON 3' X 3'	LOW

SYMBOL		QTY.	CONTAINER SIZE	WATER USE
			MATURE H X W	COMMON COMMENTS
	ROSA F. 'ICEBERG' WHITE FLORIBUNDA ROSE	10	15 GALLON 30" X 30"	Moderate
	SALVIA LEUCANTHA MEXICAN BUSH SAGE	87	15 GALLON 3' X 3'	Low
	WESTRINGIA F. 'SMOKEY' COAST ROSEMARY	19	15 GALLON 4' X 4'	Low
	VINES: FATHEENOCISSUS TRICUSPIDATA BOSTON IVY	35	5 GALLON	Moderate

PROPOSED LANDSCAPE AREA CALCULATIONS

TOTAL AREA:	255,497 S.F.
TOTAL LANDSCAPE AREA:	41,200 S.F.
REQUIRED LANDSCAPE %:	15.0%
TOTAL LANDSCAPE %:	16.1%



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on April 16, 2024, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

Planning Application No. 2020-92 (Riverside/Lincoln Commercial): A request by Ilan Golcheh, Golcheh Group, for a Conditional Use Permit to establish a 16-pump gasoline-dispensing station with a 4,291 square foot sq. ft. canopy and concurrent beer and wine sales (Type 20), self-storage facility (three (3) buildings 38,016 sq. ft. in total), 3,979 sq. ft. self-serve carwash, and a 4,456 sq. ft. drive thru-restaurant. The project also includes a Commercial Design Review proposing building design and construction of a 4,650 sq. ft. convenience store, 4,291 sq. ft. canopy, 38,016 sq. ft. self-storage facility, 4,456 sq. ft. drive-thru restaurant, 3,979 sq. ft. self-serve carwash, 221 parking stalls, landscaping, and related site improvements on an approximately 6.36-acre site. The project site is located at the southwest corner of Lincoln Street and Riverside Drive (APNs: 379-111-017, 018, 019, and 020).

Pursuant to CEQA Guidelines Section 15162, no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in an earlier Mitigated Negative Declaration (MND) and none of the conditions described in Section 15162 exist. MND (ER 2020-05) (SCH No. 2021010316) was adopted by the City Council on April 13, 2021 for the Riverside/Lincoln Commercial Center project. No substantial changes that require major revisions to the MND exist and no new information of substantial importance that require revisions to the earlier MND exist.

ALL INTERESTED PERSONS are invited to submit written information, express opinions, or otherwise submit written evidence by email to jmendoza@lake-elsinore.org.

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice or in written correspondence delivered to the City prior to or at the Public Hearing. If you require an accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124, ext. 297. All agenda materials are available for review on the city's website at www.lake-elsinore.org on the Friday before the public hearing.

FURTHER INFORMATION on this item may be obtained by contacting Joey Mendoza, Associate Planner in the Planning Division, at jmendoza@lake-elsinore.org or (951) 674-3124, ext. 273.

Damaris Abraham,
Community Development Director

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Published The Press-Enterprise April 3, 2024

The Press-Enterprise

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Willoughby, OH 44096
951-368-9222
951-368-9018 FAX

5209153

LAKE ELSINORE, CITY OF
130 S MAIN ST
ATTN: CITY CLERKS OFFICE
LAKE ELSINORE, CA 92530

Publication: The Press-Enterprise

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Ad Desc:

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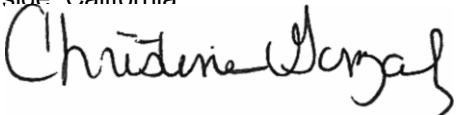
I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

04/03/2024

I certify (or declare) under penalty of perjury that the foregoing is true and correct:

Date: April 03, 2024.

At: Riverside, California



Legal Advertising Representative, The Press-Enterprise



ATC DESIGN GROUP

ARCHITECTS • ENGINEERS • SURVEYORS

March 29, 2024

Long Beach Victoria Group LLC and Gage Investments LLC
1180 Beverly Drive, Ste 300
Los Angeles, CA 90035

Dear Ilan Golcheh,

I am writing to confirm the accuracy of the address stated in the attached document. The address provided is indeed correct and corresponds to the location specified.

Furthermore, I would like to certify that the document has been reviewed and verified by the engineer from ATC Design Group. The contents of the document have been thoroughly examined, and it is deemed to be accurate and compliant with all necessary regulations and standards.

Should you require any further clarification or assistance regarding this matter, please do not hesitate to contact me.

Thank you for your attention to this matter.

Sincerely,

ATC DESIGN GROUP

Jerry L. Michal, PE



AFFIDAVIT OF NOTIFICATION LIST

Application No. PPLAN-2023-0196 / CUP-2023-0016 / CDR-2023-0006

Applicant Name GAGE INVESTMENTS, LLC & LINCOLN RIVERSIDE GROUP, LLC

Project Name/Location RIVERSIDE DR. AND LINCOLN ST.

I certify that on 29TH day of MARCH, 2024 , we prepared a notification list and a radius map, including properties entirely and partially within 300 feet of the most exterior boundaries of the property being considered in the above referenced project known as (Property Address) RIVERSIDE DR. & LINCOLN ST.. The property owner names and addresses listed on the notification list, provided in an excel spreadsheet on a CD or external hard drive, were taken from the latest records of the Riverside County Assessor. Such names are recorded in the records of the Riverside County Assessor as being the present owner or owners of both the subject property and the property/properties within the required mailing radius of the subject property.

Applicant/Representative Signature

Date

This instrument was acknowledged before me on this 4th day of April, 20 24, by

In witness whereof I hereunto set my hand and official seal.

Notary Public

See California Acknowledgment
attached

My Commission expires on: Nov 20, 2025

Pursuant to Government Code Sections 65090-65096 notification lists shall be from the most recent Assessor Tax rolls. In order for the application to be deemed complete please return the completed, notarized affidavit to the assigned case planner at your earliest convenience.

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Diego }

On 4th day of April 2024 before me, Ana Nastic, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Chris Anthony Post
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Affidavit of Notification List

Document Date: 4.4.2024 Number of Pages: 1

Signer(s) Other Than Named Above: —

Capacity(ies) Claimed by Signer(s)

Signer's Name: Chris Anthony Post

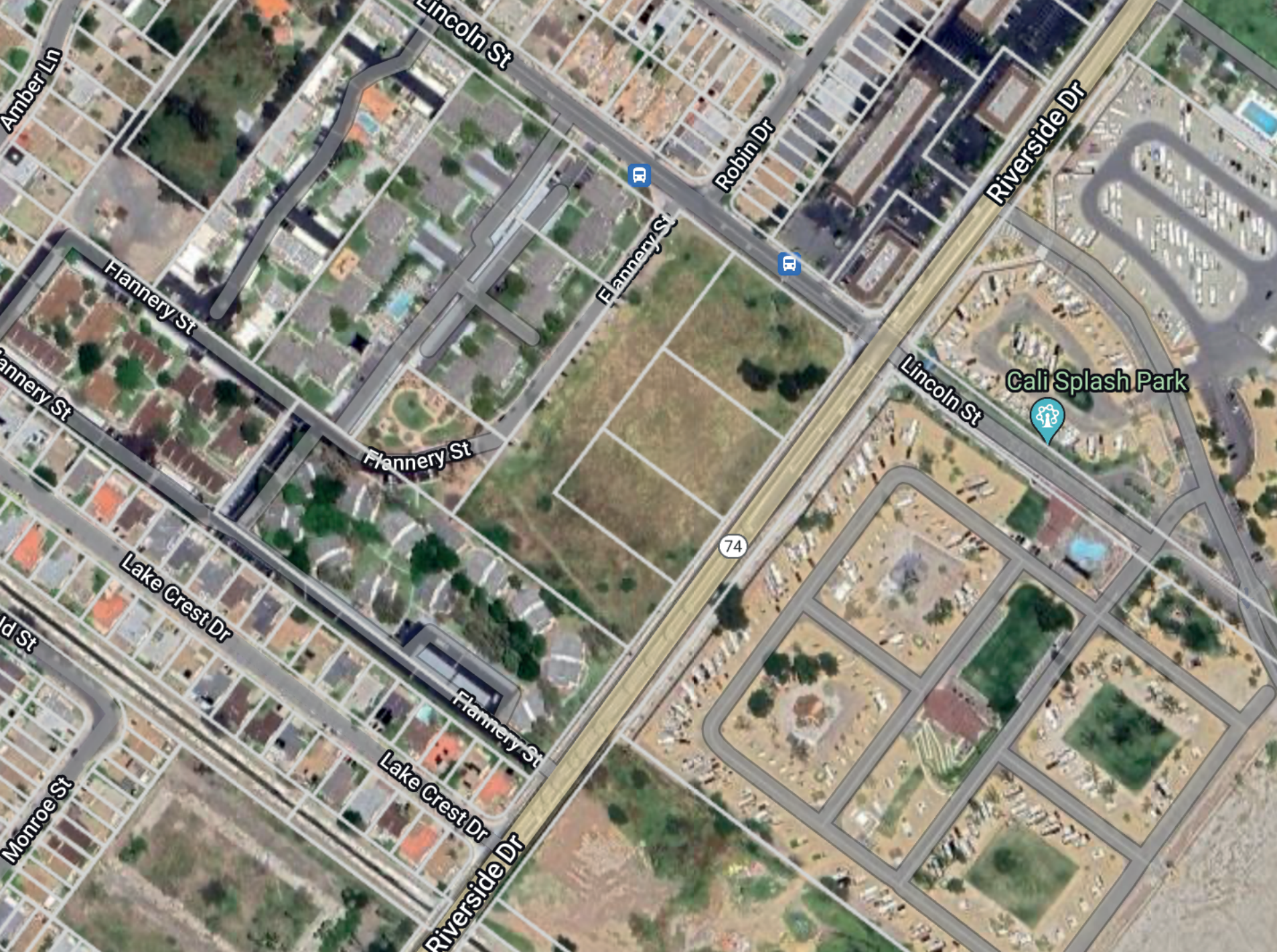
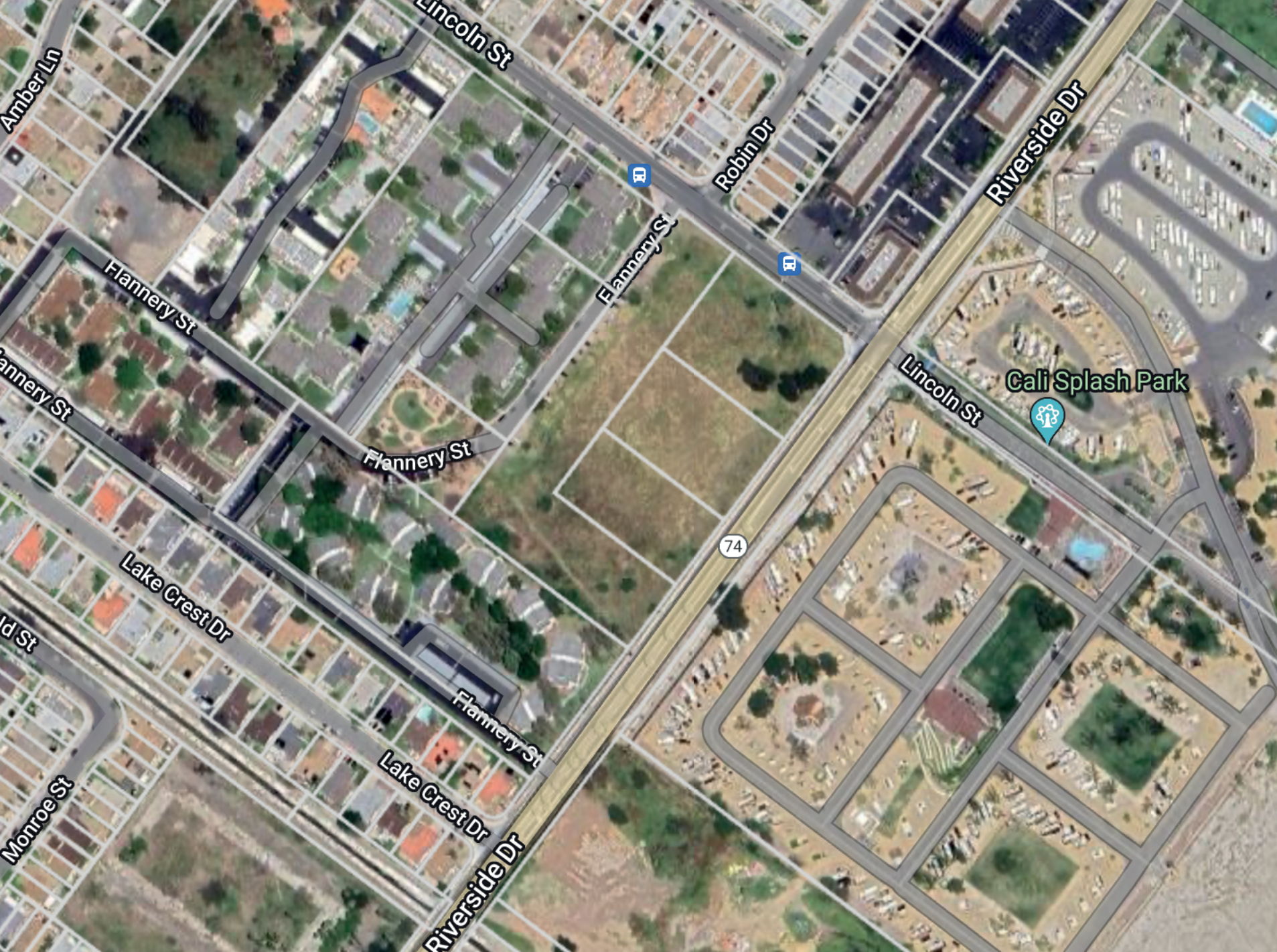
- ☐ Corporate Officer – Title(s): —
☐ Partner – ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator
☐ Other: —

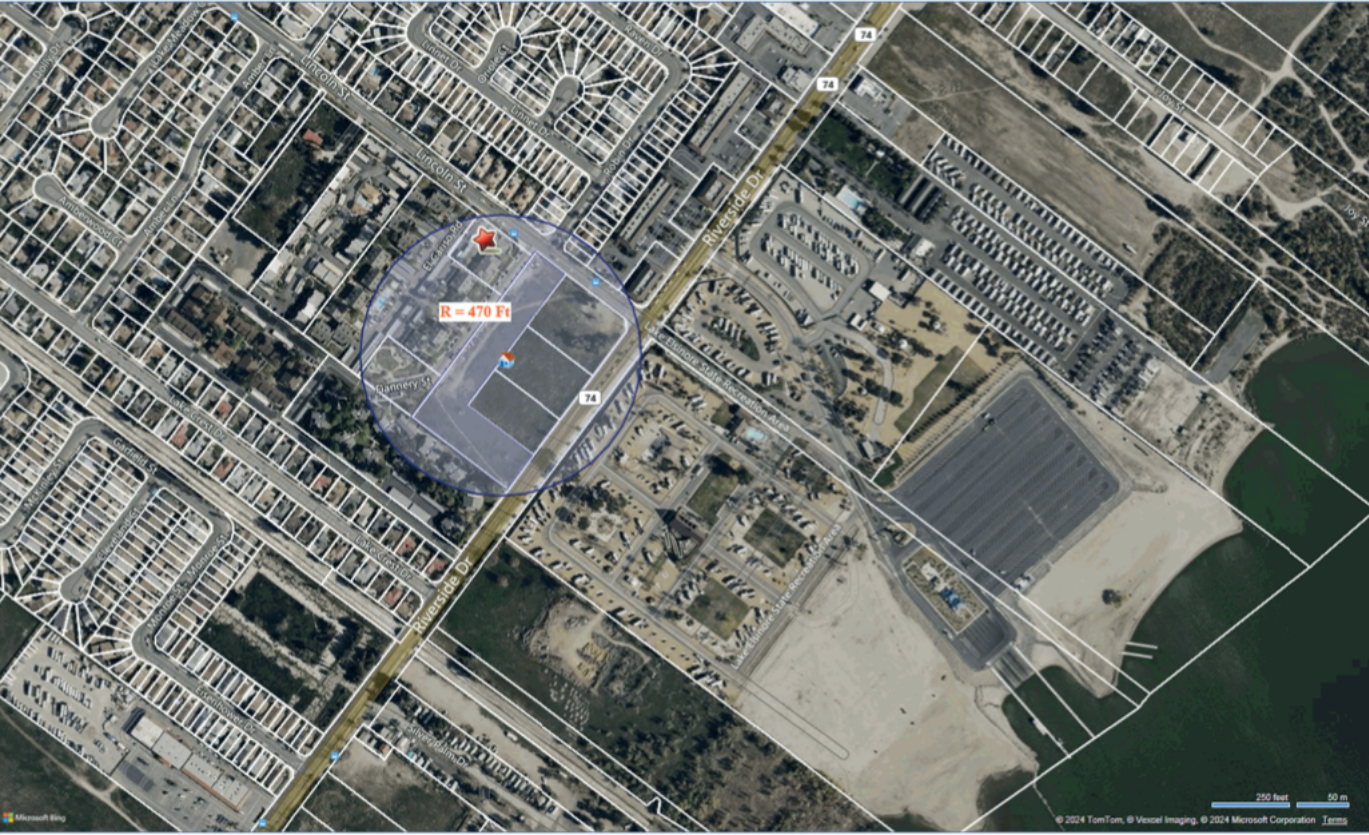
Signer is Representing: —

Signer's Name: —

- ☐ Corporate Officer – Title(s): —
☐ Partner – ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator
☐ Other: —

Signer is Representing: —





R = 470 Ft

74

74

74

250 feet 50 m

Prism Lake
15197 Lincoln st.
Lake Elsinore, CA 92530

Sanches Wilfredo
3500 Lake Crest dr.
Lake Elsinore, CA 92530

Cavallucci Joseph H
3512 Lake Crest dr.
Lake Elsinore, CA 92530

Prism Lake
15195 Lincoln st.
Lake Elsinore, CA 92530

Delapena, Adam
3502 Lake Crest dr.
Lake Elsinore, CA 92530

Arrenquin Eladio R
3514 Lake Crest dr
Lake Elsinore, CA 92530

LMV Affordable; AHA Riverside West
MGP LLC
32209 Riverside Dr.
Lake Elsinore, CA 92530

Garcia Juan Carlos; Garcia Maria
3504 Lake Crest dr.
Lake Elsinore, CA 92530

Huerta Sergio
3516 Lake Crest dr.
Lake Elsinore, CA 92530

LMV Affordable; AHA Riverside West
MGP LLC
32221 Riverside Dr.
Lake Elsinore, CA 92530

Nicholas James L
3506 Lake Crest dr.
Lake Elsinore, CA 92530

Hernandez Family Trust
3518 Lake Crest dr.
Lake Elsinore, CA 92530

Hicks David R
3496 Lake Crest dr.
Lake Elsinore, CA 92530

Guild Richard J; Guild Shawna K
3508 Lake Crest dr.
Lake Elsinore, CA 92530

Berrum Saul Gomez
3520 Lake Crest dr.
Lake Elsinore, CA 92530

Hurtado Andrew R; Hurtado Audry L
3498 Lake Crest dr.
Lake Elsinore, CA 92530

Hernandez Mario H; Herrera Patricia
3510 Lake Crest dr.
Lake Elsinore, CA 92530

Solvey Cathy Lynn
3522 Lake Crest dr.
Lake Elsinore, CA 92530

Varela Jerry M
3524 Lake Crest dr.
Lake Elsinore, CA 92530

Armenta Elias, Armenta Belen
3526 Lake Crest dr
Lake Elsinore, CA 92530

Hodges Joshua Edward, Hodges Grace
Kelly
3528 Lake Crest dr.
Lake Elsinore, CA 92530

Beltran Jose; Beltran Maria
3530 Lake Crest dr.
Lake Elsinore, CA 92530

Risher Harry & Diana Revocable Living
Trust
3532 Lake Crest dr.
Lake Elsinore, CA 92530

Frankin Marie; Lewis Amber
3534 Lake Crest dr.
Lake Elsinore, CA 92530

Hernandez Nathalia; Hernandez Luz E
3536 Lake Crest dr.
Lake Elsinore, CA 92530

Radvansky Family Trust
3538 Lake Crest dr.
Lake Elsinore, CA 92530

Routh Vivian M
3537 Lake Crest dr.
Lake Elsinore, CA 92530

Oreck Robin; Oreck Arlyne A
3535 Lake Crest dr.
Lake Elsinore, CA 92530

Shirley Lopez
3533 Lake Crest dr.
Lake Elsinore, CA 92530

Black Jennifer J
3531 Lake Crest dr.
Lake Elsinore, CA 92530

Sway 2014-1 Borrower 3529 Lake Crest dr. Lake Elsinore, CA 92530	Carrizales Martha O 3527 Lake Crest dr. Lake Elsinore, CA 92530	Dominguez Pablo 3525 Lake Crest dr. Lake Elsinore, CA 92530
Moreno Margaret 3523 Lake Crest dr. Lake Elsinore, CA 92530	Oleson M Patrick; Oleson Lisa K 3521 Lake Crest dr. Lake Elsinore, CA 92530	Linn Ronald D; Linn Elyse 3519 Lake Crest dr. Lake Elsinore, CA 92530
Tokuishi Sachiko 3517 Lake Crest dr. Lake Elsinore, CA 92530	Coluna Arturo 3515 Lake Crest dr. Lake Elsinore, CA 92530	Miller Lorraine 3513 Lake Crest dr. Lake Elsinore, CA 92530
Aure Rodolfo F; Aure Federico F 3511 Lake Crest dr. Lake Elsinore, CA 92530	Contreras Demetrio; Contreras Mayte 3509 Lake Crest dr. Lake Elsinore, CA 92530	Bernal Arturo D; Bernal Laura Livier 3507 Lake Crest dr. Lake Elsinore, CA 92530
Delano Henry; Delano Maria 3505 Lake Crest dr. Lake Elsinore, CA 92530	Leas Anthony 3503 Lake Crest dr. Lake Elsinore, CA 92530	Vreeland Charles R; Tanji Grace Y 3501 Lake Crest dr. Lake Elsinore, CA 92530
Prado Steven W 3499 Lake Crest dr. Lake Elsinore, CA 92530	Sanchez Rogelio 3497 Lake Crest dr. Lake Elsinore, CA 92530	AM Properties and Services 894 Robin dr. Lake Elsinore, CA 92530
Ramos Judith D 892 Robin dr. Lake Elsinore, CA 92530	Monge Agustin 884 Robin dr. Lake Elsinore, CA 92530	Naranjo Jose A 882 Robin dr. Lake Elsinore, CA 92530
Colula Verbara Emmanuel A; Colula Agustina B 874 Robin dr. Lake Elsinore, CA 92530	Moreno Enrique 872 Robin dr. Lake Elsinore, CA 92530	Naetzel Ysabel 864 Robin dr. Lake Elsinore, CA 92530
Guzman Manuel Soto; Ocegüera Maria Elena 862 Robin dr. Lake Elsinore, CA 92530	Gaddy Warren D; Gaddy Mary E 854 Robin dr. Lake Elsinore, CA 92530	Delatorre David 895 Robin dr. Lake Elsinore, CA 92530
Mitchell, Lauren 893 Robin dr. Lake Elsinore, CA 92530	Wise Aurelia 885 Robin dr. Lake Elsinore, CA 92530	Gutierrez Margie 883 Robin dr. Lake Elsinore, CA 92530

Cuevas Roberto; Delatorre Liliana
3561 Linnet dr.
Lake Elsinore, CA 92530

Sijabat Jon V; Sijabat Myrriah A
3563 Linnet dr.
Lake Elsinore, CA 92530

Mora Jaime
3571 Linnet dr.
Lake Elsinore, CA 92530

Monge Ana M
3573 Linnet dr.
Lake Elsinore, CA 92530

Alcala Jose Revocable Living Trust
3579 Linnet dr.
Lake Elsinore, CA 92530

Alcaraz Miguel
3581 Linnet dr.
Lake Elsinore, CA 92530

Knapp Richard L
3589 Linnet dr.
Lake Elsinore, CA 92530

Kuriata Marek; Juriata Lidia
15224 Lincoln st.
Lake Elsinore, CA 92530