



## REPORT TO PLANNING COMMISSION

**To:** Honorable Chair and Members of the Planning Commission

**From:** Damaris Abraham, Assistant Community Development Director

**Prepared by:** Carlos Serna, Associate Planner

**Date:** October 17, 2023

**Subject:** Planning Application No. 2022-20 (PDG Lake Elsinore) – Proposal to Construct a 10,241 Sq. Ft. Multi-tenant Commercial Building, a 3,887 Sq. Ft. In-N-out Drive-through Restaurant, Related Site Improvements, and a Uniform Sign Program on an Approximately 2.29-acre Site Located at Dexter Avenue Between Crane Street and Allan Street

**Applicant:** Robert Lewis, Pacific Development Group II

### **Recommendation**

1. Find that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (In-Fill Development Projects);
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2022-07 TO ESTABLISH A 3,887 SQUARE FOOT DRIVE-THROUGH RESTAURANT IN THE GENERAL COMMERCIAL (C-2) DISTRICT LOCATED AT APNS: 377-030-085, 086, 087, 088, 089, 090, 091, AND 092;
3. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2022-10 PROVIDING BUILDING DESIGNS AND RELATED IMPROVEMENTS FOR A 10,241 SQUARE-FOOT MULTI-TENANT COMMERCIAL BUILDING AND A 3,887 SQUARE FOOT RESTAURANT WITH A TWO-LANE DRIVE-THROUGH LOCATED AT APNS: 377-030-085, 086, 087, 088, 089, 090, 091, AND 092; and
4. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING UNIFORM SIGN PROGRAM (SIGN) NO. 2023-05 ESTABLISHING A UNIFORM SIGN PROGRAM FOR THE PDG LAKE ELSINORE DEVELOPMENT PROJECT LOCATED AT APNS 377-030-085, 086, 087, 088, 089, 090, 091, AND 092.

**Project Location**

The project site is located along Dexter Avenue between Crane Street and Allan Street. The project encompasses Assessor Parcel Numbers (APNs): 377-030-085, 086, 087, 088, 089, 090, 091, and 092.

**Project Description**

Planning Application No. 2022-20 is a request for approval of a Commercial Design Review (CDR No. 2022-10) to construct a one-story 10,241 sq. ft. multi-tenant commercial building and a one-story, 3,887 sq. ft. In-N-Out restaurant and related site improvements including a two-lane drive-through with 31 queuing spaces, 126 parking spaces, landscaping on an approximately 2.29-acre site. The application also includes a request for approval of a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through, as required by the C-2 zoning regulations. The site will be accessed by one full-movement driveway on Allan Street and two (2) full-movement driveways on Crane Street.

Uniform Sign Program (SIGN No. 2023-05) proposes to establish a criteria primarily for wall signs and freestanding signs at this multi-tenant integrated development. This program ensures signs are harmonious and visually related to each other through the incorporation of common design elements, and that signs are architecturally integrated with the buildings. The sign program includes proposed freestanding signs, a blueprint for building/wall signage, and all other types of contemplated signage that would be allowed in the center. A 13'-6" tall center identification sign located will be located at the corner of Allan Street and Dexter Avenue. The sign program also includes a 45'-0" tall freeway identification sign for In-N-Out which incorporates City Identification/Branding sign.

**Environmental Setting**

	<b>EXISTING LAND USE</b>	<b>GENERAL PLAN</b>	<b>ZONING</b>
Project Site	Vacant	General Commercial (GC)	General Commercial (C-2)
North	Commercial	General Commercial (GC)	General Commercial (C-2)
South	Commercial	General Commercial (GC)	General Commercial (C-2)
East	Vacant	General Commercial (GC)	General Commercial (C-2)
West	Commercial	General Commercial (GC)	General Commercial (C-2)

**Table 1:** Environmental Setting

**Analysis**

**General Plan Consistency**

The subject site has a General Plan Land Use designation of General Commercial (GC) and is located in the Business District. The GC Land Use designation provides for retail, services, restaurants, professional and administrative offices, hotels, and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses with a maximum 0.40 floor area

ratio (FAR). The project is proposing to develop a multi-tenant commercial retail building and a drive-through restaurant with 0.14 FAR. Therefore, the project is consistent with the General Plan.

Municipal Code Consistency

The current zoning designation of the subject site is General Commercial (C-2). According to Section 17.124.020 of the Lake Elsinore Municipal Code (LEMC), all permitted uses of the Commercial Office (C-O) and the Neighborhood Commercial (C-1) district as contained within LEMC 17.116.020 and 17.120.020 are also permitted uses in the C-2 zone. Restaurants and eating establishments and Retail or General Merchandise stores are permitted uses. According to Section 17.124.030 of the LEMC, Uses permitted subject to a use permit in the C-1 district as contained in LEMC 17.120.030 are also permitted in the C-2 zone subject to a Conditional Use Permit. Pursuant to LEMC 17.120.030 drive-through establishments are permitted use subject to a Conditional Use Permit.

Staff has reviewed the submitted development plans for compliance with the C-2 development standards and has determined that the proposed development conforms to the C-2 district provisions as shown in Table 2.

Development Standard	Required	Proposed
Floor Area Ratio (FAR)	0.80 max.	0.40
Front Setback	Average of 20' but not less than 15 feet	20' min
Right Side, Interior	15'	15'
Left Side, Interior	15'	15'
Building Height	45'	27'
Landscape improvements:		
Drive-through planter separation (from driveways, parking and property lines)	5'-0" min.	13' -5" to 20'-0"
Parking area from ROW	15'-0" min.	15'

**Table 2:** Development Standards

The Project also meets the minimum parking requirements set forth in Section 17.148.030 of the LEMC as shown in Table 3.

Parking Standard	Required	Proposed
Drive-Through Storage	8 vehicles (160'-0") min.	31 Vehicles (256'-0")
Required number of parking spaces	Commercial uses: one space per 250 sq. ft. of gross floor area  Restaurant uses: one space per 45 sq. ft. of customer area and 1 space per 200 sq. ft. of noncustomer area	Commercial structure: <ul style="list-style-type: none"> <li>• Restaurant- Customer Area – 810 sq. ft. / 45 sq. ft. = 18</li> <li>• Non-Customer Area – 2,290 sq. ft. / 200 sq. ft. = 12</li> <li>• Retail: 3,941 sq. ft. / 25 sq. ft. = 16</li> <li>• Medical: 3,000 sq. ft. / 175 sq. ft. = 17</li> </ul> In-N-Out:

	<p>Medical uses: one space per 175 sq. ft. of gross floor area</p>	<ul style="list-style-type: none"> <li>• Customer Area - 2,292 sq. ft. / 45 sq. ft. = 51</li> <li>• Non-customer area – 2,083 sq. ft. / 200 sq. ft. = 11</li> </ul> <p style="text-align: right;"><b>Total Required = 125</b> <b>Total Provided = 126</b></p>
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**Table 3:** Parking Requirements

Architecture and Site Design

The architectural design of the proposed building complies with the Nonresidential Development Standards (Chapter 17.112) of the LEMC. The proposed buildings are rectangular in plan and will feature varying roof lines. The commercial shell building exterior would consist a stucco exterior in shades of white with the cornice and steel canopies being an earthy brown as an accent. The structure also employs recessed walls to add additional architectural articulation and stone veneer. The proposed restaurant building exterior would employ a similar base color to the commercial shell building and would employ red striping below the cornice as an accent and stone veneer will be employed in the lower 5<sup>th</sup> of the building to avoid long expanses of open blank wall space. The exterior architecture, including colors and materials, have been designed to be harmonious and compatible with surrounding development. Furthermore, the proposed landscaping improvements complement the proposed building design, provide shade and break-up expanses of pavement. The proposed site design is cohesive and functional for the proposed use.

The Design Review Committee, including Staff from Planning, Building and Safety, Fire, and Engineering departments and the Elsinore Valley Municipal Water District, has reviewed the project and have added recommended conditions of approval to ensure compliance with adopted plans, policies, and regulations.

Traffic and Operations

A traffic study dated September 2023 was prepared by Kimley-Horn for the proposed project. The purpose of the analysis is to assess the degree to which the project would impact performance of the surrounding road network, specifically the existing intersections of the Specifically the intersections of the proposed west Driveway at Allan Street, east and west driveways at Crane Street, I-15 SB Ramps at Central Avenue, I-15 NB Ramps at Central Avenue, Dexter Avenue at Central Avenue, Cambern Avenue at Central Avenue, Dexter Avenue at Allan Street, Dexter Avenue at Crane Street, Dexter Avenue at 3rd Street, and Dexter Avenue at 2nd Street. The analysis concluded that upon construction of street improvements adjacent to the project frontage on Dexter Avenue, construction of new traffic signal at the intersection of Dexter Avenue and Third Street, and fee payments to established programs (Traffic Infrastructure Fee and Transportation Uniform Mitigation Fee), the project would not adversely affect levels of service in the study area and that the study intersections would function at satisfactory levels of service.

The Citywide Traffic Impact Study and Fee Analysis (TIF) conducted in 2002 identifies a traffic signal required at Dexter Avenue and 2<sup>nd</sup> Street. However, based on the pattern of development

since 2002 and the Traffic Impact analysis provided by the developer, a traffic signal is warranted at the intersection of Dexter Avenue and 3<sup>rd</sup> Street. Based on that, Staff recommends changing the TIF eligibility to the intersection at Dexter Avenue and 3<sup>rd</sup> Street allowing the developer to have TIF reimbursement eligibility up to the amount stated in the study for the traffic signal improvements constructed by the project. Engineering Department is currently conducting an update to the TIF program that will include all signals for City's future build out.

The Traffic Impact analysis also included a drive-through queuing analysis for the proposed project to evaluate the adequacy of the drive-through lane queuing capacity. The opening to the drive-through lane would be located on the northern corner of the Fast-Food site and wrap around to the east side of the proposed building in a counterclockwise direction. The drive-through would provide two side-by-side entry lanes. After the entry lanes, the two lanes would merge into a single drive-through lane prior to the order board and pay and pick-up window. The proposed drive-through would provide a drive-through queuing capacity of approximately 31 vehicles. According to the traffic study, based on survey data of the other tenant locations in the region, the study determined that the proposed drive-through stacking capacity at the peak observed queue was 24 vehicles. Additionally, the project is conditioned to submit queuing management plan detailing procedures and operational measures to be implemented to achieve safe parking lot circulation during peak drive-through demand (COA No. 17). Therefore, upon implementation of the circulation improvements and traffic management plans required by conditions of approval, the project is consistent with the circulation goals and policies of the General Plan and is not expected to adversely impact the safety or efficiency of the surrounding roadways.

### **Environmental Determination**

The proposed project is exempt is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development) because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services. A categorical exemption checklist documenting project eligibility for the Class 32 exemption is attached to this report (Attachment 5).

### **MSHCP Consistency**

The proposed project is consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). The subject property is not located in an MSHCP criteria cell and is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR process. The project complies with all other applicable requirements of the MSHCP.

**Public Notice**

Notice of the hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 700 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

**Attachments**

- Attachment 1 – CUP Resolution
- Attachment 2 – CDR Resolution
- Attachment 3 – SIGN Resolution
- Attachment 4 – Conditions of Approval
- Attachment 5 – Class 32 CEQA Exemption Checklist
- Attachment 6 – GIS Package
- Attachment 7 – Design Review Package
- Attachment 8 – Uniform Sign Program
- Attachment 9 – Public Noticing Materials

**RESOLUTION NO. 2023-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE  
ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2022-07  
TO ESTABLISH A 3,887 SQUARE-FOOT DRIVE-THROUGH RESTAURANT IN  
THE GENERAL COMMERCIAL (C-2) DISTRICT LOCATED AT APNS: 377-030-085,  
086, 087, 088, 089, 090, 091, AND 092**

**Whereas**, Robert Lewis, Pacific Development Group II, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2022-20 (Conditional Use Permit No. 2022-07, Commercial Design Review No. 2022-10, and Uniform Sign Program No. 2023-05) to construct a one (1) story 10,241 sq. ft. multi-tenant commercial building, a one (1) story, 3,887 sq. ft. In-N-Out restaurant and related site improvements including a two-lane drive-through with 31 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center. The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allan Street (APNs: 377-030-085, 086, 087, 088, 089, 090, 091, and 092);

**Whereas**, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

**Whereas**, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

**Whereas**, Section 17.415.070.A of the Lake Elsinore Municipal Code (LEMC) provides that certain uses have operational characteristics that, depending on the location and design of the use, may have the potential to negatively impact adjoining properties, businesses or residents and therefore are permitted subject to the issuance of a Conditional Use Permit, which allows the City to comprehensively review and approve the use;

**Whereas**, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and

**Whereas**, on October 17, 2023, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE  
ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS  
FOLLOWS:**

**Section 1:** The Commission has considered the project and its consistency with the MSHCP prior to adopting Findings of Consistency with the MSHCP.

**Section 2:** That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. *The project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.*
2. *The Project site is flat, heavily disturbed and devoid of vegetation with much of the surrounding area having been developed for commercial uses. The project is proposing to construct a new commercial building, restaurant building, drive-through lanes, and other improvements throughout the Project site. As such, the Riparian/Riverine Areas and Vernal Pool Guidelines as set forth in Section 6.1.2 of the MSHCP are not applicable.*
3. *The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines as set forth in MSHCP Section 6.1.3 and the Additional Survey Needs and Procedures as set forth in MSHCP Section 6.3.2 because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.*
4. *The project is consistent with the Fuels Management Guidelines because the project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.*
5. *The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.*

**Section 3:** The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development) because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services.

**Section 4:** That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Conditional Use Permit No. 2022-07:

1. That the proposed use is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

*The subject site has a General Plan Land Use designation of General Commercial (C-2) and is located in the Business District. The General Commercial Land Use designation provides for retail, services, restaurants, professional and administrative offices, hotels, and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses with a maximum 0.40 floor area ratio (FAR). The project is proposing to develop a multi-tenant commercial retail building and a drive-through restaurant with 0.14 FAR. Therefore, the Project is consistent with the General Plan.*

*Furthermore, the current zoning designation of the subject site is General Commercial (C-2). According to Section 17.124.030 of the Lake Elsinore Municipal Code (LEMC), Uses permitted subject to a use permit in the Neighborhood Commercial (C-1) district as*

*contained in LEMC 17.120.030 are also permitted in the C-2 zone subject to a Conditional Use Permit. Pursuant to LEMC 17.120.030 drive-through establishments are permitted use subject to a Conditional Use Permit Therefore, the proposed drive-through food establishment is consistent with the commercial designation of the subject site as described in the General Plan.*

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

*The proposed use does not involve the potential for causing detrimental effects to the existing surrounding community or the general public. The project has been conditioned as such to avoid any possible negative impacts associated with the proposed project.*

3. The site is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

*The proposed site development plan provides sufficient drive-through lane lengths to accommodate assumed peak vehicle queuing space, as well as provide conforming building and drive lane setbacks from the right-of-way and neighboring properties.*

4. The site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

*The project would include construction of frontage improvements adjacent to the project frontage on Dexter Avenue, construction of new traffic signal at the intersection of Dexter Avenue and Third Street, and fee payments to established programs (Traffic Infrastructure Fee and Transportation Uniform Mitigation Fee). Furthermore, the project has been designed to ensure that drive-through operations do not impact surrounding roadways due to queuing spillover. Therefore, the proposed improvements will be sufficient for the type and quantity of traffic generated by the proposed use.*

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

*The project has been thoroughly reviewed and conditioned by all applicable City departments thereby eliminating the potential for any adverse effects.*

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

*Pursuant to Section 17.415.070.B of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing on October 17, 2023, appropriate and applicable conditions of approval have been included to protect the public health, safety and general welfare.*

**Section 5:** Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby finds that the project is consistent with the MSHCP.

**Section 6:** Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Conditional Use Permit No. 2022-07.

**Section 7:** This Resolution shall take effect immediately upon its adoption.

**Passed and Adopted** on this 17<sup>th</sup> day of October, 2022.

\_\_\_\_\_  
Michael Carroll, Chairman

**Attest:**

\_\_\_\_\_  
Damaris Abraham,  
Assistant Community Development Director

STATE OF CALIFORNIA            )  
COUNTY OF RIVERSIDE        ) ss.  
CITY OF LAKE ELSINORE        )

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-\_\_ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held October 17, 2023 and that the same was adopted by the following vote:

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

\_\_\_\_\_  
Damaris Abraham,  
Assistant Community Development Director

**RESOLUTION NO. 2023-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2022-10 PROVIDING BUILDING DESIGNS AND RELATED IMPROVEMENTS FOR ONE 10,241 SQUARE-FOOT COMMERCIAL BUILDING AND A 3,887 SQUARE FOOT RESTAURANT WITH A TWO-LANE DRIVE-THROUGH LOCATED AT APNS: 377-030-085, 086, 087, 088, 089, 090, 091, AND 092**

**Whereas**, Robert Lewis, Pacific Development Group II, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2022-20 (Conditional Use Permit No. 2022-07, Commercial Design Review No. 2022-10, and Uniform Sign Program No. 2023-05) to construct a one (1) story 10,241 sq. ft. multi-tenant commercial building, a one (1) story, 3,887 sq. ft. In-N-Out restaurant and related site improvements including a two-lane drive-through with 31 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center. The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allen Street (APNs: 377-030-085, 086, 087, 088, 089, 090, 091, and 092);

**Whereas**, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

**Whereas**, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

**Whereas**, pursuant to Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and

**Whereas**, on October 17, 2023, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1:** The Commission has considered the project and its consistency with the MSHCP prior to adopting Findings of Consistency with the MSHCP.

**Section 2:** That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. *The project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.*

2. *The Project site is flat, heavily disturbed and devoid of vegetation with much of the surrounding area having been developed for commercial uses. The project is proposing to construct a new commercial building, restaurant building, drive-through lanes, and other improvements throughout the Project site. As such, the Riparian/Riverine Areas and Vernal Pool Guidelines as set forth in Section 6.1.2 of the MSHCP are not applicable.*
3. *The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines as set forth in MSHCP Section 6.1.3 and the Additional Survey Needs and Procedures as set forth in MSHCP Section 6.3.2 because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.*
4. *The project is consistent with the Fuels Management Guidelines because the project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.*
5. *The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.*

**Section 3:** The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP), and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

**Section 4:** The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development) because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services.

**Section 5:** That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Commercial Design Review No. 2022-10:

1. The project, as approved, will comply with the goals and objectives of the General Plan and the zoning district in which the project is located.

*The subject site has a General Plan Land Use designation of General Commercial (GC) and is located in the Business District. The GC Land Use designation provides for retail, services, restaurants, professional and administrative offices, hotels, and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses with a maximum 0.40 floor area ratio (FAR). The project is proposing to develop a multi-tenant commercial retail building and a drive-through restaurant with 0.14 FAR. Therefore, the Project is consistent with the General Plan.*

*Furthermore, the current zoning designation of the subject site is General Commercial (C-2). According to Section 17.124.020 of the Lake Elsinore Municipal Code (LEMC), all permitted uses of the Commercial Office (C-O) and the Neighborhood Commercial (C-1) district as contained within LEMC 17.116.0202 and 17.120.020 are also permitted uses in the C-2 zone. Restaurants and eating establishments and Retail or General Merchandise stores are permitted uses. According to Section 17.124.030 of the LEMC, Uses permitted subject to a use permit in the C-1 district as contained in LEMC 17.120.030 are also permitted in the C-2 zone subject to a Conditional Use Permit. Pursuant to LEMC 17.120.030 drive-through establishments are permitted use subject to a Conditional Use Permit. Therefore, the proposed drive-through food establishment is consistent with the commercial designation of the subject site as described in the General Plan.*

2. The Project complies with the design directives contained in the LEMC and all applicable provisions of the LEMC.

*The project is appropriate to the site and surrounding developments. The architectural design of the proposed buildings conforms to the Nonresidential Development Standards (Chapter 17.112) of the LEMC. Sufficient setbacks and enhanced onsite landscaping have been provided thereby creating interest and varying vistas as a person moves along abutting streets. The architecture has been designed to achieve harmony and compatibility with the surrounding area. The colors and materials proposed will assist in blending the architecture into the existing landscape and are compatible with other colors and materials used on other properties near the project site. In addition, safe and efficient circulation has been achieved onsite.*

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

*Pursuant to Section 17.415.050.E of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing held on October 17, 2023. The project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.*

**Section 6:** Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Commercial Design Review No. 2022-10.

**Section 7:** This Resolution shall take effect immediately upon its adoption.

**Passed and Adopted** on this 17<sup>th</sup> day of October, 2023.

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Michael Carroll, Chairman

**Attest:**

\_\_\_\_\_  
Damaris Abraham,  
Assistant Community Development Director

STATE OF CALIFORNIA            )  
COUNTY OF RIVERSIDE        ) ss.  
CITY OF LAKE ELSINORE        )

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-\_\_ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held October 17, 2023 and that the same was adopted by the following vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

\_\_\_\_\_  
Damaris Abraham,  
Assistant Community Development Director

**RESOLUTION NO. 2023-\_\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING UNIFORM SIGN PROGRAM (SIGN) NO. 2023-05 ESTABLISHING A UNIFORM SIGN PROGRAM FOR THE PDG LAKE ELSINORE DEVELOPMENT PROJECT LOCATED AT APNS 377-030-085, 086, 087, 088, 089, 090, 091, AND 092**

**Whereas**, Robert Lewis, Pacific Development Group II, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2022-20 (Conditional Use Permit No. 2022-07, Commercial Design Review No. 2022-10, and Uniform Sign Program No. 2023-05) to construct a one (1) story 10,241 sq. ft. multi-tenant commercial building, a one (1) story, 3,887 sq. ft. In-N-Out restaurant and related site improvements including a two-lane drive-through with 31 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center. The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allan Street (APNs: 377-030-085, 086, 087, 088, 089, 090, 091, and 092);

**Whereas**, Uniform Sign Program (SIGN) No. 2023-05 proposes to establish a criteria primarily for wall signs and freestanding signs at this multi-tenant integrated development. This program ensures signs are harmonious and visually related to each other through the incorporation of common design elements, and that signs are architecturally integrated with the buildings. The sign program includes proposed freestanding signs, a blueprint for building/wall signage, and all other types of contemplated signage that would be allowed in the center;

**Whereas**, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

**Whereas**, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

**Whereas**, pursuant to Section 17.196.180.C (Signs in commercial districts) and Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and

**Whereas**, on October 17, 2023, at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1:** The Commission has considered the project and its consistency with the MSHCP prior to adopting Findings of Consistency with the MSHCP.

**Section 2:** That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. *The project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.*
2. *The Project site is flat, heavily disturbed and devoid of vegetation with much of the surrounding area having been developed for commercial uses. The project is proposing to construct a new commercial building, restaurant building, drive-through lanes, and other improvements throughout the Project site. As such, the Riparian/Riverine Areas and Vernal Pool Guidelines as set forth in Section 6.1.2 of the MSHCP are not applicable.*
3. *The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines as set forth in MSHCP Section 6.1.3 and the Additional Survey Needs and Procedures as set forth in MSHCP Section 6.3.2 because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.*
4. *The project is consistent with the Fuels Management Guidelines because the project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.*
5. *The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.*

**Section 3:** The Commission has reviewed and analyzed the proposed Project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP) and the LEMC and finds and determines that the proposed Project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

**Section 4:** The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development) because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services.

**Section 5:** That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Uniform Sign Program (SIGN) No. 2023-05:

1. The Project, as approved, will comply with the goals and objectives of the General Plan, Specific Plan and the Zoning District in which the Project is located.

*The subject site has a General Plan Land Use designation of General Commercial (GC) and is located in the Business District. The GC Land Use designation provides for retail, services, restaurants, professional and administrative offices, hotels, and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses with a maximum 0.40 floor area ratio (FAR). The project is proposing to develop a multi-tenant commercial retail building and a drive-through restaurant with 0.14 FAR. Therefore, the Project is consistent with the General Plan.*

*Furthermore, the current zoning designation of the subject site is General Commercial (C-2). According to Section 17.124.020 of the Lake Elsinore Municipal Code (LEMC), all permitted uses of the Commercial Office (C-O) and the Neighborhood Commercial (C-1) district as contained within LEMC 17.116.0202 and 17.120.020 are also permitted uses in the C-2 zone. Restaurants and eating establishments and Retail or General Merchandise stores are permitted uses. According to Section 17.124.030 of the LEMC, Uses permitted subject to a use permit in the C-1 district as contained in LEMC 17.120.030 are also permitted in the C-2 zone subject to a Conditional Use Permit. Pursuant to LEMC 17.120.030 drive-through establishments are permitted use subject to a Conditional Use Permit. Therefore, the proposed drive-through food establishment is consistent with the commercial designation of the subject site as described in the General Plan.*

2. The Project complies with the design directives contained in the General Plan and all other applicable provisions of the LEMC.

*The proposed uniform sign program demonstrates that the size and scale of signs are harmonious with the overall design concept of the Project. The materials and colors also reflect those used for the principal structures of the PDG Lake Elsinore Development Project. The Project also complies with the architectural guidelines and development standards outlined in the Nonresidential Development Standards (Chapter 17.112) of the LEMC by creating a sign program that enhances the appearance of the Project. The Project has also incorporated the City's Branding.*

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

*Pursuant to Section 17.415.050.E of the LEMC, the Project was considered by the Planning Commission at a duly noticed Public Hearing held on October 17, 2023. The Project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.*

**Section 6:** Based upon all of the evidence presented, the above findings, and the conditions of approval imposed upon the Project, the Commission hereby recommends that the Council approve Uniform Sign Program (SIGN) No. 2023-05.

**Section 7:** This Resolution shall take effect immediately upon its adoption.

**Passed and Adopted** on this 17<sup>th</sup> day of October, 2023.

\_\_\_\_\_  
Michael Carroll, Chairman

**Attest:**

\_\_\_\_\_  
Damaris Abraham,  
Assistant Community Development Director

STATE OF CALIFORNIA            )  
COUNTY OF RIVERSIDE        ) ss.  
CITY OF LAKE ELSINORE        )

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ABSTAIN:  
ABSENT:

\_\_\_\_\_  
Damaris Abraham,  
Assistant Community Development Director

## CONDITIONS OF APPROVAL

**PROJECT:** PA 2022-20/CUP 2022-07/CDR 2022-10/  
SIGN 2023-05  
**PROJECT NAME:** PDG Lake Elsinore  
**PROJECT LOCATION:** APNs: 377-030-085, 086, 087, 088, 089, 090,  
091, and 092  
**APPROVAL DATE:**  
**EFFECTIVE DATE:**  
**EXPIRATION DATE:**

### GENERAL

1. Planning Application No. 2022-20 (Conditional Use Permit No. 2022-07, Commercial Design Review No. 2022-10, and Uniform Sign Program No. 2023-05) proposes to construct a one (1) story 10,241 sq. ft. multi-tenant commercial building, one (1) story 3,887 sq. ft. In-N-Out restaurant, and related site improvements including a two-lane drive-through with 32 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center. The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allen Street (APNs: 377-030-085, 086, 087, 088, 089, 090, 091, and 092).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning approval, implementation and construction of CUP 2022-07 and CDR 2022-10, and SIGN 2023-05 which action is brought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension or modification of CUP 2022-07 and CDR 2022-10, and SIGN 2023-05 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community Development Department for inclusion in the case records.

### PLANNING DIVISION

4. Conditional Use Permit No. 2022-07 shall lapse and become void two years following the date on which the conditional use permit became effective, unless one of the following: (1)

prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the conditional use permit approval pursuant to subsections (a), (b), and (c) of Lake Elsinore Municipal Code (LEMC) Section 17.415.070.D.2. Subject to the provisions of LEMC Section 17.415.070.I, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure, which was the subject of the Conditional Use Permit application.

5. Commercial Design Review No. 2022-10 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
6. Uniform Sign Program (SIGN) No. 2023-05 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
7. An application for modification, expansion or other change in a Conditional Use Permit shall be reviewed according to the provisions of the Section 17.415.070 of the LEMC, in a similar manner as a new application
8. If operation of this use raises concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said Conditional Use Permit.
9. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of each individual Certificate of Occupancy and release of utilities that are applicable to the In-N-Out building as well as those applicable to the multi-tenant commercial building.
10. All future development proposals shall be reviewed by the City on a project-by-project basis. If determined necessary by the Community Development Director or designee, additional environmental analysis will be required.

11. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application. Grading plan revisions shall be reviewed by the City Engineer.
12. Provisions of the City's Noise Ordinance (LEMC Chapter 17.176) shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays.
13. No individual signs are approved as part of this approval. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site consistent with the sign program for the project.
14. Graffiti shall be removed within 24 hours.
15. All materials and colors depicted on the approved plans shall be used. If the applicant wishes to modify any of the approved materials or colors depicted on the plans, the applicant shall submit a proposal setting forth the modifications for review by the Community Development Director or his designee
16. The entire site shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.
17. In-N-Out will be required to provide a Queueing Management Plan prior to occupancy of the In-N-Out building. The project shall be required to comply with the Queueing Management Plan at all times to ensure that the operation of the drive-through does not interfere with free and orderly circulation of the parking lots and to avoid spillover of vehicles in the public right-of-way.
18. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation

#### **Prior to Issuance of Grading Permits/Building Permits**

19. Prior to issuance of a building permit, the applicant shall pay Development Impact Fees (DIF) per LEMC Section 16.74 and Multiple Species Habitat Conservation Plan (MSHCP) Fees per LEMC Section 16.85, at the rate in effect at the time of payment.

20. All roof mounted or ground support air conditioning units or other mechanical equipment incidental to development shall be architecturally screened or shielded by landscaping so that they are not visible from neighboring property or public streets. Any roof mounted central swamp coolers shall also be screened, and the Community Development Director, prior to issuance of building permit shall approve screening plan.
21. The project shall meet all requirements of the Elsinore Valley Municipal Water District (EVMWD). The applicant shall submit water and sewer plans to the EVMWD and shall incorporate all district conditions and standards.
22. The property address (in numerals at least six inches high) shall be displayed near the entrance and be easily visible from the front of the subject property and public right-of-way.
23. The applicant shall construct trash enclosure(s) to match the colors, materials and design of the project architecture.
24. Prior to issuance of a building permit, the Final Landscaping / Irrigation Detail Plans shall be submitted to the Community Development Department with appropriate fees, for review and approval by the Community Development Director or designee.
  - a. All planting areas shall have permanent and automatic sprinkler system with 50% plant coverage using a drip irrigation method.
  - b. All planting areas shall be separated from paved areas with a six inch (6") high and six inch (6") wide concrete curb. Runoff shall be allowed from paved areas into landscape areas.
  - c. Planting within fifteen feet (15') of ingress/egress points shall be no higher than twenty-four inches (24").
  - d. Landscape planters shall be planted with an appropriate parking lot shade tree pursuant to the LEMC and Landscape Design Guidelines.
  - e. No required tree planting bed shall be less than 5 feet wide.
  - f. Root barriers shall be installed for all trees planted within 10 feet of hardscape areas to include sidewalks.
  - g. Any transformers and mechanical or electrical equipment shall be indicated on landscape plan and screened as part of the landscaping plan.
  - h. The landscape plan shall provide for ground cover, shrubs, and trees and meet all requirements of the City's adopted Landscape Guidelines.
  - i. All landscaping and irrigation shall be installed within affected portion of any phase at the time a Certificate of Occupancy is requested for any building.
  - j. Final landscape plan must be consistent with approved site plan.
  - k. Final landscape plans to include planting and irrigation details and shall blend in with the existing shopping center.
  - l. Final landscape plans shall include drought tolerant planting consistent with Elsinore Valley Municipal Water District standards subject to plan check and approval by the City's landscape plan check consultant.
  - m. No turf shall be permitted pursuant to LEMC Chapter 19.08: Water Efficient Landscape Requirements.
25. Landscaping installed for the project shall be continuously maintained to the reasonable satisfaction of the Community Development Director. If it is determined that the landscaping is not being maintained, the Director of Community Development shall have the authority to

require the property owner to bring the landscaping into conformance with the approved landscape plan. The continued maintenance of all landscaped areas shall be the responsibility of the developer or any successors in interest.

26. The proposed location of on-site construction trailers shall be approved by the Community Development Director or designee. A cash bond of \$1,000 shall be required for any construction trailers placed on the site and used during construction. Bonds will be released after removal of trailers and restoration of the site to an acceptable state, subject to approval of the Community Development Director or designee. Such trailer(s) shall be fully on private property and outside the public right of way.
27. Prior to building permit issuance, the applicant shall initiate and complete Covenants, Conditions and Restrictions (CC&Rs) which shall be approved by the City. All CC&R documents that address including, but not limited to, reciprocal easements, shall be submitted for review and approval by City Planning, Engineering and the City Attorney and upon City approval shall be recorded. Such documents shall include Covenants, Conditions and Restrictions (CC&Rs).
  - a. All landscaping, all drainage basins, and common areas including but not limited to parking areas and drive aisles, shall be maintained in accordance with the CC&Rs.
  - b. Provisions to restrict parking upon other than approved and developed parking spaces shall be written into the CC&Rs for the project.

## **BUILDING DIVISION**

### **General Conditions**

28. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes which are enforced at the time of building plan submittal.
29. Compliance with Code. All design components shall comply with applicable provisions of the 2022 edition of the California Building, Plumbing and Mechanical Codes; 2022 California Electrical Code; California Administrative Code, 2022 California Energy Codes, 2022 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.
30. Green Measures. The application shall provide 10% voluntary green measures on the project, as stipulated by the 2022 California Green Building Standards.
31. Disabled Access. Applicant shall provide details of all applicable disabled access provisions and building setbacks on plans to include:
  - a. All ground floor units to be adaptable.
  - b. Disabled access from the public way to the entrance of the building.
  - c. Van accessible parking located as close as possible to the main entry.
  - d. Path of accessibility from parking to furthest point of common area.
  - e. Path of travel from public right-of-way to all public areas on site, such as club house,

trash enclosure tot lots and picnic areas.

32. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single- family residential projects. It takes 10 days to issue address and notify other agencies. Please contact Sonia Salazar at [ssalazar@lake-elsinore.org](mailto:ssalazar@lake-elsinore.org) or 951-674-3124 X 277.
33. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department to ensure the payment or exemption from School Mitigation Fees.
34. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.
35. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.
36. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.
37. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

#### **At Plan Review Submittal**

38. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
  - a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
  - b. A Sound Transmission Control Study in accordance with the provisions of the Section 5.507, of the 202241 edition of the California Building Code.
  - c. A precise grading plan to verify accessibility for the persons with disabilities.
  - d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

#### **Prior to Issuance of Grading Permit(s)**

39. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.
40. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project. Asbestos report and lead base paint reports are required before demo permit will be issued.

### **Prior to Issuance of Building Permit(s)**

41. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.

### **Prior to Beginning of Construction**

42. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

## **ENGINEERING DEPARTMENT**

### **GENERAL**

43. All new submittals for plan check or permit shall be made using the City's online Citizen Self-Service Portal (CSSP).
44. All engineering plans shall be prepared by a licensed Civil Engineer using the City's standard title block.
45. All required soils, geology, hydrology and hydraulic and seismic reports shall be prepared by a licensed Civil Engineer and Soils Engineer, as applicable.
46. All slopes and landscaping within the public right-of-way shall be maintained by the property owner, owner's association, firms contracted by the property owner's association, or another maintenance entity approved by the City Council.
47. In accordance with the City's Franchise Agreement for waste disposal and recycling, the applicant shall be required to contract with CR&R, Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated both during cleaning, demolition, clear and grubbing or all other phases of construction and during occupancy.
48. Applicant shall submit a detailed hydrology and hydraulic study for review for the sufficient containment and conveyance of the storm water to a safe and adequate point as approved by the City Engineer.
49. The site will accommodate all construction activity, building activity, vehicles, etc. No staging on public streets, or private property belonging to others shall be conducted without the written permission of the property owner.
50. Minimum good housekeeping and erosion and sediment control Best Management Practices (BMPs) shall be implemented.

### **FEES**

51. Applicant shall pay all applicable permit application and Engineering assessed fees, including without limitation plan check and construction inspection fees, at the prevalent rate at time of payment in full.

52. Applicant shall pay all applicable Mitigation and Development Impact Fees at the prevalent rate at time of payment in full. Fees are subject to change. Mitigation and Development Impact Fees include without limitation:
- a. Master Drainage Plan Fee – Due prior to Grading Permit issuance, whichever is first.
  - b. Traffic Infrastructure Fee (TIF) – Due prior to Building Permit issuance
  - c. Transportation Uniform Mitigation Fee (TUMF) – Due prior to Occupancy
  - d. Stephens' Kangaroo Rat Habitat Mitigation Fee (K-Rat) – Due prior to Grading Permit issuance.

### **LAND DIVISION**

53. Applicant shall submit and complete plan check review and approval for two (2) parcel mergers and one (1) lot line adjustment. Each parcel mergers and lot line adjustment shall be recorded prior to first issuance of the corresponding building permit.
54. Applicant shall dedicate right-of-way along Dexter Avenue adjacent to the property frontage for a minimum total right-of-way of 34 feet from centerline to the project property line. Dexter Avenue is classified as a Collector Highway in the City's General Plan Circulation Element, where full-width is 68 feet and curb-to-curb width is 48 feet.

### **STORM WATER MANAGEMENT / POLLUTION PREVENTION / NPDES**

#### **Design**

55. The project is responsible for complying with the Santa Ana Region National Pollutant Discharge Elimination System (NPDES) Permits as warranted based on the nature of development and/or activity.
56. A Final Water Quality Management Plan (WQMP) for each parcel will be required and shall be prepared using the Santa Ana Region of Riverside County Guidance Document and approved template and submitted for review and approval to the City. The Final WQMP for each parcel shall be approved by the City prior rough grading plan approval or issuance of any permit for construction.
57. The Final WQMP shall document the following:
- a. Detailed site and project description.
  - b. Potential stormwater pollutants.
  - c. Post-development drainage characteristics.
  - d. Low Impact Development (LID) BMP selection and analysis.
  - e. Structural and non-structural source control BMPs.
  - f. Treatment Control BMPs.
  - g. Site design and drainage plan (BMP Exhibit).
  - h. Documentation of how vector issues are addressed in the BMP design, operation and maintenance.
  - i. GIS Decimal Minute Longitude and Latitude coordinates for all LID and Treatment Control BMP locations.
  - j. Hydraulic Conditions of Concern (HCOC) – demonstrate that discharge flow rates, velocities, duration and volume for the post construction condition from a 2-year,

24-hour rainfall event will not cause adverse impacts on downstream erosion and receiving waters, or measures are implemented to mitigate significant adverse impacts downstream public facilities and water bodies. Evaluation documentation shall include pre- and post-development hydrograph volumes, time of concentration and peak discharge velocities, construction of sediment budgets, and a sediment transport analysis. If HCOC applies, the project shall implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes and channels; and minimize significant impacts from urban runoff. (Note the facilities may need to be larger due to flood mitigation for the 10-year, 6- and 24-hour rain events).

- k. Operations and Maintenance (O&M) Plan and Agreement (using City approved form and/or CC&Rs) as well as documentation of formation of funding district for long term maintenance costs.
58. Parking lot landscaping areas shall be designed to provide for treatment, retention or infiltration of runoff.
59. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
60. Project trash enclosure shall be covered, bermed, and designed to divert drainage from adjoining paved areas and regularly maintained.
61. If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Department.
62. All storm drain inlet facilities shall be appropriately marked "Only Rain in the Storm Drain" using the City authorized marker.
63. The project site shall implement full trash capture methods/devices approved by the Region Water Quality Control Board. This shall include installation of connector pipe screens on all onsite and offsite catch basins to which the project discharges.
64. All restaurants and commercial food handling facilities must provide an area for the washing/steam cleaning of equipment and accessories. The area must be self-contained, equipped with a grease trap, and properly connected to a sanitary sewer. If the wash area is located outdoors, it must be covered, paved have secondary containment, and be connected to the sanitary sewer or other appropriately permitted disposal facility. Plan Requirements: The Owner/Applicant shall incorporate these food facility requirements into project design and depict on plans, including detail plans as needed.

### **Construction**

65. A Storm Water Pollution Prevention Plan (SWPPP) (as required by the NPDES General Construction Permit) and compliance with the Green Building Code for sediment and erosion control are required for this project.
66. Prior to grading or building permit for construction or demolition and/or weed abatement activity, projects subject to coverage under the NPDES General Construction Permit shall demonstrate that compliance with the permit has been obtained by providing a copy of the

Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer. A copy of the SWPPP shall be kept at the project site, updated, and be available for review upon request.

67. Erosion & Sediment Control – Prior to the issuance of any grading or building permit for construction or demolition, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City’s NPDES Program and state water quality regulations for grading and construction activities. A copy of the plan shall be incorporated into the SWPPP, kept updated as needed to address changing circumstances of the project site, be kept at the project site, and available for review upon request.

### **Post-Construction**

68. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
- a. Demonstrate that the project has compiled with all non-structural BMPs described in the project’s WQMP.
  - b. Provide signed, notarized certification from the Engineer of Work that the structural BMPs identified in the project’s WQMP are installed in conformance with approved plans and specifications and operational.
  - c. Submit a copy of the fully executed, recorded City approved Operations and Maintenance (O&M) Plan and Agreement for all structural BMPs or a copy of the recorded City approved CC&R.
  - d. The Operation and Maintenance (O&M) Plan and Agreement and/or CC&R’s shall: (1) describe the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identify the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; (3) describe the mechanism for funding the long-term operation and maintenance of the referenced BMPs; and (4) provide for annual certification for water quality facilities by a Registered Civil Engineer. The City format shall be used.
  - e. Provide documentation of annexation into a CFD for funding facilities to be maintained by the City.
  - f. Demonstrate that copies of the project’s approved WQMP (with recorded O&M Plan or CC&R’s attached) are available for each of the initial occupants.
  - g. Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the Engineer of Work dated 12 months after the Certificate of Occupancy will be considered in lieu of a Special Investigation by the City.
  - h. Provide the City with a digital .pdf copy of the Final WQMP.

### **UTILITIES**

69. All arrangements for relocation of utility company facilities (power poles, vaults, etc.) out of the roadway shall be the responsibility of the applicant, property owner, and/or his agent.

Overhead utilities (34.5 kV or lower) shall be undergrounded (LEMC Section 16.64) as applicable to the project.

70. Underground water rights shall be dedicated to the City pursuant to the provisions of LEMC Section 16.52.030, and consistent with the City's agreement with the Elsinore Valley Municipal Water District.
71. Submit a "Will Serve" letter to the City Engineering Department from the applicable water agency stating that water and sewer arrangements have been made for this project and specify the technical data for the water service at the location, such as water pressure, volume, etc. Will Serve letters shall be provided prior to issuance of Grading Permit.

### **IMPROVEMENTS**

72. Project will be responsible for the following improvements:
  - a. Construction of street improvements adjacent to the project frontage on Dexter Avenue. Improvements shall include widened road section, curb, gutter, sidewalk, ADA curb ramps, parkway landscaping, utility relocations, and streetlights.
  - b. Construction of new traffic signal and ADA ramps at the intersection of Dexter Avenue and Third Street. Signal poles shall be placed at ultimate location. Ultimate intersection roadway improvements are required.
    - a. Traffic signal improvements are eligible for TIF reimbursements and Applicant may enter into a TIF reimbursement agreement for future fees paid toward these improvements.
73. Sight distance into and out at each project driveway shall comply with City Standard 125/126 or Caltrans standards. Project shall ensure facilities are installed in the line of sight of drivers.
74. 10-year storm runoff shall be contained within the curb and the 100-year storm runoff shall be contained within the street right-of-way. When either of these criteria are exceeded, drainage facilities shall be provided.
75. All drainage facilities in this project shall be constructed to Riverside County Flood Control District Standards. All public storm drain improvements shall be constructed as part of the first phase of the project.
76. A drainage study shall be provided. The study shall identify the following: identify storm water runoff from and upstream of the site; show existing and proposed off-site and on-site drainage facilities; and include a capacity analysis verifying the adequacy of the facilities. The drainage system shall be designed to ensure that runoff from a 10-year storm of 6 hours and 24 hours duration under developed condition is equal or less than the runoff under existing conditions of the same storm frequency. Both 6-hour and 24-hour storm duration shall be analyzed to determine the detention
77. All natural drainage traversing the site shall be conveyed through the site, or shall be collected and conveyed by a method approved by the City Engineer. All off-site drainage, if different from historic flow, shall be conveyed to a public facility.
78. Roof drains shall not be allowed to outlet directly through coring in the street curb. Roofs should drain to a landscaped area.

79. The site shall be planned and developed to keep surface water from entering buildings (California Green Building Standards Code 4.106.3).
80. Downstream storm drain inlet facilities along Dexter Avenue adjacent to the subject properties shall be retrofitted with a storm drain filter; all new storm drain inlet facilities constructed by this project shall include a storm drain filter.
81. A California licensed Civil Engineer shall prepare the improvement, signing and striping and traffic signal plans required for this project. Improvements shall be designed and constructed to City Standards and Codes (LEMC 12.04 and 16.34).
82. If existing improvements are to be modified, the existing improvement plans on file shall be revised accordingly and approved by the City Engineer prior to issuance of a building permit.

### **Permitting/Construction**

83. An encroachment permit shall be obtained prior to any work on City right-of-way. The developer shall submit the permit application, required fees, and executed agreements, security and other required documentation prior to issuance.
84. All compaction reports, grade certification, monument certification (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted to the Engineering Department before final inspection of public works improvements will be scheduled and approved.

### **PRIOR TO GRADING PERMIT**

#### **Design**

85. A grading plan signed and stamped by a California licensed Civil Engineer shall be submitted for City review and approval for all addition and/or movement of soil (grading) on site. The plan shall include separate sheets for erosion control, haul route and traffic control as applicable. The grading submittal shall include all supporting documentation and be prepared using City standard title block, standard drawings and design manual.
86. All grading plan contours shall extend to minimum of 50 feet beyond property lines to indicate existing drainage pattern. The grading plan shall show that no structures, landscaping, or equipment are located near the project entrances that could reduce sight distance.
87. If the grading plan identifies alterations in the existing drainage patterns as they exit the site, a Hydrology and Hydraulic Report for review and approval by City Engineer shall be required prior to issuance of grading permits. All grading that modifies the existing flow patterns and/or topography shall be in compliance with Federal, State and Local law and be approved by the City Engineer.
88. The applicant shall obtain all necessary off-site easements and/or permits for off-site grading and the applicant shall accept drainage from the adjacent property owners.

89. Applicant shall mitigate to prevent any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
90. All natural drainage traversing the site (historic flow) shall be conveyed through the site in a manner consistent with the historic flow or to one or a combination of the following: to a public facility; accepted by adjacent property owners by a letter of drainage acceptance; or conveyed to a drainage easement as approved by the City Engineer.

### **Permitting/Construction**

91. Applicant shall execute and submit grading and erosion control agreement, post grading security, and pay permit fees as a condition of grading permit issuance.
92. No grading shall be performed without obtaining a grading permit. A grading permit does not include the construction of retaining walls or other structures for which a building permit is required.
93. A preconstruction meeting with the City Engineering Inspector (Engineering Department) is required prior to commencement of any grading activity.
94. Hauling in excess of 5,000 cubic yards shall be approved by the City Council (LEMC 15.72.065). Prior to commencement of grading operations, applicant shall provide to the Engineering Department a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to review and approval of the City Engineer. Haul route shall be approved prior to issuance of a grading permit.
95. All grading shall be done under the supervision of a licensed geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City.
96. Review and approval of the project sediment and erosion control plan shall be completed. As warranted, a copy of the current SWPPP shall be kept at the project site and be available for review upon request.
97. Approval of the project Final Water Quality Management Plan (WQMP) for post construction shall be received prior to issuance of a grading permit.
98. Applicant shall obtain applicable environmental clearance from the Planning Department and submit applicable clearance document to the Engineering Department. This approval shall specify that the project complies with any and all required environmental mitigation triggered by the proposed grading activity.

### **PRIOR TO BUILDING PERMIT**

99. Each required parcel mergers and lot line adjustments shall be recorded prior to the issuance of the corresponding building permit. Lot line adjustments shall be recorded prior to issuance of the building permit.
100. Applicant shall provide soils, geology and seismic report, including recommendations for parameters for seismic design of buildings, and walls prior to building permit.

101. All public improvement plans, traffic signal plans, signing and striping plans shall be completed and approved by the City Engineer.
102. All required public right-of-way dedications and easements prepared by separate instruments shall be prepared by the applicant or his agent and shall be submitted to the Engineering Department for review and approval prior to issuance of the building permit.

**PRIOR TO OCCUPANCY / FINAL APPROVAL**

103. All public improvements shall be completed in accordance with the approved plans or as condition of this development to the satisfaction of the City Engineer prior to issuance of first occupancy.
104. Proof of acceptance of maintenance responsibility of slopes, open spaces, landscape areas, and drainage facilities shall be provided.
105. Applicant shall provide a digital copy of the recorded Covenants, Conditions, and Restrictions (CC&Rs) to the Engineering Department prior to first occupancy.
106. In the event of the damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
107. Applicant shall pay all outstanding applicable processing and development fees prior to occupancy and/or final approval.
108. Applicant shall submit documentation pursuant to City's Security Release handout.

**CITY OF LAKE ELSINORE FIRE MARSHAL**

109. The applicant/operator shall comply with all requirements of the Riverside County Fire Department Lake Elsinore Office of the Fire Marshal. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Office of the Fire Marshal at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 671-3124 Ext. 225.
110. The applicant or developer shall provide fire hydrants in accordance with the following:
  - a. Prior to placing any combustibles on site, provide an approved water source for firefighting purposes
  - b. Prior to building permit issuance, submit plans to the water district for a water system capable of delivering fire flow as required by the California Fire Code and Fire Department standards. Fire hydrants shall be spaced in accordance with the California Fire Code. Hydrants must produce the required fire flow per the California Fire Code.
  - c. Fire flow shall be determined by the building of the single largest square footage. The required fire flow is estimated to be 1500 GPM at 20 PSI for a 2-hour duration, per the 2022 California Fire Code and 10,241 square foot building area with Type V-B construction
111. In all new buildings and structures which are 5,000 square feet or greater, an approved

automatic sprinkler system shall be provided regardless of occupancy classification. Where Sections 903.2.1 – 903.2.21 of the California Fire Code have more restrictive requirements than those listed below, the more restrictive requirement shall take precedence.

112. Prior to issuance of building permits, the applicant/developer shall provide the Office of the Fire Marshal with an approved site plan for Fire Lanes and Signage. (CFC 501.3)
113. California Fire Code requires fire apparatus access to within 150 feet of all portions of all buildings. Where apparatus access roads exceed 150 feet in length, an approved turnaround is required. The dimensions of this access shall be a minimum of 24' wide, with an outside radius of 38', and shall be shown as a shaded or hash-marked area on the submitted building plans. Minimum requirements are referenced in Riverside County Fire Technical Policy 22-002.

#### **DEPARTMENT OF ADMINISTRATIVE SERVICES**

##### **Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)**

114. Prior to issuance of a grading permit, the applicant shall submit an application to the Department of Administrative Services to initiate the annexation process into the Community Facilities District No. 2015-2 (Maintenance Services) or current Community Facilities District in place at the time of annexation to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, street maintenance, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. The annexation process shall be completed prior to issuance of the first certificate of occupancy for the project. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project with respect to Maintenance Services. Applicant shall make a non-refundable deposit of \$15,000 or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the Planning Commission of the City of Lake Elsinore on \_\_\_\_\_. I also acknowledge that all Conditions shall be met as indicated.

Date: \_\_\_\_\_

Applicant's Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

DRAFT



**PDG LAKE ELSINORE**  
**PLANNING APPLICATION No. 2022-20**

CONDITIONAL USE PERMIT No. 2022-07

COMMERCIAL DESIGN REVIEW No. 2022-10

UNIFORM SIGN PROGRAM No. 2023-05

**CLASS 32 – IN-FILL DEVELOPMENT**  
**CATEGORICAL EXEMPTION CHECKLIST**

Prepared By:

**CITY OF LAKE ELSINORE**

130 South Main Street  
Lake Elsinore, CA 92530

Applicant:

**ROBERT LEWIS**

Pacific Development Group II

One Corporate Plaza  
Newport Beach, CA 92660

Project Location  
North side of Dexter Street Between Allen Street and Crane Street

APNs:  
377-030-085, 377-030-086, 377-030-087, 377-030-088, 377-030-089,  
377-030-090, 377-030-091, & 377-030-092

September 2023

## A. BACKGROUND

### SURROUNDING LAND USES AND SETTING

The project area consists of eight parcels along Dexter Avenue between Crane Street and Allen Street. (APNs: 377-030-085, 377-030-086, 377-030-087, 377-030-088, 377-030-089, 377-030-090, 377-030-091, & 377-030-092). The Project site is generally surrounded by commercial uses. The site is bordered by a surface parking lot to the northeast, Crane Street to the southeast; Dexter Avenue to the southwest, and Allan Street to the northwest. The location and boundaries of the project area are depicted in Figure 1.

### PROJECT DESCRIPTION

The Project proposes a mixed-use development consisting of the following: 1) a one-story, 10,241-square foot commercial building, and b) a one-story, 3,887-square foot fast-food restaurant with drive-thru; refer to Exhibit 3: Site Plan. As noted above, the Project

site's ingress and egress would be provided via three (3) driveways with two (2) located on Crane Street and one (1) located on Allan Street. The proposed fast-food restaurant would be located at the southern corner of the Project site with a drive-thru queue beginning next to the driveway on Allan Street. Approximately 19.2 percent (approximately 19,600 square feet) of the Project site area would be landscaped

**GENERAL PLAN DESIGNATION:** General Commercial (GC)

**ZONING:** General Commercial (C-2)

**Figure 1 – Aerial/Vicinity Map**



# Aerial Map

Planning Application No. 2022-20  
CUP No. 2022-07, CDR No. 2022-10, & SIGN No. 2023-05

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

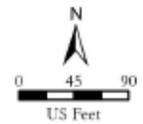
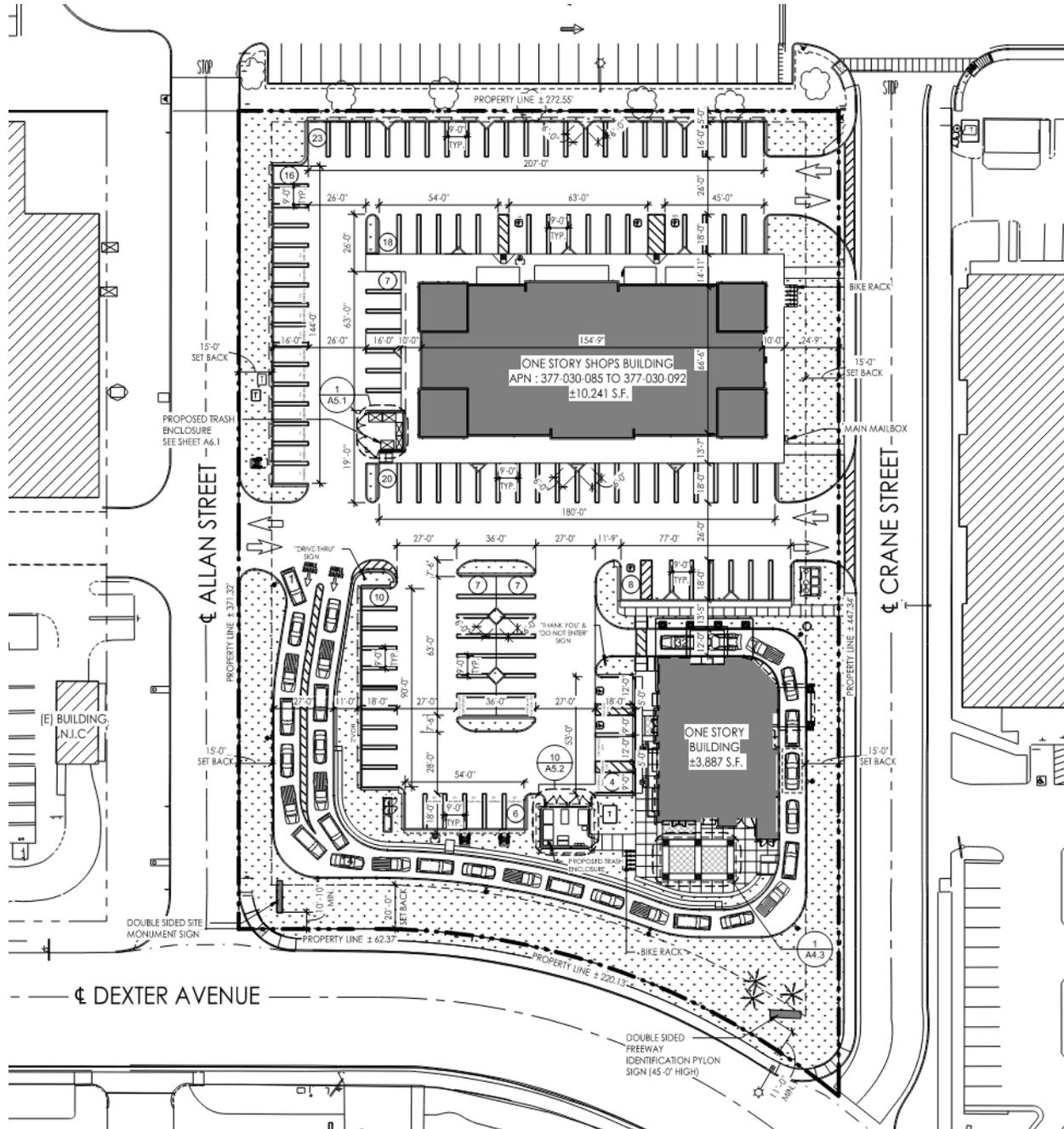


Figure 2 – Site Plan



INFORMATION DEMONSTRATING THAT THE PROJECT SATISFIES THE CONDITIONS DESCRIBED IN SECTION 15332 OF TITLE 14 OF THE CALIFORNIA CODE OF REGULATIONS:

**Criterion (a): Is the project consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations?**

The subject site has General Plan Land Use Designation of General Commercial (2) and is currently zoned General Commercial (C-2). The intent of the C-2 district is to reserve appropriate locations consistent with the general plan to accommodate a full range of retail stores, office, personal and business service establishments offering commodities and services scaled to meet the needs of the residents of the entire city. The establishment and operation of a Drive-Through Restaurant and Shell Commercial buildings are permitted pursuant to Lake Elsinore Municipal Code Section 17.124.020.

**Criterion (b): Is the proposed development located within the City limits on a site of no more than five acres substantially surrounded by urban uses?**

The proposed development site is located within City limits and is approximately 2.29-acres in size. The subject property is substantially surrounded by commercial uses including an LA Fitness, Mobil Gas Station, and Restaurants.

**Criterion (c): Does the project site have no value as habitat for endangered, rare, or threatened species?**

The following review of the project site having value as habitat for endangered, rare, or threatened species is based on the *Western Riverside County – MSHCP Biological Resources Compliance Analysis for the 2.29-Acre PDG Lake Elsinore Mixed Use Project Site, City of Lake Elsinore, Western Riverside County, California* dated October 20, 2022 prepared by Cadre Environmental for the project (included as Appendix A). The findings in the Biological Report are informed by an extensive literature review, compilation of existing documentation, and field reconnaissance conducted on October 6<sup>th</sup>, 2022. Of the total 2.29 acres to be disturbed as a result of project implementation, 2.01 acres of the

project are characterized as “Disturbed/Ruderal” and 0.28 acres are characterized as “Developed”.

As part of the study, the project site was assessed for its value as habitat for endangered, rare, or threatened species and was identified as having potential habitat. According to the Biological Report, no suitable habitat (riparian Scrub, forest or woodlands for the least Bell’s vireo, southwestern willow flycatcher, or western yellow-billed cuckoo was documented within or adjacent to the project site, according to the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), the project area is not located in a predetermined survey area and no additional surveys are required. Furthermore, the existing conditions documented within the Project Site including developed/ruderal habitat do not currently represent potential nesting habitat for common and/or MSHCP covered sensitive bird and raptor species. Potential direct and/or indirect impacts to regulated nesting birds is not expected to occur as a result of project initiation. The proposed action would not conflict with CDFG Codes Section 3503, 3503.5, and 3513. A preconstruction nesting bird surveys is not warranted.

Additionally, the project is not located within an MSHCP Criteria Area, Cell Group, or Linkage area. Therefore, no habitat Evaluation and Acquisition Negotiation Strategy (HANS) or Joint Project Review (JPR) are required.

Conclusion: The project site has no value as habitat for endangered, rare, or threatened species.

For additional information, refer to the *Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Biological Resources Compliance Analysis Report* included as Appendix A to this report.

**Criterion (d): Would the project result in any significant effects relating to traffic, noise, air quality, or water quality?**

## **I. Traffic**

The following review of potential traffic impacts is based on the Vehicle Miles Traveled

(VMT) Memorandum prepared by Kimley-Horn dated June 14, 2023 (included as Appendix B) for the project. The purpose of the VMT Evaluation is to assess the potential effects of the project on the transportation system by estimating changes to vehicle miles traveled (VMT) per capita. A summary of the VMT Screening Report is provided below:

- The project is a local serving retail project proposing less than 50,000 square feet of building area

The proposed 6,690 square feet of retail uses, 5,000 square feet of restaurant uses, and 3,860 square-foot fast-food restaurant with drive-through is less than 50,000 square feet and is not anticipated to lead to longer local trips, thus reducing or maintain regional VMT. As such, the project may be presumed to create a less-than-significant transportation impact and meet the Project Type Screening Criteria.

Conclusion: The project would not significantly impact VMT per capita in accordance with the City's adopted Traffic Impact Analysis guidelines. Therefore, the project is presumed to have less than significant VMT impacts because the project is considered local serving in nature.

For additional information, refer to the VMT Memorandum included as Appendix B to this report.

## II. Noise

The following review of potential noise impacts is based on the *Acoustical Assessment* prepared by Kimley-Horn dated February 2023 (included in Appendix C) for the project. Under Appendix G of the State CEQA Guidelines, any project would create significant noise impacts if the project would result in:

- Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies;

- Generation of excessive groundborne vibration or groundborne noise levels; or
- Expose people residing or working in the project area to excessive noise levels if the project is located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport

The purpose of the Noise Assessment is to assess the potential noise impacts resulting from project construction and operation and to evaluate whether the project would expose people to excessive noise levels. A summary of the Noise Assessment is provided below:

- Project construction would not exceed the City's construction noise standards. Therefore, the project would not result in significant noise impacts from construction activities.
- Project operation would not exceed the City's exterior noise standards. Therefore, the project would not result in significant noise impacts from operational activities.

Conclusion: Project construction would result in temporary noise impacts from transportation of construction crews and equipment to and from the development site and construction activities such as operation of mobile and stationary construction equipment. However, any temporary increases in ambient noise levels caused by construction would not exceed the City's mobile and stationary construction noise standards and would be required to comply with Lake Elsinore Municipal Code Standards. Therefore, impacts from construction noise would be less than significant.

Project operation would result in ongoing noise generation caused by external speakers at the drive-through lane, outdoor eating area, parking noise and HVAC operations. However, project operation would not result in significant increase in ambient noise levels from project operational activities given the project setting and the proximity of the proposed development site to Interstate 15. No significant changes to ambient noise levels are expected as a result of existing ambient noise generated by vehicle traffic along the

highway. The noise levels caused by project operation would not exceed the City's exterior noise standards. Therefore, impacts from operational noise would be less than significant.

For additional information, refer to the Noise Assessment included as Appendix C to this report.

### III. Air Quality

The following review of potential air quality impacts is based on the *Air Quality Assessment* prepared by Kimley-Horn dated January 2023 (included in Appendix D) for the project. Under Appendix G of the State CEQA Guidelines, any project would create significant impacts if a project would:

- Conflict with or obstruct implementation of the applicable air quality plan;
- Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard;
- Expose sensitive receptors to substantial pollutant concentrations; or
- Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people

The purpose of the Air Quality Assessment is to assess the potential air quality impacts resulting from project construction and operation and to evaluate project compliance with applicable criteria pollutant thresholds set by the South Coast Air Quality Management District (SCAQMD). A summary of the Air Quality Assessment is provided below:

- Short-term emissions from project construction would fall below all applicable SCAQMD local and regional daily thresholds of significance. Therefore, air quality emissions from project construction, as well as cumulative impacts caused by project construction, are less than significant.
- Emissions of all criteria pollutants from project operation fall below applicable daily

thresholds of significance. Therefore, the project would neither conflict with plans, violate an air quality standard, nor contribute to an existing or projected violation, result in a cumulatively considerable increase in ozone or particulate matter emissions or expose receptors to substantial pollutant concentrations. Therefore, air quality emissions from project operation are less than significant.

Conclusion: Project construction would result in emissions from equipment exhaust, fugitive dust, and architectural coatings. Both regional and localized construction emissions from project construction would fall below SCQAMD daily significance thresholds. Therefore, project construction would not result in significant regional or localized air quality impacts.

Project operation would result in air quality impacts from increases in project trip generation, electricity consumption, area sources, and evaporative emissions. Regional and localized emissions from project operation would fall below SCQAMD daily significance thresholds. Therefore, project operation would not result in significant regional or localized air quality impacts.

Moreover, the project does not have the potential to expose sensitive receptors to substantial pollutant concentrations, result in other emissions (such as those leading to odors) adversely affecting a substantial number of people, or conflict with or obstruct implementation of any air quality plan. In conclusion, the project would not result in any significant air quality impacts.

For additional information, refer to the *Air Quality Assessment* included as Appendix D to this report.

### Greenhouse Gas Assessment

The following review of potential construction and operational emissions is based on the Greenhouse Gas Assessment prepared by Kimley-Horn dated January 2023 (included in

Appendix E) for the project. Under Appendix G of the State CEQA Guidelines, any project would create significant impacts if a project would:

- Generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment, based on any applicable threshold of significance; or
- Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of GHGs.

The City of Lake Elsinore City Council Adopted the Lake Elsinore CAP on December 13, 2011. The CAP serves as the programmatic tiering document for purposes of CEQA analysis of GHG emissions within the City. Development projects that can demonstrate consistency with applicable emissions reduction measures included in the CAP would have less than significant impacts with regard to GHG emissions.

## Conclusion

### *Short-Term Construction Greenhouse Gas Emissions*

The Project would result in the generation of approximately 270 MTCO<sub>2</sub>e over the course of construction. Construction GHG emissions are typically summed and amortized over the lifetime of the Project (assumed to be 30 years), then added to the operational emissions. The amortized Project construction emissions would be 9 MTCO<sub>2</sub>e per year. Once construction is complete, the generation of these GHG emissions would cease.

### *Long-Term Operational Greenhouse Gas Emissions*

Operational or long-term emissions occur over the life of the Project. GHG emissions would result from direct emissions such as Project generated vehicular traffic, on-site combustion of natural gas, and operation of any landscaping equipment. Operational GHG emissions would also result from indirect sources, such as off-site generation of electrical power, the energy required to convey water to, and wastewater from the Project,

the emissions associated with solid waste generated from the Project, and any fugitive refrigerants from air conditioning or refrigerators. The project would generate approximately 1,434 MTCO<sub>2</sub>e annually from both construction and operations. The Project would be consistent with the Lake Elsinore CAP and impacts would be less than significant.

The proposed Project would not interfere with SCAG's ability to achieve the region's post-2020 mobile source GHG reduction targets. Additionally, Project emissions would be indirectly reduced through the implementation of various Scoping Plan measures, such as the low carbon fuel standard, vehicle emissions standards, building energy efficiency standards, market-based mechanisms (such as the cap-and-trade program) and the Renewable Portfolio Standard. Therefore, the Project would not conflict with the Scoping Plan's recommended measures and, as such, would not impede implementation of the Scoping Plan. As such, impacts related to consistency with the Scoping Plan would be less than significant.

Regarding goals for 2050 under Executive Order S-3-05, at this time it is not possible to quantify the emissions savings from future regulatory measures, as they have not yet been developed; nevertheless, it can be anticipated that operation of the Project would benefit from implementation of current and potential future regulations (e.g., improvements in vehicle emissions, SB 100/renewable electricity portfolio improvements, etc.) enacted to meet an 80 percent reduction below 1990 levels by 2050.

The Project would not conflict with any applicable plan, policy, or regulation of an agency adopted for reducing the emissions of GHGs because the Project would generate low levels of GHGs, and would not impede implementation of the Scoping Plan, or conflict with the policies of the Scoping Plan or any other GHG reduction plan. Therefore, the impacts would be less than significant.

For additional information, refer to the Greenhouse Gas Assessment included as Appendix

E to this report.

#### **IV. Water Quality**

The project area is located within the Lake Elsinore sub-watershed of the Santa Ana Watershed region of Riverside County. The Santa Ana Regional Water Quality Control Board (SARWQCB) sets water quality standards for ground and surface waters within the region. Water quality standards are defined under the Clean Water Act to include both the beneficial uses of specific water bodies and the levels of water quality that must be met and maintained to protect those uses (i.e. water quality objectives).

Project construction activities would include grading, excavation, installation of subsurface infrastructure, and other earthmoving activities which could potentially cause erosion that could degrade surface or ground water quality and/or violate water quality standards. Moreover, the use of heavy construction equipment could result in the accidental release of hazardous materials (e.g., oils, fuels, and other water quality pollutants) that could potentially affect surface and/or ground water quality. As required by the Clean Water Act, the project would comply with the Santa Ana Municipal Separate Storm Sewer (MS4) NPDES Permit. The NPDES MS4 Permit Program, which is administered in the project area by Riverside County and is issued by the SARWQCB, regulates storm water and urban runoff discharges from developments to natural and constructed storm drain systems in the City. Because the project would disturb one or more acres of soil, construction activities would be subject to the Construction General Permit (NPDES General Permit No. CAS000002, Waste Discharge Requirements, Order No. 2009-0009-DWQ, adopted September 2, 2009 and effective as of July 2, 2010) issued by the State Water Resources Control Board. The Construction General Permit requires implementation of a Storm Water Pollution Prevention Plan (SWPPP) for site clearing, grading, and disturbances such as stockpiling or excavation. The SWPPP would generally contain a site map showing the construction perimeter, proposed buildings, storm water

collection and discharge points, general pre- and post-construction topography, drainage patterns across the site, and adjacent roadways.

The project area is currently undeveloped and contains approximately 83,634 square feet of impervious surfaces. Currently, on-site stormwater sheet flows from the northeast property corner westerly and discharges at the public curb and gutter on Dexter Avenue. Ultimately flowing southerly on Dexter Avenue towards the intersection of Dexter Avenue and Crane Street. The proposed development includes construction of one (1) restaurant building with a two-lane drive-through and one (1) shell commercial building with parking lot, driveway, landscaping with a total impervious surface area of approximately 83,634 square feet.

Conclusion: A project-specific Preliminary Water Quality Management Plan dated July 12, 2022 (Revised June 5, 2023) has been prepared to address the increase in polluted runoff that would occur from the project by describing the site design, source control and treatment control Best Management Practices (BMPs) that will be implemented and maintained throughout the life of the project. The water quality management plan proposes that the onsite stormwater will be treated by a combination of four (4) proprietary Contech Modular Wetland Systems (MWS) at various points in the proposed underground storm drain system. Treated stormwater will discharge to two (2) underground detention systems for low and high flow attenuation. Attenuated flows will be discharged to the public curb and gutter on Crane Street via two (2) multi-stage sump pumps designed to discharge at pre-existing development HCOC and High-Flow storm events due to the lack of available storm drain infrastructure adjacent to the site. Traditional LID BMPs could not be used due to significant bioretention basin construction costs and since infiltration is not feasible for this site.

Furthermore, the project is required to implement a Storm Water Pollution Prevention Plan which will include measures such as construction-phase best management practices

(BMPs) to protect against stormwater runoff. Through implementation of measures specified in both the WQMP and SWPPP, along with adhering to applicable regulations, the project would meet applicable water quality standards and discharge regulations. Therefore, the project would not otherwise substantially degrade surface or ground water quality, and any water quality impacts resulting from the project would be less than significant.

For additional information, refer to the Water Quality Management Plan included as Appendix F to this report.

**Criterion (e): Can the Project site be adequately served by all required utilities and public services?**

**Fire Protection:** The project would be subject to City policies and ordinances relating to hazard mitigation and fire prevention. The project would be required to comply with applicable fire code requirements for construction and access to the site which will be reviewed by the City Fire Department to determine the project-specific fire requirements. Chapter 16.74 of the LEMC establishes a program for the adoption and administration of development impact fees by the City whereby as a condition to the issuance of a building permit or certificate of occupancy by the City, the property owner or land developer is required to pay development impact fees or provide other consideration to the City for the purpose of defraying the costs of public expenditures for capital improvements (and operational services to the extent allowed by law) which will benefit such new development. Section 16.74.049 includes a “fire facilities fee” to mitigate the additional burdens created by new development for City fire facilities. The project would incrementally increase demands for fire protection services associated with service calls, inspections, etc. The increase in demand for fire protection services is not anticipated to require the construction of new facilities or infrastructure. Therefore, any impacts related to fire protection resulting from the project would be less than significant.

**Police Protection:** Chapter 16.74 of the LEMC establishes a program for the adoption and administration of development impact fees by the City for the purpose of defraying the costs of public expenditures for capital improvements (and operational services to the extent allowed by law) which would benefit such new development. The project would participate in this development impact fee program to mitigate potential impacts to police protection resources. Additionally, the project would be required to comply with applicable law enforcement requirements and standards to ensure adequate law enforcement protection is available to serve the proposed development. Potential impacts would be considered incremental and can be offset through the payment of the development impact fee and compliance with regulatory requirements. The project would not result in substantial adverse physical impacts related to police protection. Therefore, the project would not significantly impact police protection resources or services.

**Schools:** The proposed development is located within the Lake Elsinore Unified School District (LEUSD). The project would be required to pay school impact fees as levied by the LEUSD, which would provide funding for school facilities. The project does not propose new housing and therefore no increase in demand for LEUSD facilities and services would be created. Therefore, any potential impacts would be considered incremental and would be offset through the payment of the appropriate development impact fees for schools. Based on the above, the proposed project will not result in substantial adverse physical impacts related to schools. Any impacts would be less than significant.

**Parks:** The project does not propose residential uses so it would not generate additional residents who would need park facilities or services. Therefore, a direct increase in park usage is not expected because of the project. New commercial development may cause incremental indirect impacts to park facilities from the occasional use of a park by employees. Section 16.34.060 of the LEMC requires that prior to the issuance of a building permit, the property owner or developer must pay fees for the purposes set forth in that

section. Section 16.34.060.D describes the City's Park Capital Improvement Fund and describes that the City Council has the option to request dedication for park purposes or in lieu thereof, request that the property owner or developer pay a fee for the purpose of purchasing the land and developing and maintaining the City park system. The project would be required to pay park fees to the City for the purpose of establishing, improving, and maintaining park land within the City. Because the project does not propose new housing, any potential impacts would be considered incremental and would be offset through the payment of the appropriate park fees. Based on the above, the project would not result in substantial adverse physical impacts related to parks. Any impacts would be less than significant.

**Other Public Facilities:** The City is a part of the Riverside County Library System. Section 16.34.060 of the LEMC requires that prior to the issuance of a building permit, the property owner or developer must pay fees for the purposes set forth in that section. Section 16.34.060.B establishes the City's Library Mitigation Fee program and provides that an in-lieu fee for future construction of library improvements shall be paid to the City to ensure that the necessary library facilities are provided to the community. Since the project would not include new housing, potential impacts to library services would be less than significant.

Chapter 16.74 of the LEMC establishes a program for the adoption and administration of development impact fees by the City for the purpose of defraying the costs of public expenditures for capital improvements (and operational services to the extent allowed by law) which would benefit such new development. Section 16.74.048 includes an "Animal shelter facilities fee" to mitigate the additional burdens created by new development for animal facilities. In addition, the property owner would be required to pay City Hall & Public Works fees, Community Center Fees, and Marina Facilities Fees prior to the issuance of building permits. Therefore, potential impacts associated with other public services and facilities would be less than significant.

**Wastewater/Sewer:** The proposed development is located within the wastewater/sewer service boundary of the Elsinore Valley Municipal Water District (EVMWD). The proposed development would connect with the EVMWD wastewater/sewer system. Connections to local sewer mains will involve temporary and less than significant construction impacts that will occur in conjunction with other on-site improvements. In addition, the project will be required to pay sewer connection fees. Implementation of the project will not require, or result in, the construction of new wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects. Any impacts would be less than significant.

**Storm Water Drainage:** On-site grading and drainage improvements proposed in conjunction with the proposed site work would be required to comply with provisions of the National Pollutant Discharge Elimination System (NPDES) program, including Waste Discharge Requirements (WDR), and the 2010 Santa Ana Municipal Separate Sewer Permit (MS4) Permit, as enforced by the Santa Ana Regional Water Quality Board (SARWQCB). Pursuant to the City's Municipal Code, all construction projects shall implement Best Management Practices (BMPs) to be specified in a submitted Stormwater Pollution Prevention Plan (SWPPP). The project was required to submit a project-specific Water Quality Management Plan (WQMP) in identifying post-construction BMPs that include drainage controls such as infiltration pits, detention ponds, bioswales, berms, rain gardens, and pervious pavement. Upon adherence to the approved WQMP, the project will not substantially alter the existing drainage pattern of the site or area, nor will it require new or expanded off-site storm drain facilities the construction or relocation of which could cause significant environmental effects. Any impacts would be less than significant.

**Water Supplies:** The proposed development is located within the water service boundary of the Elsinore Valley Municipal Water District (EVMWD). The proposed development would connect to the EVMWD water supply system. Connections to local water mains will

involve temporary and less than significant construction impacts that will occur in conjunction with other on-site improvements. In addition, the project will be required to pay water connection fees and comply with water efficiency guidelines set by the City. Project implementation will not require, or result in, the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. Given the relatively small scale of the proposed in-fill development, potential impacts are considered nominally incremental and would be less than significant.

**Solid Waste Disposal:** All development within the City of Lake Elsinore is required to comply with applicable elements of AB 1327, Chapter 18 (California Solid Waste Reuse and Recycling Access Act of 1991), AB 939 (CalRecycle), and other local, state, and federal solid waste disposal standards. The California Integrated Waste Management Act of 1989 (AB 939) requires every city and county in the state to prepare a Source Reduction and Recycling Element (SRRE) to its Solid Waste Management Plan, that identifies how each jurisdiction will meet the mandatory state diversion goal of 50% by and after the year 2000. The purpose of AB 939 is to “reduce, recycle, and re-use solid waste generated in the state to the maximum extent feasible.” The project is required to comply with applicable elements of AB 1327, Chapter 18 (California Solid Waste Reuse and Recycling Access Act of 1991), AB 939, and other applicable local, state, and federal solid waste disposal standards as a matter of regulatory policy as standard condition of approval, thereby ensuring that the solid waste stream to the waste disposal facilities is reduced in accordance with existing regulations. Any impacts would be less than significant.

**Electricity, Natural Gas, Telephone, Television:** The proposed development is in a developed, urban setting. The site and the surrounding properties are fully served by various utility service providers. There are no anticipated significant service or system upgrades required to serve the proposed development. Any increase in the demand for public utilities by the project would be less than significant.

**DETERMINATION:**

I find that the answers given above are adequately supported by the information sources cited following each question and that the effects of the project are typical of those generated within that class of projects (*i.e.*, Class 32 – Infill Development Projects) characterized as in-fill development meeting the conditions of Section 15332 of Title 14 of the California Code of Regulations. The project will not cause a significant effect on the environment and is therefore categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act.

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Carlos Serna, Associate Planner

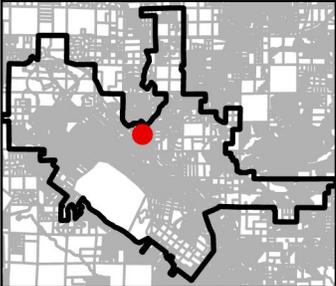
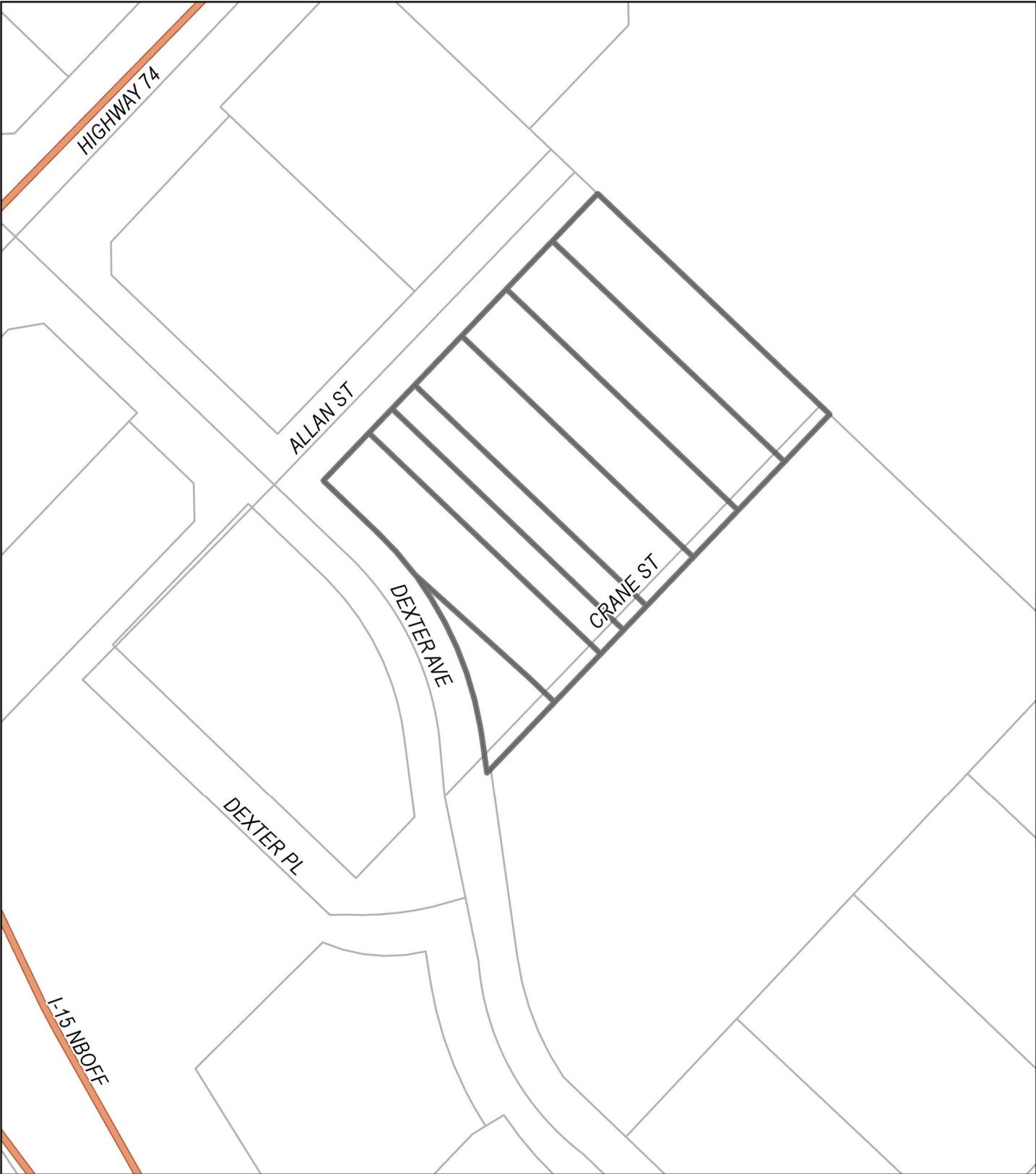
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Date

Appendices:

The following documents were used as information sources during preparation of this document. They are available for public review at the City of Lake Elsinore, Community Development Department, 130 South Main Street, Lake Elsinore, CA 92530, ph. (951) 674-3124.

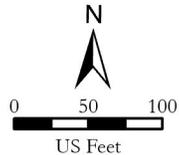
- A) *Western Riverside county Multiple Species Habitat Conservation Plan (MSHCP) Biological Resources Compliance Analysis* prepared by CADRE Environmental (October 20, 2022)
- B) *Vehicle Miles Traveled Memorandum* prepared by Kimley Horn (June 14, 2023)
- C) *Noise Assessment* prepared by Kimley Horn (February 2023)
- D) *Air Quality Assessment* prepared by Kimley Horn (January 2023)
- E) *Greenhouse Gas Emission Assessment* prepared by Kimley Horn (January 2023)
- F) *Preliminary Water Quality Management Plan* prepared by Kimley Horn (Revised June 5, 2023)



# Vicinity Map

**Planning Application No. 2022-20**  
**CUP No. 2022-07, CDR No. 2022-10, & SIGN No. 2023-05**

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet



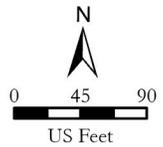


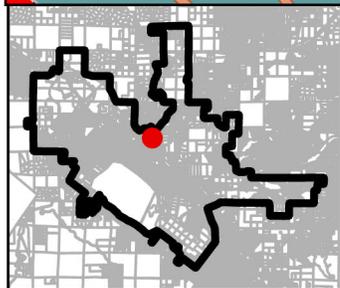
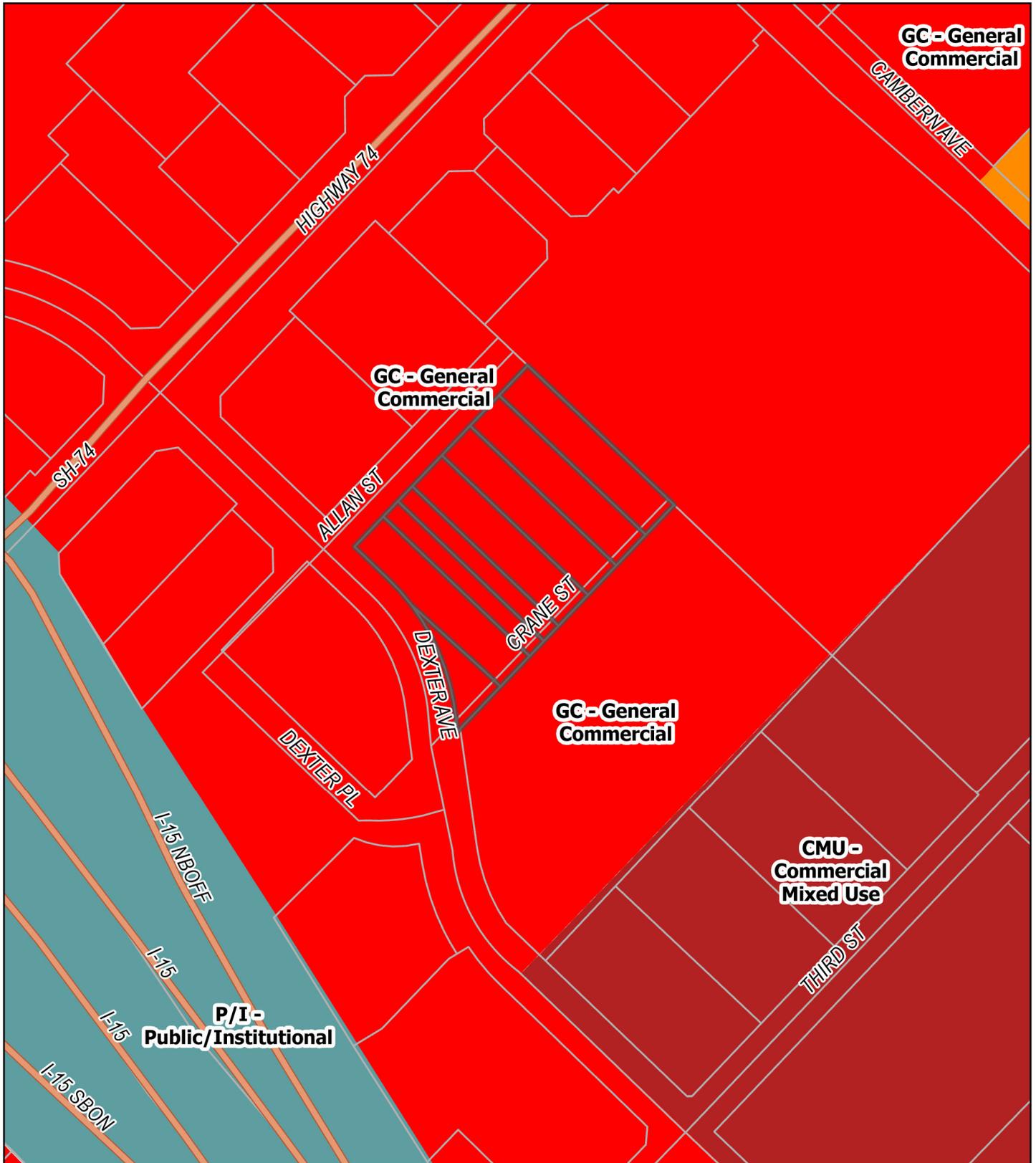
Earthstar  
Geographics

# Aerial Map

Planning Application No. 2022-20  
CUP No. 2022-07, CDR No. 2022-10, & SIGN No. 2023-05

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

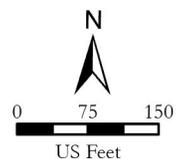


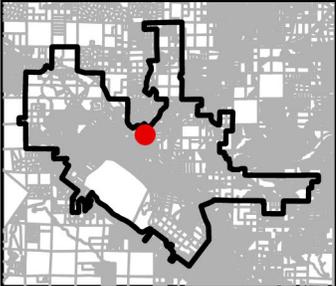


# General Plan Exhibit

Planning Application No. 2022-20  
 CUP No. 2022-07, CDR No. 2022-10, & SIGN No. 2023-05

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

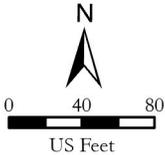




# Zoning Exhibit

Planning Application No. 2022-20  
CUP No. 2022-07, CDR No. 2023-10, & SIGN No. 2023-05

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet



# LAKE ELSINORE

# CONDITIONAL USE PERMIT

DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.



## SHEET INDEX

SHEET	ISSUE	DATE			
		07/13/2022	07/20/2022	07/27/2022	07/13/2023
A0.1	TITLE SHEET				
A0.2	LAKE ELSINORE ZONING MAP				
A0.3	RADIUS MAP				
A1.1	PROPOSED SITE PLAN				
A2.1	PROPOSED SHOPS BUILDING FLOOR PLAN				
A2.2	PROPOSED SHOPS BUILDING ROOF PLAN				
A2.3	PROPOSED IN-N-OUT BUILDING FLOOR & ROOF PLAN				
A4.1	PROPOSED EXTERIOR ELEVATIONS (SHOPS BUILDING)				
A4.2	PROPOSED EXTERIOR ELEVATIONS (DRIVE THRU BUILDING)				
A4.3	PATIO COVER (DRIVE THRU BUILDING)				
A5.1	TRASH ENCLOSURE (SHOPS BUILDING)				
A5.2	TRASH ENCLOSURE (IN-N-OUT BUILDING)				
A6.1	MATERIAL BOARD (SHOPS BUILDING)				
A6.2	MATERIAL BOARD (IN-N-OUT BUILDING)				
L1.1	PRELIMINARY LANDSCAPE PLAN				
L1.2	PLANT PHOTOS				

## GENERAL PROJECT DATA

**BUILDING DEPARTMENT:** CITY OF LAKE ELSINORE, CA  
**ZONING:** C2 (GENERAL COMMERCIAL)  
**LAND USE DESIGNATION:** RETAIL  
**ASSESSOR'S PARCEL NO.:** 377-030-085 TO 377-030-092  
**OCCUPANCY CLASSIFICATION:** PER CBC CHAPTER 3 M  
**OCCUPANCY SEPARATION:** PER CBC TABLE 508.4 - NO SEPARATION REQUIRED  
**TYPE OF CONSTRUCTION:** PER CBC CHAPTER 6 (SECTION 602) - VB  
**SPRINKLERED:** YES  
**NUMBER OF STORIES:** 1 STORY  
**PROJECT SCOPE:**  
 DEVELOPMENT OF ± 2.3 ACRE LAND INCLUDING ± 14,128 SF OF RETAIL SHELL GROUND-UP CONSTRUCTION FOR TOTAL OF TWO PADS. ONE BUILDING PAD BEING FOR A DRIVE THRU FOOD USE.

## OWNER

24570 AVENUE DE MARICA  
YORBA LINDA, CA 92887  
 DINO H. FOURIS  
PH: (714) 692-1417

## DEVELOPER

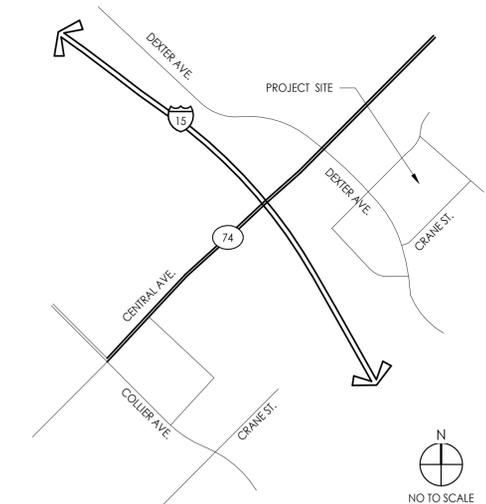
PACIFIC DEVELOPMENT GROUP II  
 ONE CORPORATE PLAZA  
NEWPORT BEACH, CA 92660  
 ROBERT LEWIS  
PH: (949) 760-8591

## ARCHITECT

### We Architects Group

26449 RANCHO PKWY S.  
LAKE FOREST, CA, 92630  
 SIA SHIRAZI  
PH: (714) 306-2333

## VICINITY MAP



TITLE SHEET

LAKE ELSINORE  
DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.

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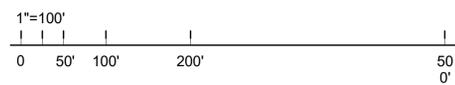
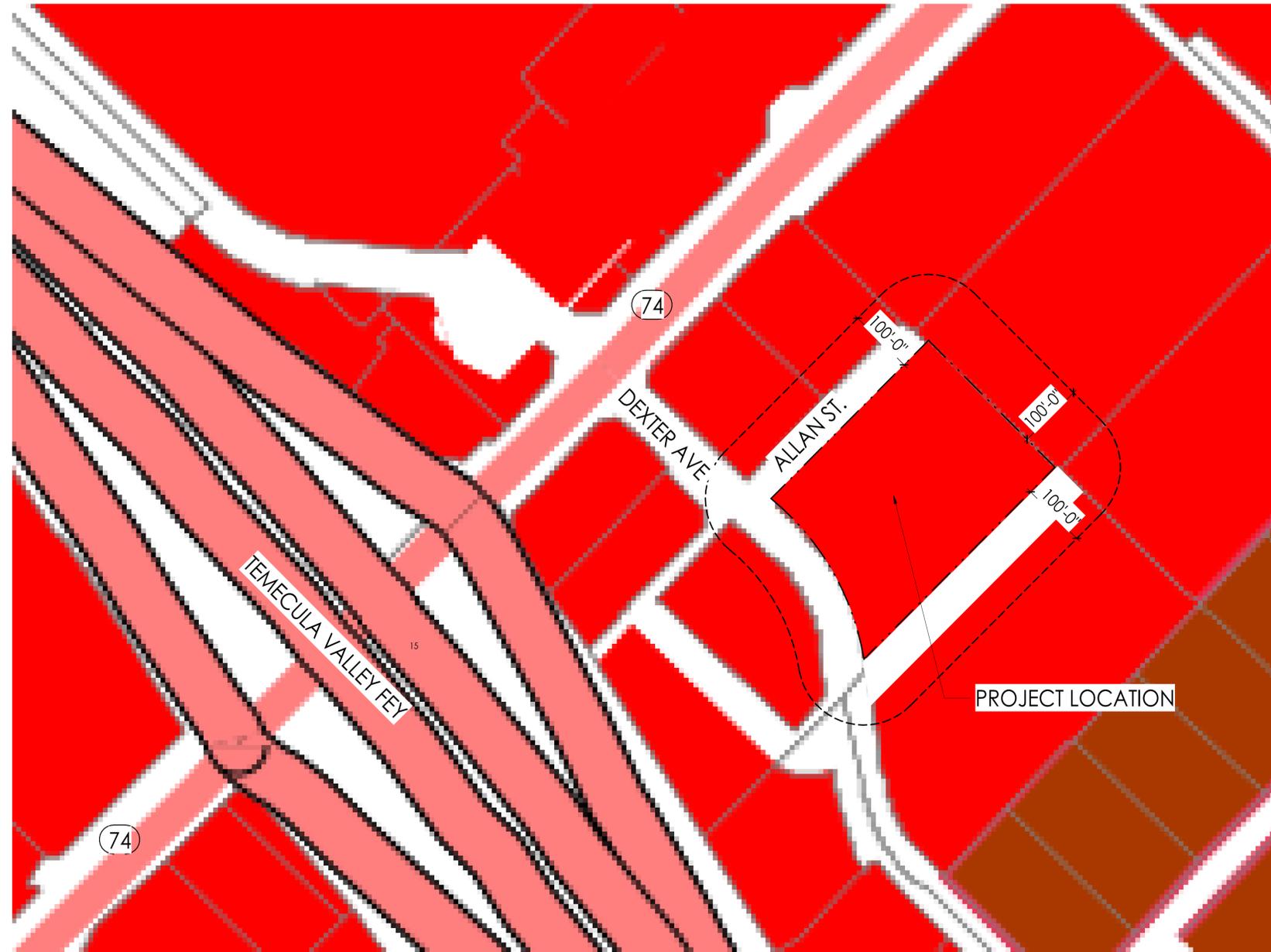
PROJECT NUMBER: 22-029  
 DATE: 09/13/2023

**A0.1**



**LEGEND**

- RMR - Rural Mountainous Residential
- RH - Hillside Single Family Residential
- RR - Rural Residential
- RE - Residential Estate
- R1 - Single Family Residential
- R2 - Medium Density Residential
- R3 - High Density Residential
- MC - Mobile Home Community
- RMU - Residential Mixed Use
- CMU - Commercial Mixed Use
- C1 - Neighborhood Commercial
- C2 - General Commercial
- CM - Commercial Manufacturing



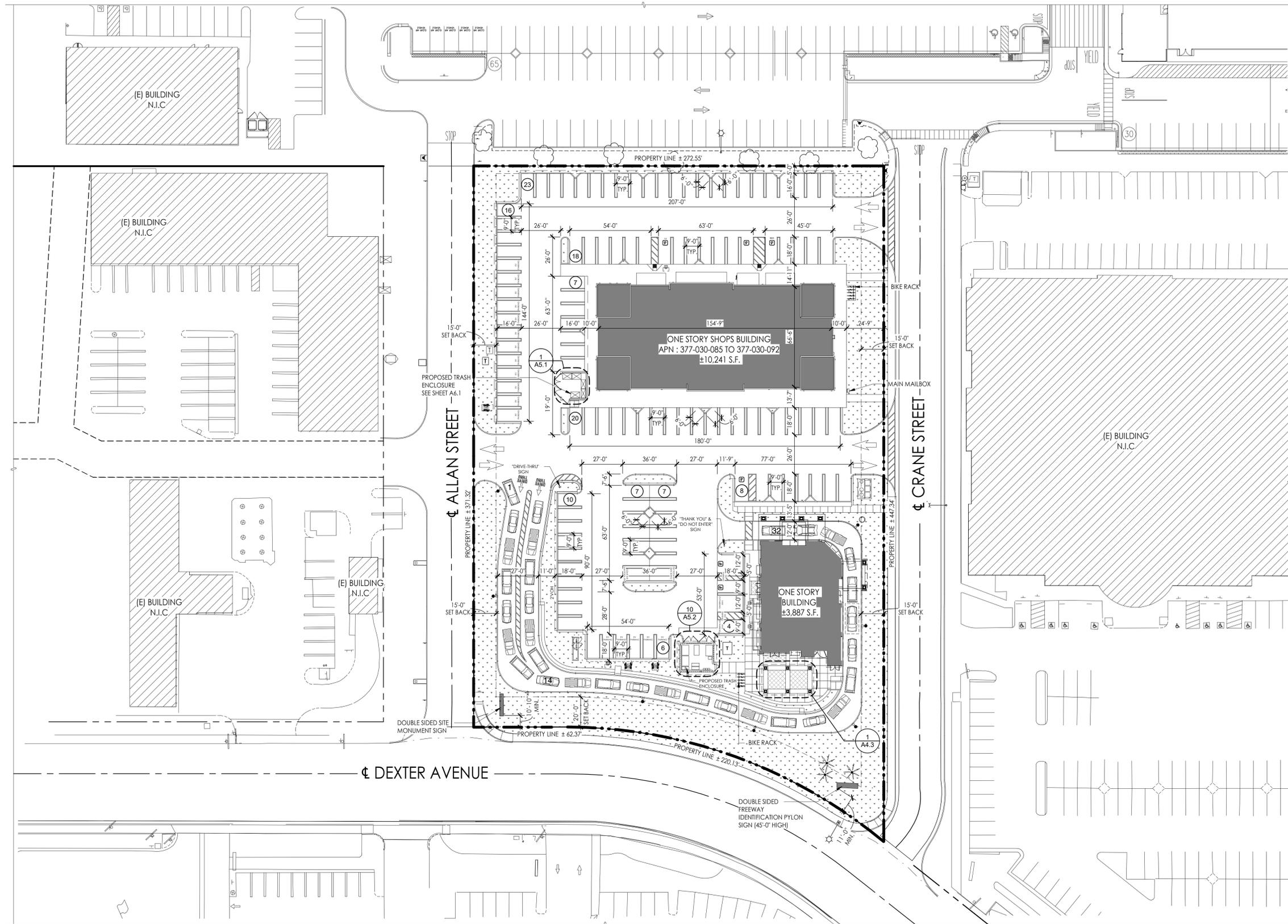
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RADIUS MAP  
LAKE ELSINORE  
DEXTER AVE & ALLAN ST.  
LAKE ELSINORE, CA.

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DATE: 09/13/2023

A0.3



### LEGEND

- PROPERTY LINE
- CENTER LINE OF STREET
- PROPERTY ENTRANCE / EXIT
- LANDSCAPE AND IRRIGATION AREA
- INDICATES ADJACENT EXISTING BUILDINGS
- PARKING COUNT
- TRANSFORMER WITH CONCRETE PAD, (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- SINGLE EV CHARGING STATION
- DOUBLE EV CHARGING STATION

### SITE DATA

**LOT AREA:** ± 99,823 S.F. = ± 2.292 ACRE

**BUILDING AREA:** ± 14,128 S.F. = ± 0.32 ACRE

**FLOOR AREA RATIO (FAR) CALCULATION:** ± 14,128 SF. / ± 99,823 SF. = 0.14 < 0.40

**LANDSCAPE SUMMARY:** ± 25,500 / 99,823 = 25.00% > 15%

### PARKING SUMMARY

**PARKING STALLS REQUIRED:**

SHOPS:

- FOOD: 3,100 SF
  - CUSTOMER 810 SF - 1 SP/45 SF 18 STALLS
  - NON-CUSTOMER 2,290 SF - 1 SP/200 SF 12 STALLS
- RETAIL: 3,941 SF - 1 SP/250 SF 16 STALLS
- MEDICAL: 3,000 SF - 1 SP/ 175 SF 17 STALLS

IN - N - OUT BURGER: 3,887 SF
 

- CUSTOMER 1,804 SF - 1 SP/45 SF 40 STALLS
- CUSTOMER (OUTDOOR) 488 SF - 1 SP/45 SF 11 STALLS
- NON-CUSTOMER 2,083 SF - 1 SP/200 SF 11 STALLS

**PARKING STALLS REQUIRED: 125 STALLS**

**PARKING STALLS PROVIDED: 126 STALLS**

STANDARD STALLS:	120 STALLS
ADA STALLS:	6 STALLS

BIKE PARKING (PER CALIFORNIA GREEN BUILDING STANDARD: 5% PER STALLS):

BICYCLE PARKING SPACES REQUIRED: 6

BICYCLE PARKING SPACES PROVIDED: 10

ADA PARKING REQUIRED: 6 STALLS

ADA PARKING PROVIDED: 5 STALLS

### PROJECT DATA

**APPLICABLE CODES**

CITY OF BUILDING:	LAKE ELSINORE 2022 CALIFORNIA BUILDING CODE (CBC) PART 2 VOLUMES 1 AND 2, TITLE 24
FIRE / LIFE SAFETY ENERGY:	2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24 2022 STATE OF CALIFORNIA ENERGY CODE 2022 STATE OF CALIFORNIA GREEN BUILDING CODE
ACCESSIBILITY:	2022 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS

### CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION

**SHOPS BUILDING**

OCCUPANCY	SECTION	USE	PROPOSED AREA (SF)
M / MERCANTILE	(309)	RETAIL SHOPS AND RESTAURANT	10,241 SF

**DRIVE THRU BUILDING**

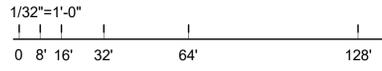
OCCUPANCY	SECTION	USE	PROPOSED AREA (SF)
M / MERCANTILE	(309)	FAST FOOD	3,887 SF

### CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

MOST RESTRICTIVE OCCUPANCY GROUP	ALLOWABLE BUILDING AREA	PROPOSED BUILDING AREA	ALLOWABLE BUILDING HEIGHT	PROPOSED BUILDING HEIGHT
SHOPS BUILDING AREA	36,000 SF	10,241 SF	N/A	N/A
DRIVE THRU BUILDING AREA	36,000 SF	3,887 SF	N/A	N/A
BUILDING HEIGHT	N/A	N/A	60'-0"	27'-0"
NUMBER OF STORIES	N/A	N/A	2 STORIES	1 STORY

### CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE OF CONSTRUCTION (602) ..... VB



**CONDITIONAL USE PERMIT**

**PROPOSED SITE PLAN**

LAKE ELSINORE  
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LAKE ELSINORE, CA.

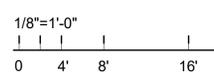
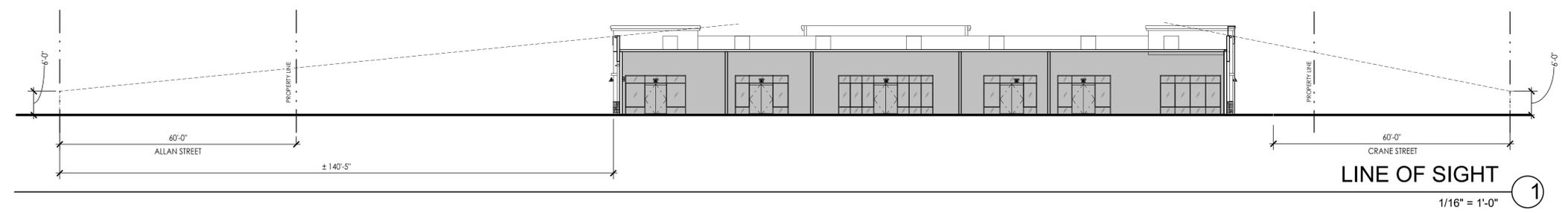
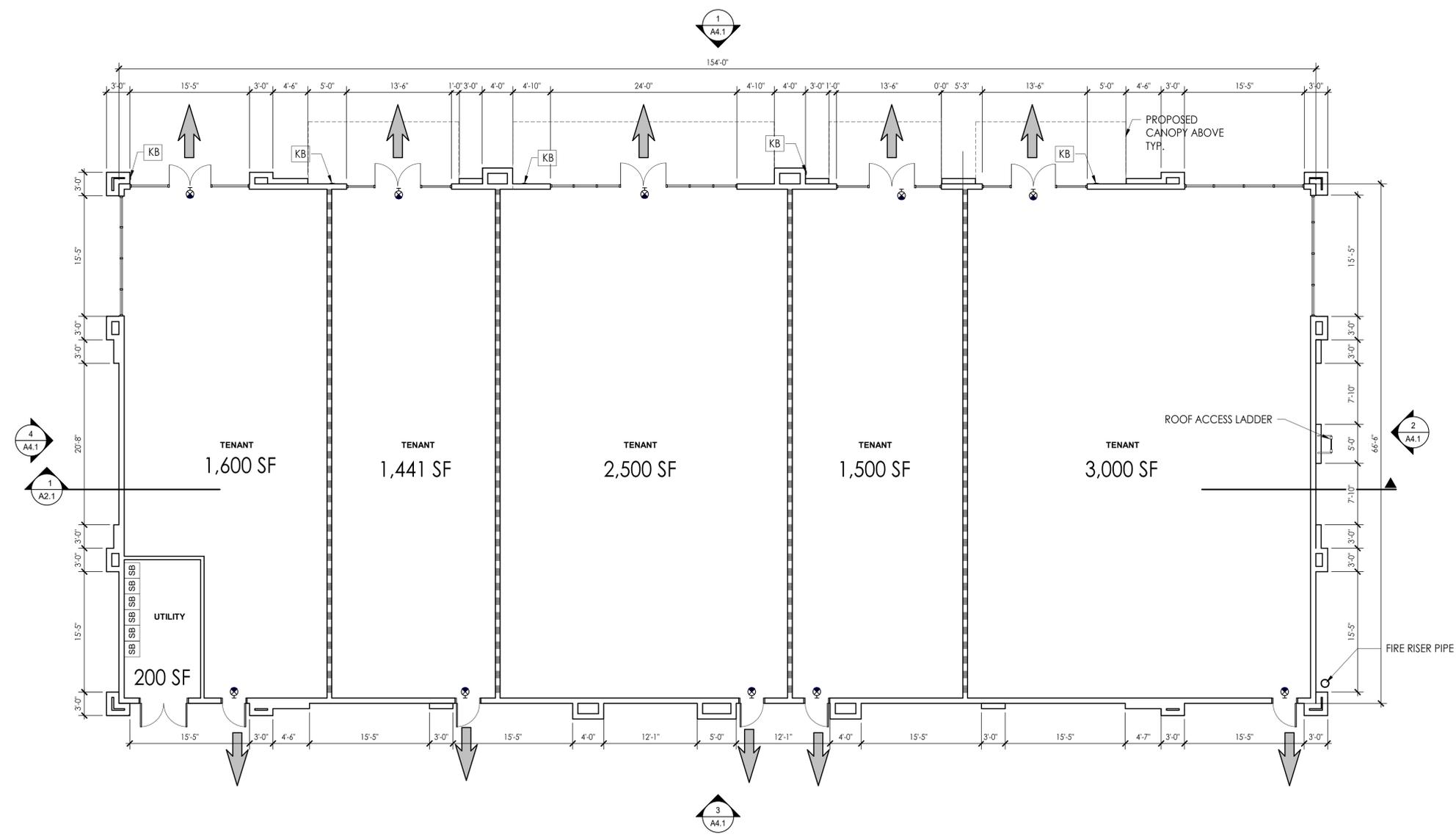
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**A1.1**

**LEGEND**

-  EXIT
-  WALL-MOUNTED EXIT SIGN WITH BATTERY BACKUP. SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED.
-  KNOX BOX



CONDITIONAL USE PERMIT

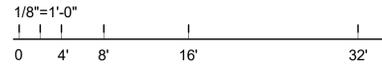
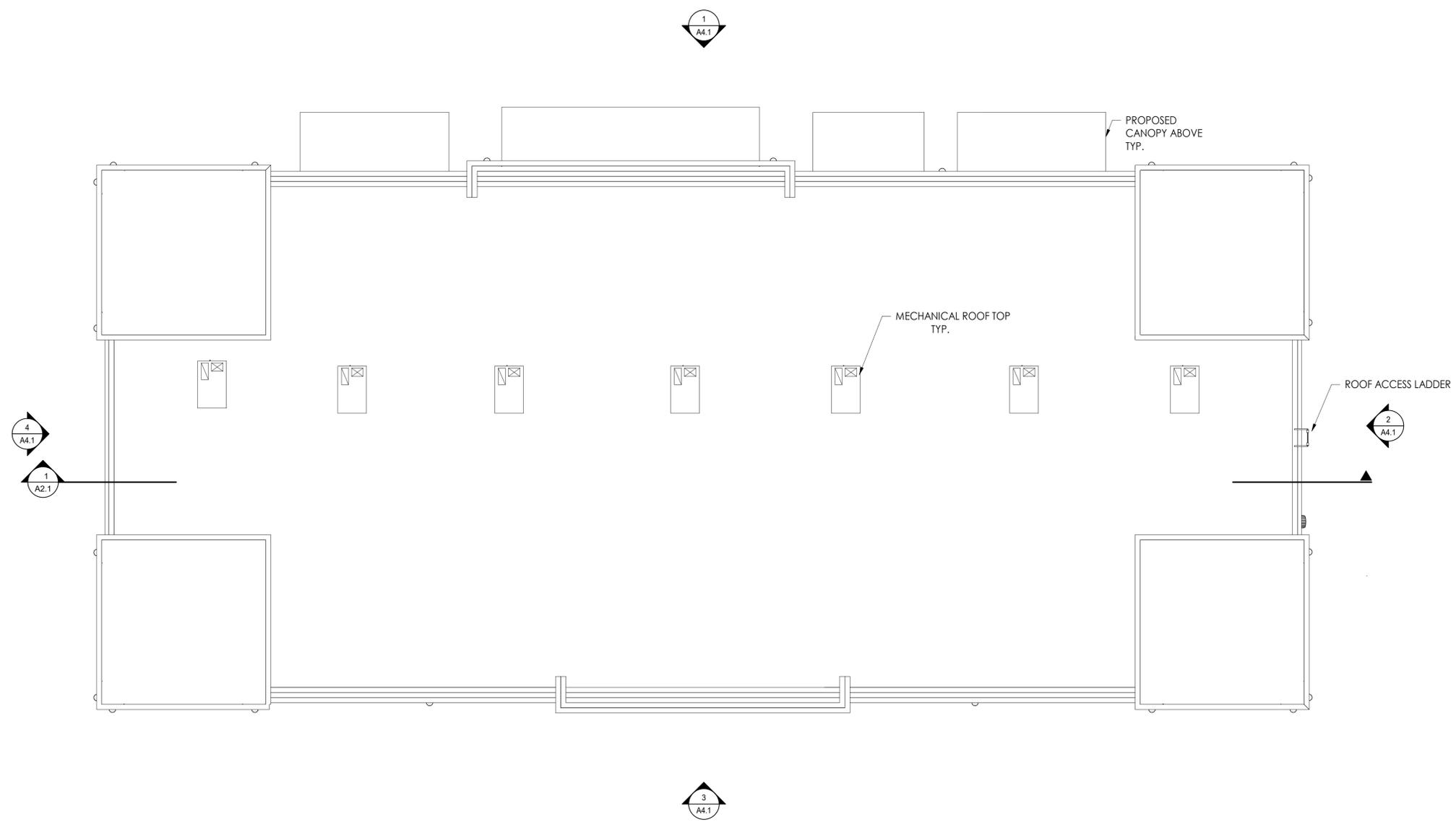
PROPOSED SHOPS BUILDING FLOOR PLAN

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DATE: 09/13/2023

**A2.1**



CONDITIONAL USE PERMIT

PROPOSED SHOPS BUILDING ROOF PLAN

LAKE ELSINORE  
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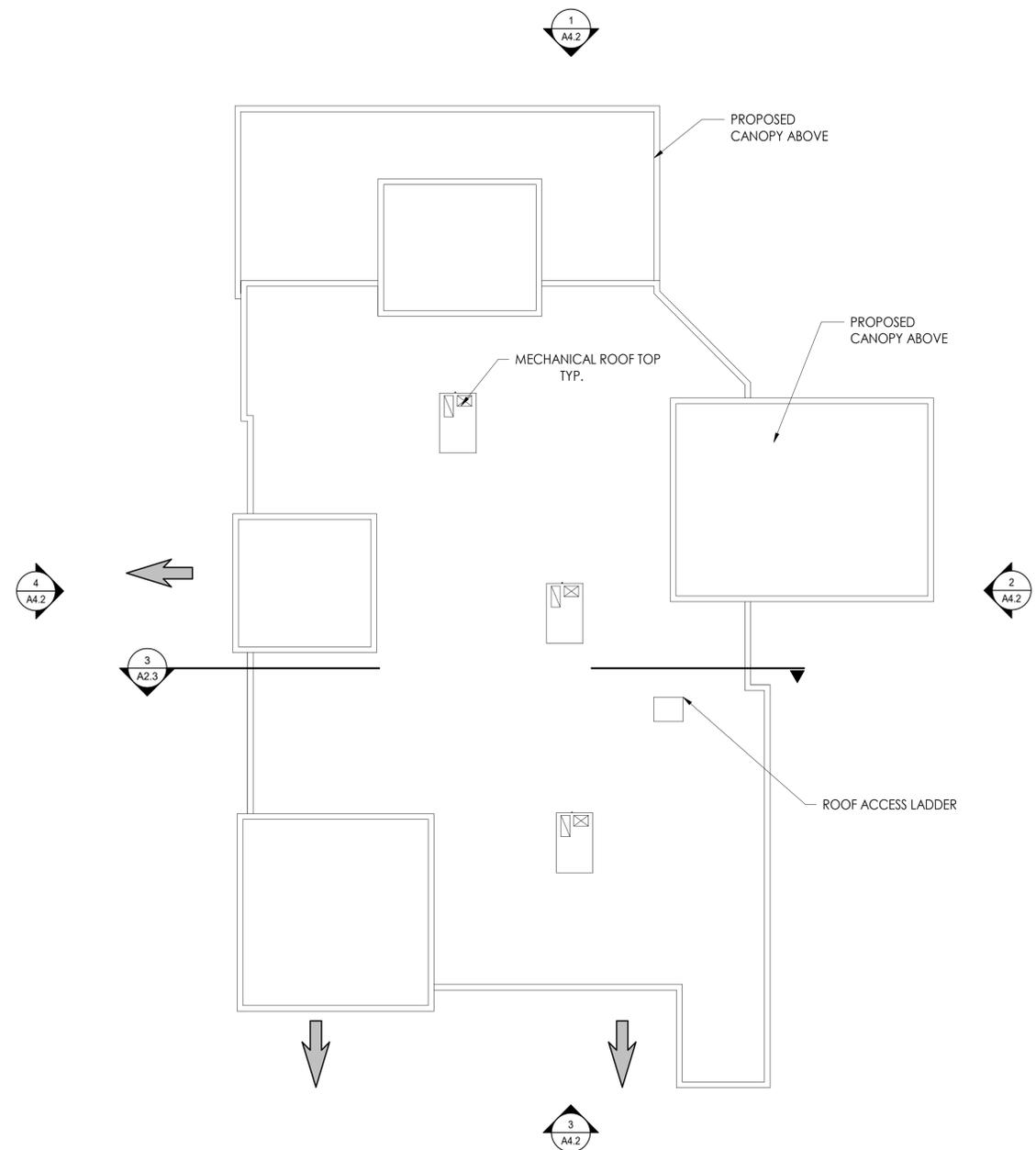
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DATE: 09/13/2023

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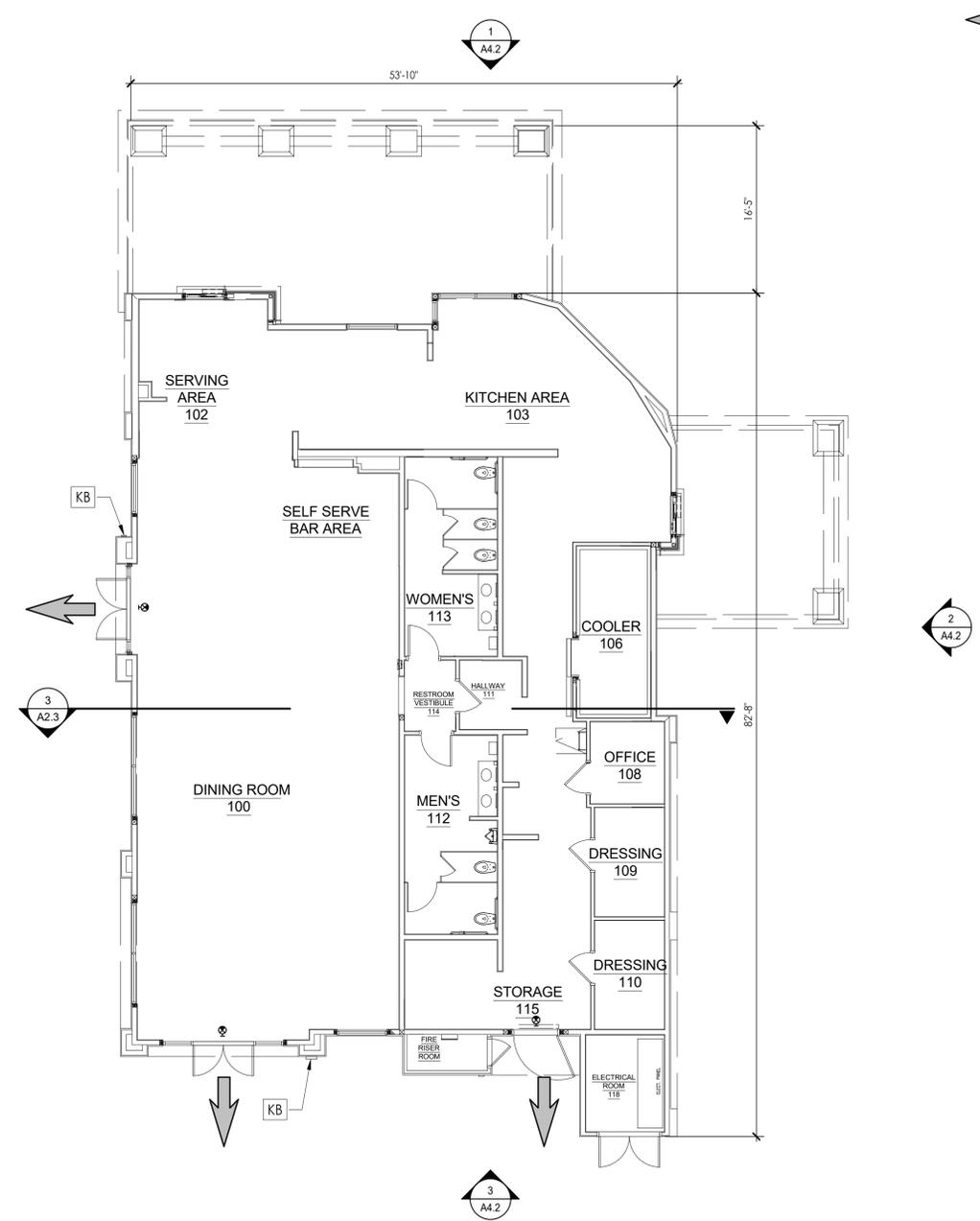


**LEGEND**

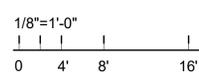
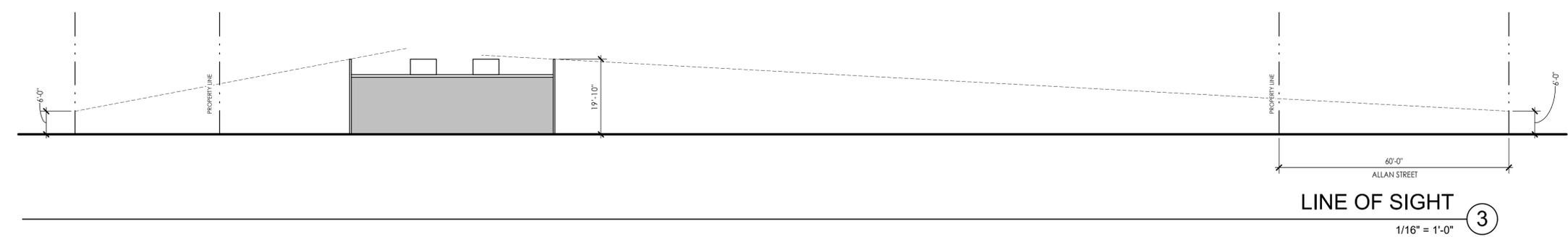
-  EXIT
-  WALL-MOUNTED EXIT SIGN WITH BATTERY BACKUP. SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED.
-  KNOX BOX



PROPOSED IN-N-OUT BUILDING ROOF PLAN ②  
1/8" = 1'-0"



PROPOSED IN-N-OUT BUILDING FLOOR PLAN ①  
1/8" = 1'-0"



CONDITIONAL USE PERMIT

PROPOSED IN-N-OUT BUILDING FLOOR & ROOF PLAN

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LAKE ELSINORE, CA.

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(949) 994-9966  
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DATE: 09/13/2023

**A2.3**

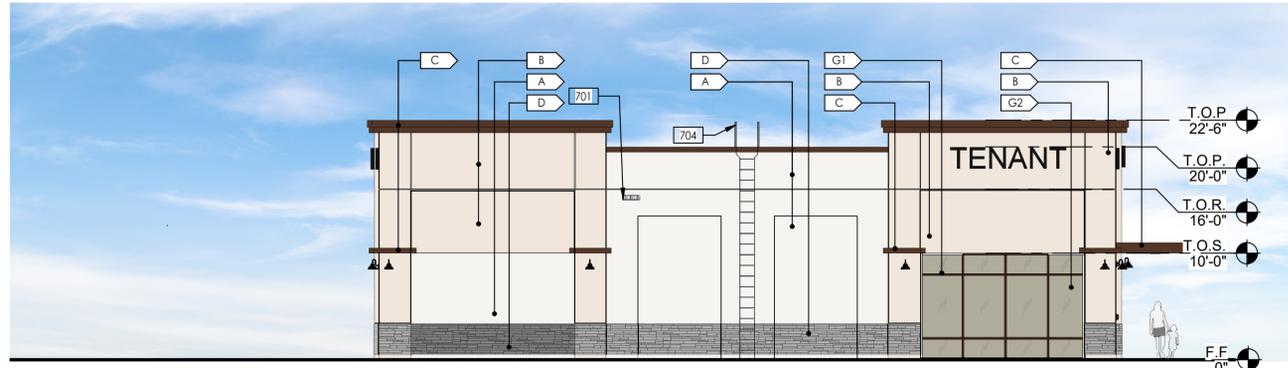




NORTH -WEST ELEVATION

1

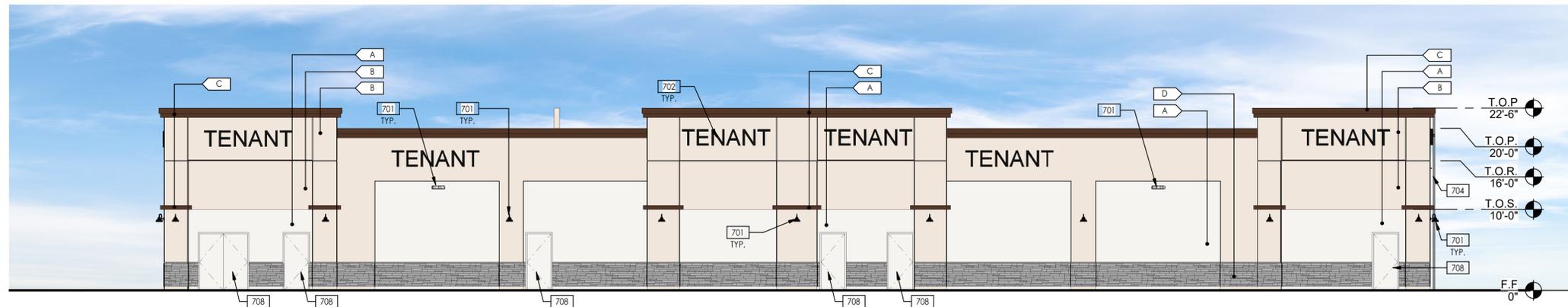
1/8" = 1'-0"



NORTH- EAST ELEVATION

2

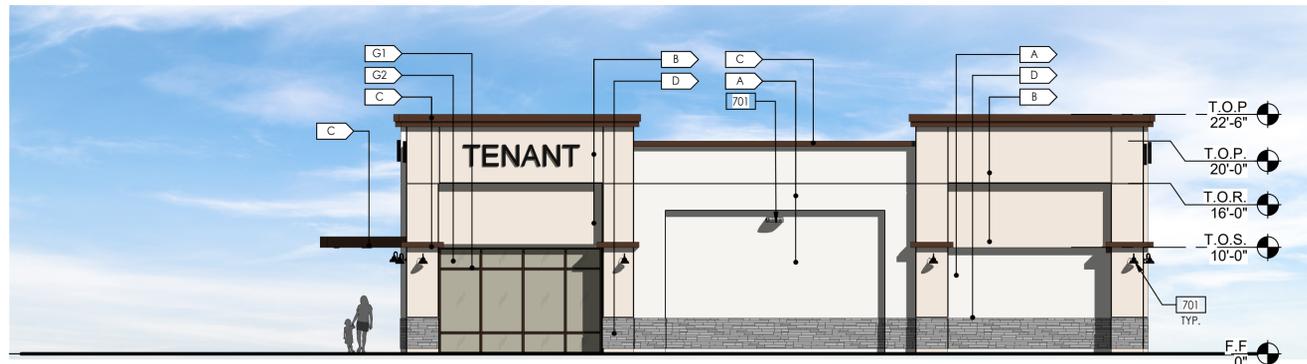
1/8" = 1'-0"



SOUTH- EAST ELEVATION

3

1/8" = 1'-0"



SOUTH- WEST ELEVATION

4

1/8" = 1'-0"

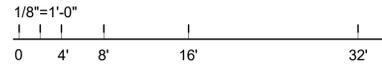
LEGENDS

**COLORS AND FINISHES:**

A	MATERIAL: BASE COLOR:	EXTERIOR PLASTER OVER METAL LATH; EXTERIOR STUD WALL SHERWIN WILLIAMS NATURAL WHITE SW 9542 OR APPROVED EQUAL
B	MATERIAL: SECONDARY COLOR:	EXTERIOR PLASTER OVER METAL LATH; EXTERIOR STUD WALL SHERWIN WILLIAMS RELIABLE WHITE SW 6091 OR APPROVED EQUAL
C	MATERIAL: ACCENT COLOR:	STEEL CANOPY & CORNICE SHERWIN WILLIAMS FRENCH ROAST SW 6069 OR APPROVED EQUAL
D	STONE VENEER	CORONADO STONE PRO LEDGE "BLACK FOREST"
G1	ALUMINUM STOREFRONT	
G2	GLAZING	

NOTES

- 701 EXTERIOR LIGHT FIXTURE
- 702 TENANT SIGNAGE
- 703 12" HIGH AND ILLUMINATED BUILDING ADDRESS NUMBER
- 704 BUILDING ROOF ACCESS
- 707 KNOX BOX
- 708 METAL DOOR



CONDITIONAL USE PERMIT

PROPOSED EXTERIOR ELEVATIONS (SHOPS BUILDING)

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PROJECT NUMBER: 22-029  
DATE: 09/13/2023

**A4.1**

**LEGENDS**

**COLORS AND FINISHES:**

- EP-1 PAINT - DUNN EDWARDS - DEW339 'BONE CHINA'
- EP-2 PAINT - DUNN EDWARDS - DEW339 'BONE CHINA'
- EP-3 PAINT - DUNN EDWARDS - DEW339 'BONE CHINA'
- EP-4 PAINT - AXALTA-IMRON 'INO RED'
- 3&4 STOREFRONT - KAWNEER - "CLEAR ANODIZED ALUMINUM"
- 5 METAL AWNING - ANODIZED ALUMINUM - BACKLIT RED PALMS
- 6 STONE VENEER - CORONADO STONE - "PRO LEDGE BLACK FOREST"



**NORTH - EAST ELEVATION**

1

1/8" = 1'-0"



**NORTH - WEST ELEVATION**

2

1/8" = 1'-0"



**SOUTH - WEST ELEVATION**

3

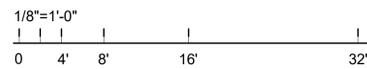
1/8" = 1'-0"



**SOUTH - EAST ELEVATION**

4

1/8" = 1'-0"



**PROPOSED EXTERIOR ELEVATIONS (DRIVE THRU BUILDING)**

**CONDITIONAL USE PERMIT**

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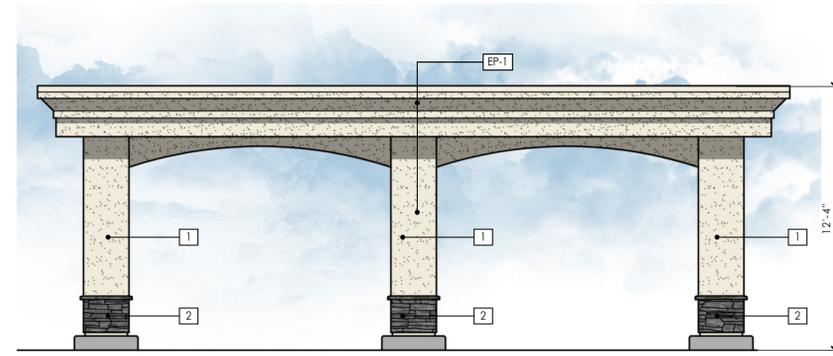
PROJECT NUMBER: 22-029  
DATE: 09/13/2023

**A4.2**

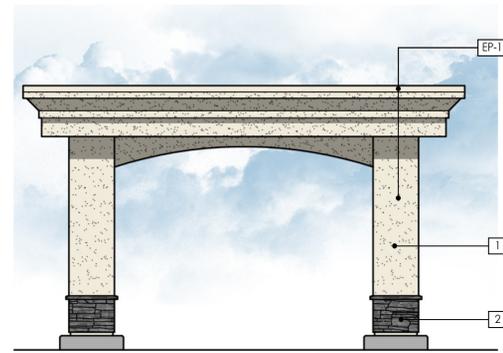
**LEGENDS**

**COLORS AND FINISHES:**

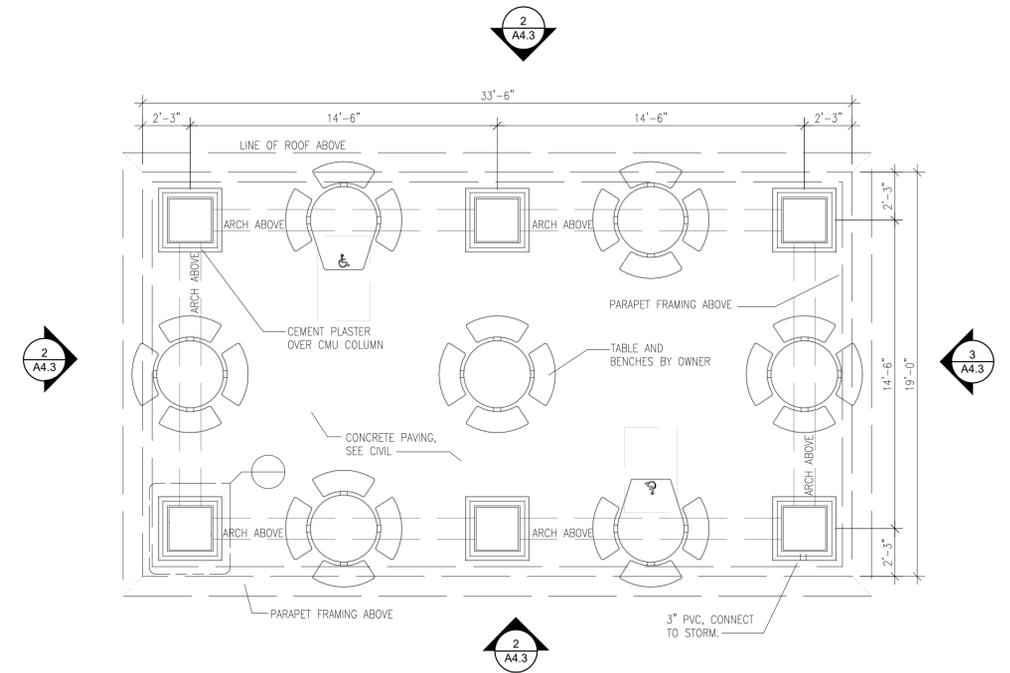
- EP-1 PAINT - DUNN EDWARDS - DEW339 'BONE CHINA'
- 1 STUCCO - PAINT EP-1
- 2 STONE VENEER - CORONADO STONE - PRO LEDGE 'BLACK FOREST' WITH MATCHING STONE SILL



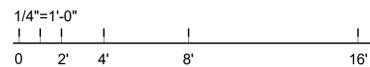
**FRONT ELEVATION** ②  
1/4" = 1'-0"



**REAR ELEVATIONS** ③  
1/4" = 1'-0"



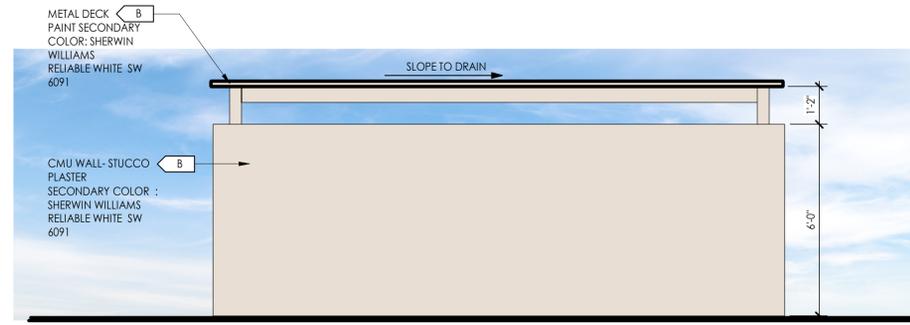
**PATIO COVER PLAN**



**LEGENDS**

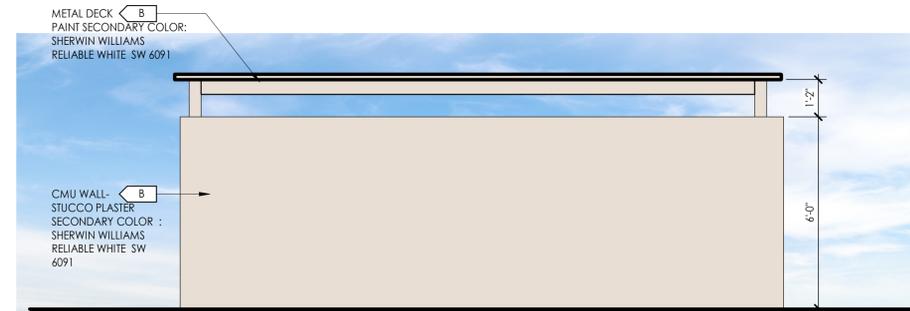
**COLORS AND FINISHES:**

MATERIAL: EXTERIOR PLASTER OVER METAL LATH- EXTERIOR STUD WALL  
 SECONDARY COLOR: SHERWIN WILLIAMS RELIABLE WHITE SW 6091 OR APPROVED EQUAL



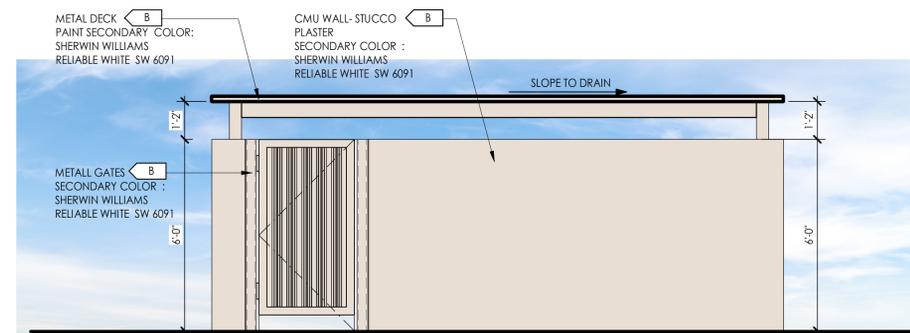
**NORTH-WEST ELEVATION**

3/8" = 1'-0" ②



**NORTH- EAST ELEVATION**

3/8" = 1'-0" ③



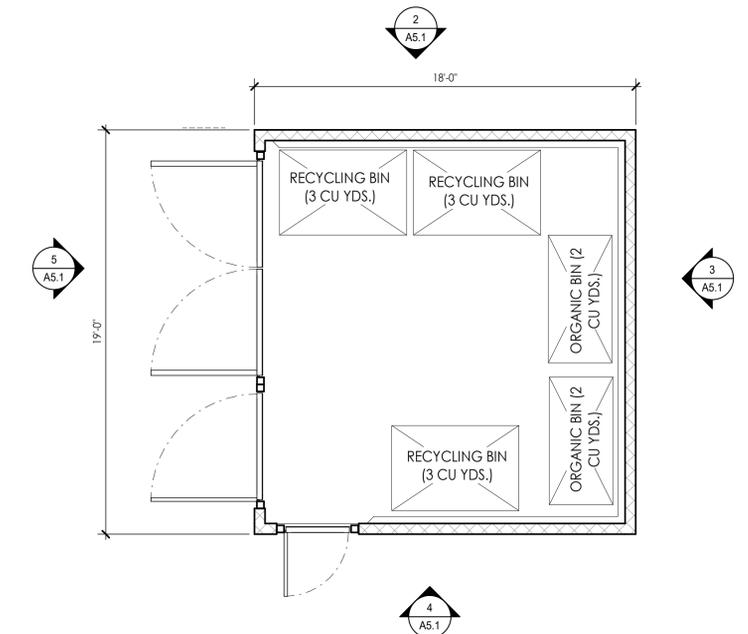
**SOUTH- EAST ELEVATION**

3/8" = 1'-0" ④



**SOUTH- WEST ELEVATION**

3/8" = 1'-0" ⑤



**TRASH ENCLOSURE PLAN**

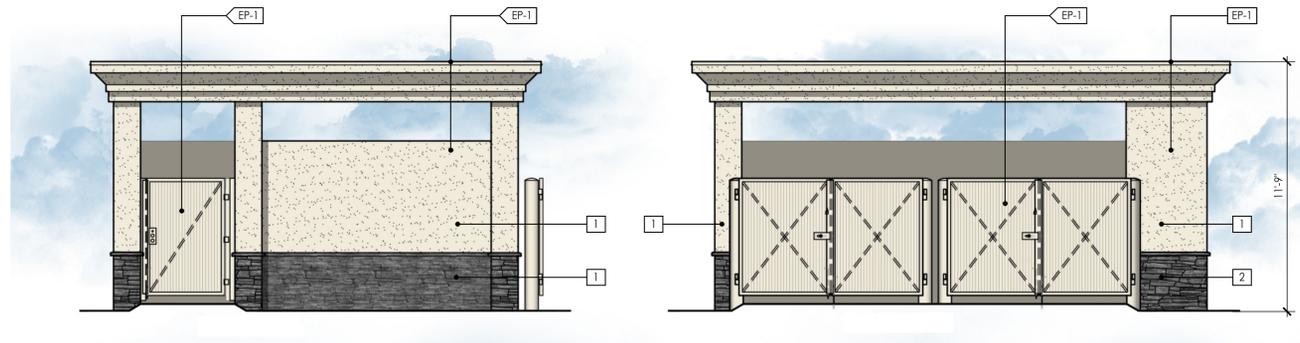
1/4" = 1'-0" ①



**LEGENDS**

**COLORS AND FINISHES:**

- EP-1 PAINT - DUNN EDWARDS - DEW339 'BONE CHINA'
- 1 STUCCO - PAINT EP-1
- 2 STONE VENEER - CORONADO STONE - PRO LEDGE 'BLACK FOREST' WITH MATCHING STONE SILL



**SOUTH- EAST ELEVATION**

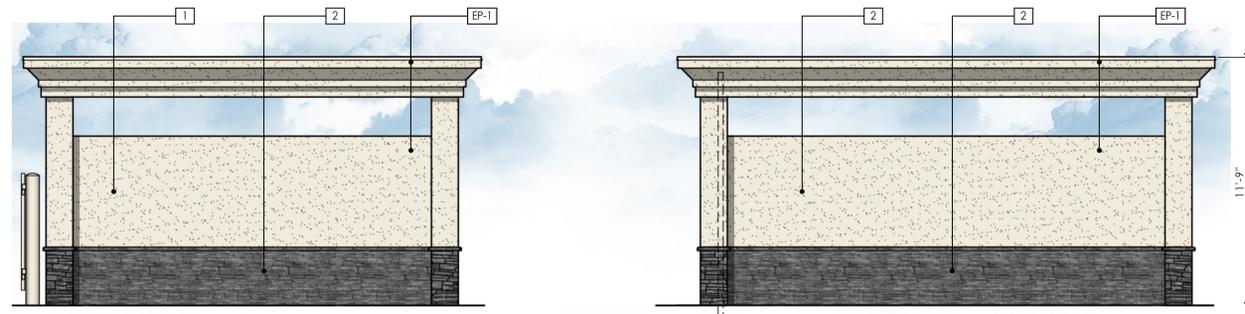
1/4" = 1'-0"

2

**NORTH- EAST ELEVATION**

1/4" = 1'-0"

1



**NORTH- WEST ELEVATION**

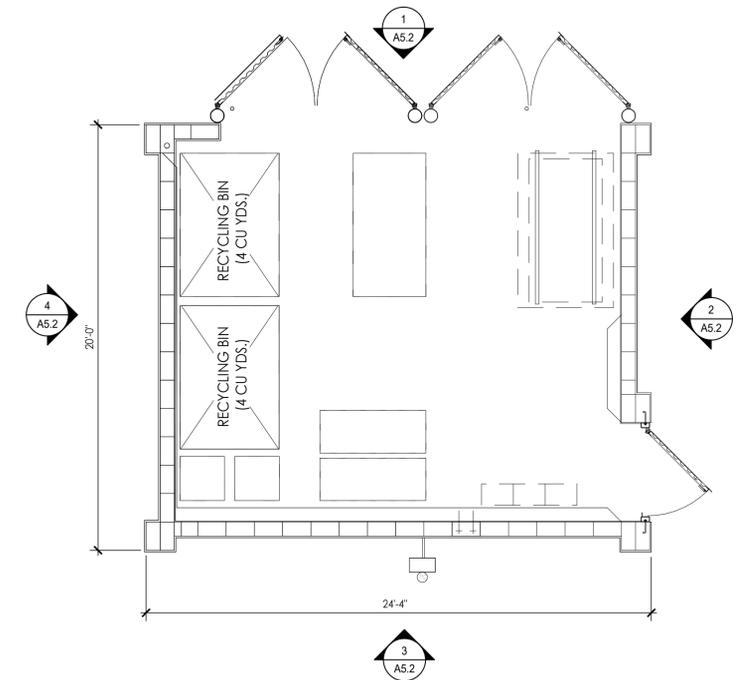
1/4" = 1'-0"

4

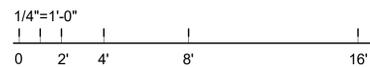
**SOUTH- WEST ELEVATION**

1/4" = 1'-0"

3



**TRASH ENCLOSURE PLAN**



CONDITIONAL USE PERMIT

TRASH ENCLOSURE (IN-N-OUT BUILDING)

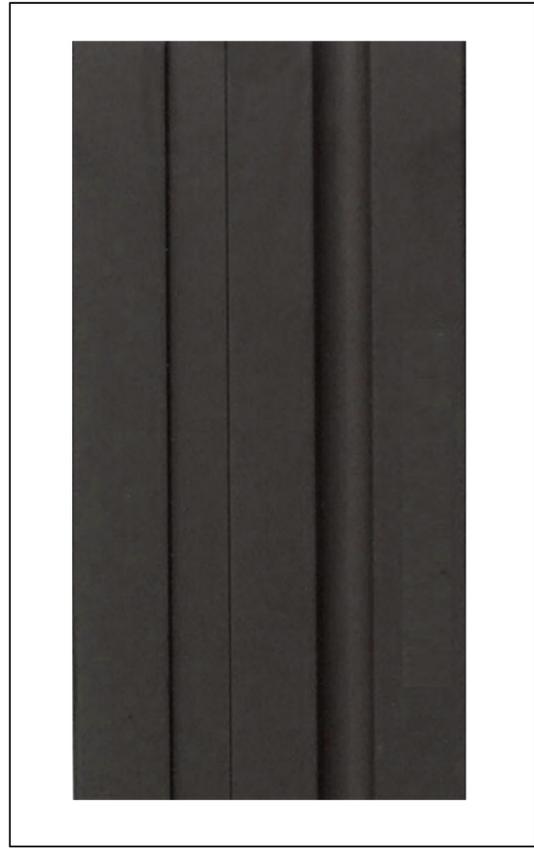
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DEXTER AVE & ALLAN ST.  
LAKE ELSINORE, CA.

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PROJECT NUMBER: 22-029  
DATE: 09/13/2023

**A5.2**





SW 9542  
**Natural White**  
Interior / Exterior

SIMILAR COLORS      DETAILS

[View All Emerald Designer Edition Paint Colors →](#)  
R:236 G:235 B:232    Hex Value:#e8e8e8    LRV:83  
Color Collections: Emerald Designer Edition - Minimal + Modern

A PAINT BASE COLOR:  
SHERWIN WILLIAMS NATURAL WHITE SW 9542

SW 6091  
**Reliable White**  
Interior / Exterior  
Location Number: 267-C6

267      Reliable White

COORDINATING COLORS      SIMILAR COLORS      DETAILS

[View All White & Pastel Paint Colors →](#)  
R:232 G:222 B:211    Hex Value:#e8ded3    LRV:74  
Color Collections: Living Well

B PAINT SECONDARY COLOR:  
SHERWIN WILLIAMS RELIABLE WHITE SW 6091

SW 6069  
**French Roast**  
Interior / Exterior  
Location Number: 196-C7

196      French Roast

COORDINATING COLORS      SIMILAR COLORS      DETAILS

[View All Red Paint Colors →](#)  
R:79 G:52 B:38    Hex Value:#4f3426    LRV:4

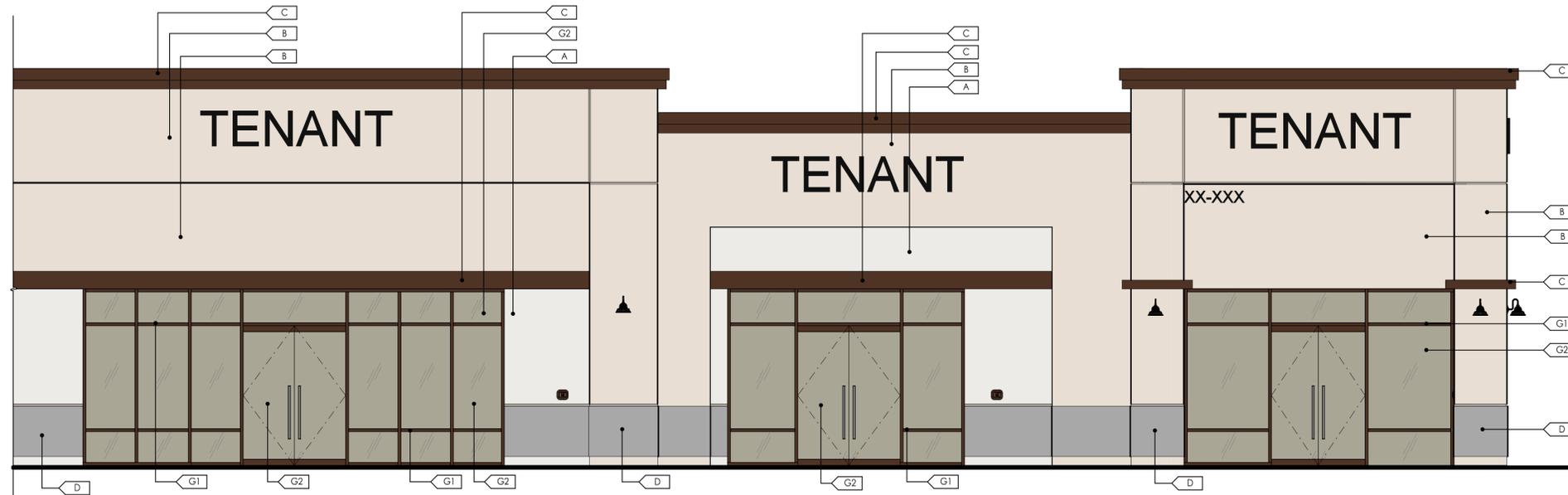
C PAINT ACCENT COLOR:  
SHERWIN WILLIAMS FRENCH ROAST SW 6069

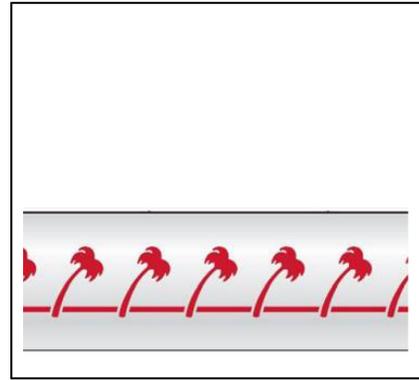


D STONE VENEER:  
CORONADO STONE PRO LEDGE "BLACK FOREST"

G2 STOREFRONT GLAZING:  
SOLARCOOL®70 (2) SOLARBronze® + CLEAR

G1 ANODIZED ALUMINUM STOREFRONT DARK BRONZE

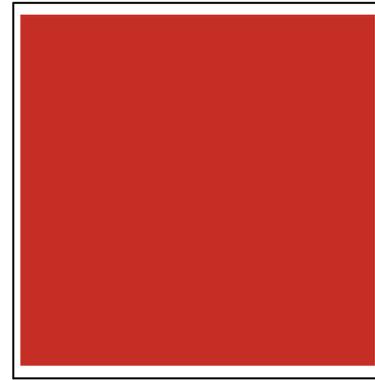




5 ANODIZED ALUMINUM AWNING WITH BACKLIT RED PALMS



6 CORONADO STONE PRO LEDGE "BLACK FOREST"



4 DUNN EDWARDS ASHL70 "INO RED"



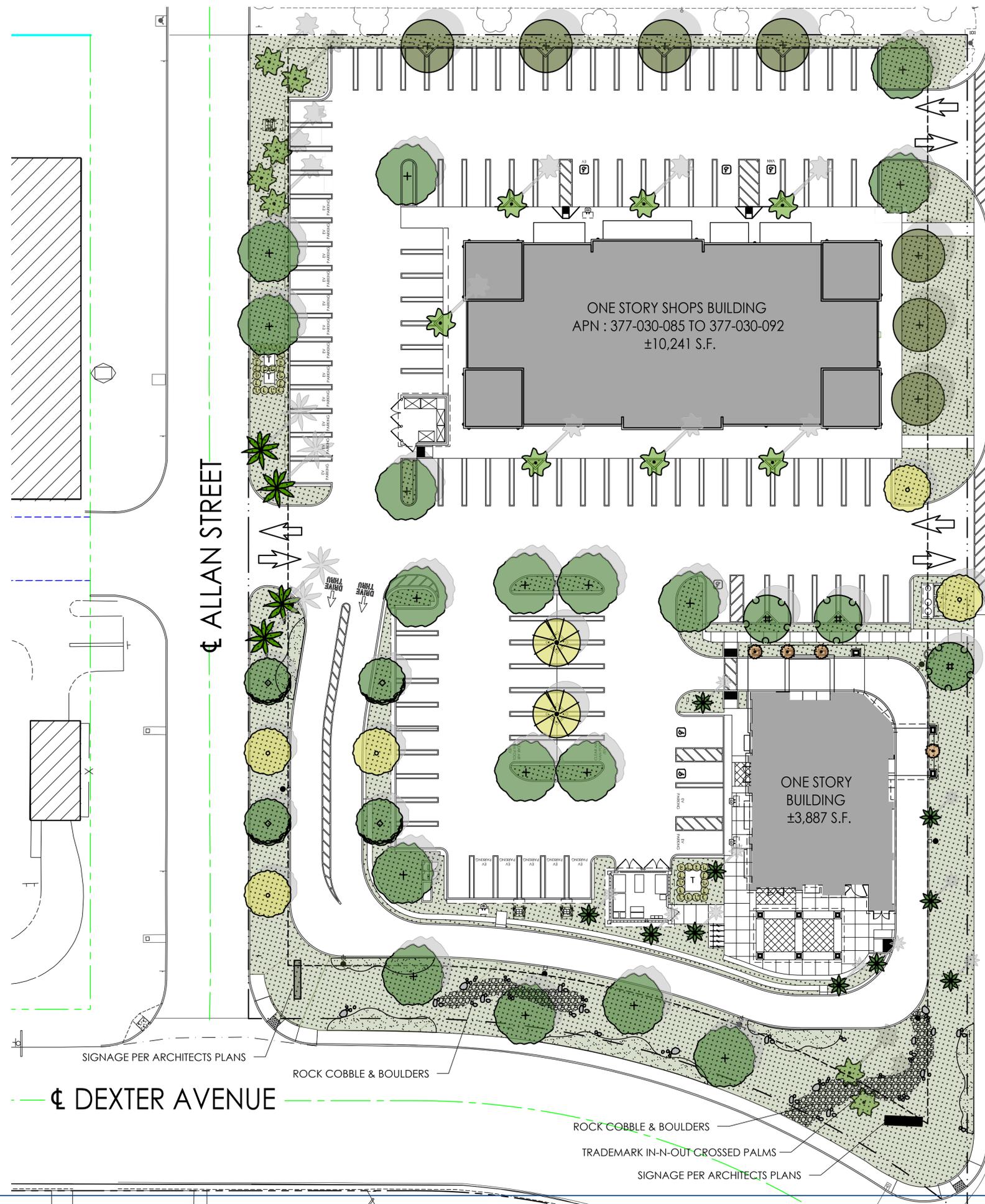
1, 2, 3 DUNN EDWARDS DEW339 "BONE CHINA WHITE"



ALUMINUM STOREFRONT - 3&4

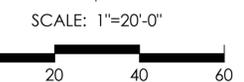
6 - STONE

METAL AWNING - 5



### PRELIMINARY PLANTING LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY
<b>PROPOSED TREES</b>			
	ARBUTUS 'MARINA' / NCN	24" BOX STANDARD	4
	CHILOPSIS LINEARIS 'BURGUNDY' / BURGUNDY DESERT WILLOW	24" BOX STANDARD	5
	ACACIA STENOPHYLLA / SHOESTRING ACACIA	24" BOX STANDARD	2
	ULMUS PARVIFOLIA 'DRAKE' / EVERGREEN ELM	24" BOX STANDARD	14
	TRISTANIA CONFERTA / BRISBANE BOX	15 GAL STANDARD	3
	PISTACIA C. 'KEITH DAVEY' / CHINESE PISTACHE	24" BOX STANDARD	17
	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	20" BTH STRAIGHT TRUNK	7
	PHOENIX DACTYLIFERA / CANARY ISLAND DATE PALM	16" BTH STRAIGHT TRUNK	4
	BRAHEA EDULIS / GUADALUPE PALM	24" BOX STRAIGHT TRUNK	10
<b>PROPOSED SHRUBS</b>			
	COTINUS COGGYGRIA / SMOKE TREE	15 GAL / 10" O.C.	
	BULBINE FRUTESCENS 'HALLMARK' / HALLMARK BULBINE	1 GAL / 24" O.C.	
	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLOND AMBITION BLUE GRAMA GRASS	1 GAL / 24" O.C.	
	BOUGAINVILLEA 'TORCH GLOW' / TORCH GLOW BOUGAINVILLEA	5 GAL / 48" O.C.	
	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' / FEATHER REED GRASS	5 GAL / 36" O.C.	
	CISTUS PURPUREUS / ORCHID ROCKROSE	5 GAL / 48" O.C.	
	DIANELLA TASMANICA 'VARIEGATA' / VARIEGATED FLAX LILY	5 GAL / 24" O.C.	
	DIANELLA CAERULEA 'CASSA BLUE' / BLUE FLAX LILY	5 GAL / 24" O.C.	
	EUONYMUS J. 'SILVER KING' / SILVER KING EUONYMUS	5 GAL / 36" O.C.	
	HEMEROCALLIS SP. / DAYLILY (ORANGE)	1 GAL / 30" O.C.	
	LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH	5 GAL / 36" O.C.	
	MAHONIA AQUIFOLIUM / OREGON GRAPE	5 GAL / 24" O.C.	
	NANDINA DOMESTICA 'SEIKA' / OBSESSION NANDINA	5 GAL / 36" O.C.	
	PELARGONIUM X HORTORUM 'BROCADE SERIES' / BROCADE GERANIUM	5 GAL / 24" O.C.	
	PELARGONIUM 'AMERICANA RED' / ZONAL GERANIUM	5 GAL / 24" O.C.	
	PELARGONIUM 'FLOWER OF SPRING' / VARIEGATED GERANIUM	5 GAL / 24" O.C.	
	RHAPHIOLEPIS L. 'BALLERINA' / BALLERINA INDIAN HAWTHORN	5 GAL / 36" O.C.	
	TECOMA STANS 'SOLAR FLARE' / SOLAR FLARE ESPERANZA	5 GAL / 36" O.C.	
	LIGUSTRUM SINENSIS 'SUNSHINE' / SUNSHINE LIGUSTRUM	5 GAL / 36" O.C.	
	BUXUS J. 'WINTER GEM' / WINTER GEM BOXWOOD	5 GAL / 36" O.C.	
<b>PROPOSED GROUNDCOVER &amp; VINES</b>			
	BOUGAINVILLEA 'MONKA' / OO-LA-LA BOUGAINVILLEA	5 GAL / 48" O.C.	
	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA	1 GAL / 36" O.C.	
	LANTANA C. 'MONIKA' / TEENIE GENIE LANTANA	1 GAL / 36" O.C.	
	LANTANA M. 'TRAILING WHITE' / WHITE TRAILING LANTANA	1 GAL / 36" O.C.	
	ROSA X 'FLOWERING CARPET' / FLOWERING CARPET ROSE - PINK	1 GAL / 30" O.C.	
	TURF - FESCUE	SOD	



Colleen M. Nolan  
Landscape Architect, #5439  
cnolan@cox.net  
13355 Silverado Court, Corona 92883  
714.743.7915 cell

### PRELIMINARY LANDSCAPE PLAN

LAKE ELSNORE  
DEXTER AVE & ALLAN ST.  
LAKE ELSNORE, CA.

**WE ARCHITECTS GROUP**  
ARCHITECTURE, INTERIOR DESIGN, PLANNING  
2449 RAINBOW POWY, S.  
LAKE FOREST, CA 92630  
Tel: (949) 994-9966  
www.WeArchitectsGroup.com

PROJECT NUMBER: 22-029  
DATE: 07/14/2023



TRISTANIA CONFERTA /  
BRISBANE BOX



COTINUS COGGYGRIA /  
SMOKE TREE



ULMUS PARVIFOLIA 'DRAKE' /  
EVERGREEN ELM



ACACIA STENOPHYLLA /  
SHOESTRING ACACIA



ARBUTUS 'MARINA' /  
NCN



CHILOPSIS LINEARIS 'BURGUNDY' /  
BURGUNDY DESERT WILLOW



PISTACIA C. 'KEITH DAVEY' /  
CHINESE PISTACHE



BRAHEA EDULIS /  
GUADALUPE PALM



PHOENIX DACTYLIFERA /  
CANARY ISLAND DATE PALM



WASHINGTONIA ROBUSTA /  
MEXICAN FAN PALM



# LAKE ELSINORE

# UNIFORM SIGN PROGRAM

DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.

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## GENERAL PROJECT DATA

BUILDING DEPARTMENT: ..... CITY OF LAKE ELSINORE, CA  
 ZONING: ..... C2 (GENERAL COMMERCIAL  
 LAND USE DESIGNATION ..... RETAIL  
 ASSESSOR'S PARCEL NO.: ..... 377-030-085 TO 377-030-092  
 OCCUPANCY CLASSIFICATION: ..... PER CBC CHAPTER 3 M

## OWNER

PACIFIC DEVELOPMENT GROUP II  
 ONE CORPORATE PLAZA ROBERT LEWIS  
 NEWPORT BEACH, CA 92660 PH: (949) 760-8591

## ARCHITECT

### We Architects Group

26449 RANCHO PKWY S. SIA SHIRAZI  
 LAKE FOREST, CA 92630 PH: (714) 306-2333

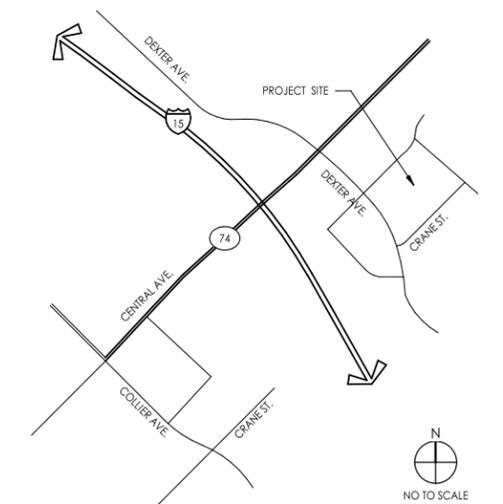
## PREPARED BY

### VISIBLE GRAPHICS

A Full Service Sign Company

9736 Eton Ave  
 Chatsworth, CA 91311  
 T 818.787.0477  
 E-Fax 818.477.5123  
 www.visiblegraphics.com

## VICINITY MAP



## LAKE ELSINORE UNIFORM SIGN PROGRAM

DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.

## **Purpose**

This Uniform Sign Program establishes criteria primarily for wall signs and freestanding signs at this multi-tenant Integrated Development. It provides a predominant pattern of sign type and configuration within the shopping center to create a system for the control of the size, location, type and number of signs, according to reasonable and nondiscriminatory standards. This program ensures signs are harmonious and visually related to each other through the incorporation of common design elements, and that signs are architecturally integrated with the buildings.

The guidelines here seek to support the City of Lake Elsinore's goals of recognizing the right and need of each individual, business, firm, or corporation to identify their business or service, and realizing that the indiscriminate erection, location, illumination, coloring, and size, and lack of proper maintenance of signs, constitutes a significant contributing factor detrimental to the purpose and intent of Chapter 17 of the Lake Elsinore Municipal Code.

## **Procedure for Permit Review & Approval**

All permanent building signs must be approved by the Landlord and permitted by City of Lake Elsinore prior to installation. Property Manager has the right to refuse approval of any sign which does not conform to the criteria set forth herein. Approval shall be based on:

- A. Conformity with this sign program;
- B. Any business requesting a sign permit must have a valid Lake Elsinore business license, and;
- C. Tenant shall email or provide a hard copy of the proposed design to Property Manager for review. Upon receiving the Property Manager's signed approval, the tenant or their representative shall then submit to the City of Lake Elsinore for permits. Drawings shall include the following as required by the City:
  1. Three (3) copies of plans. At least one of the three sets shall include elevations and sign faces in color. One set of the three plans shall include a signature or stamp by the Property Manager.
  2. Position of sign in relation to adjacent building or structures.
  3. The design and size, structural details and calculations signed by a registered professional engineer, if required by the City Building Official.
  4. A current photograph(s) showing existing signs on the premises and adjacent property, and certifying the date on which the photographs were taken.
  5. Such other information as the City shall deem reasonable and necessary to ensure safety of construction and compliance with the intent of Chapter 17 of the Lake Elsinore Municipal Code.

NOTE: Exhibits from this sign program may be utilized to create any of the above documents.

## **Tenant Responsibility Before & After Permit**

- A. Tenant shall pay for all signs, their installation and all other labor, materials and maintenance.
- B. Tenant must file, pay and obtain any licenses, permits as required for sign installation.
- C. Upon receipt of permits, Tenant shall forward one copy of permit to Property Manager prior to installation of signs. Any drawings returned to Tenant marked for changes must be re-submitted with proper corrections.
- D. Any sign that is installed by a Tenant that does not conform to the drawings approved by the Property Manager and the City shall be corrected by Tenant within thirty (30) days after written notice.
- E. In the event Tenant's sign is not brought into compliance within this period, the Property Manager shall have the option to correct or replace said sign at Tenant's sole expense.
- F. Tenant is responsible for repairing any damage to building fascia caused by sign contractor or others, including patching, texturing and painting.
- G. Un-permitted signs are subject to removal and/or fees and fines by Property Manager and/or the City of Lake Elsinore.
- H. Installation shall be performed only by a licensed electrical contractor or electrical sign installer (Class C-45), which shall maintain Workers' Compensation Insurance and General Liability insurance in the amount of \$1 million or greater. Tenant is responsible for verifying the required coverage with the Landlord's Property Manager.
- I. Limitations. Nothing contained in this Uniform Sign Program shall constitute a representation by the Property Manager in lieu of any municipal requirements regarding signs and signage, and in the event of a conflict between the criteria set forth in this document and such requirements, the municipal requirements shall control Tenant's allowable signs and requirements.

## **Prohibited Signs**

- A. Portable signs, such as freestanding or wheeled signs higher than 42 inches in height, and metallic balloons.
- B. Vehicles containing advertising parked on public or private property for the primary purpose of advertising or directing attention to a permanent business.
- C. Signs which incorporate in any manner any flashing, moving or intermittent lighting.
- D. Rotating or animated signs, or signs which contain any moving parts.
- E. No signs, lights or other advertising structure shall be located in such a manner as to constitute a hazard to pedestrian or vehicular traffic, or in such a manner as to obstruct free and clear vision at any location where, by reason of the position, shape, color or movement may interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal or device, nor shall such sign advertising structure make use of any word, phrase, symbol or character in such a manner as to interfere with, mislead or confuse traffic.
- F. Spinners or similar advertising devices.
- G. Signs which exceed the roofline or parapet to which such signs are attached.
- H. Off-site signage. This prohibition shall specifically not apply to noncommercial signs, including political signs.

## Construction Guidelines

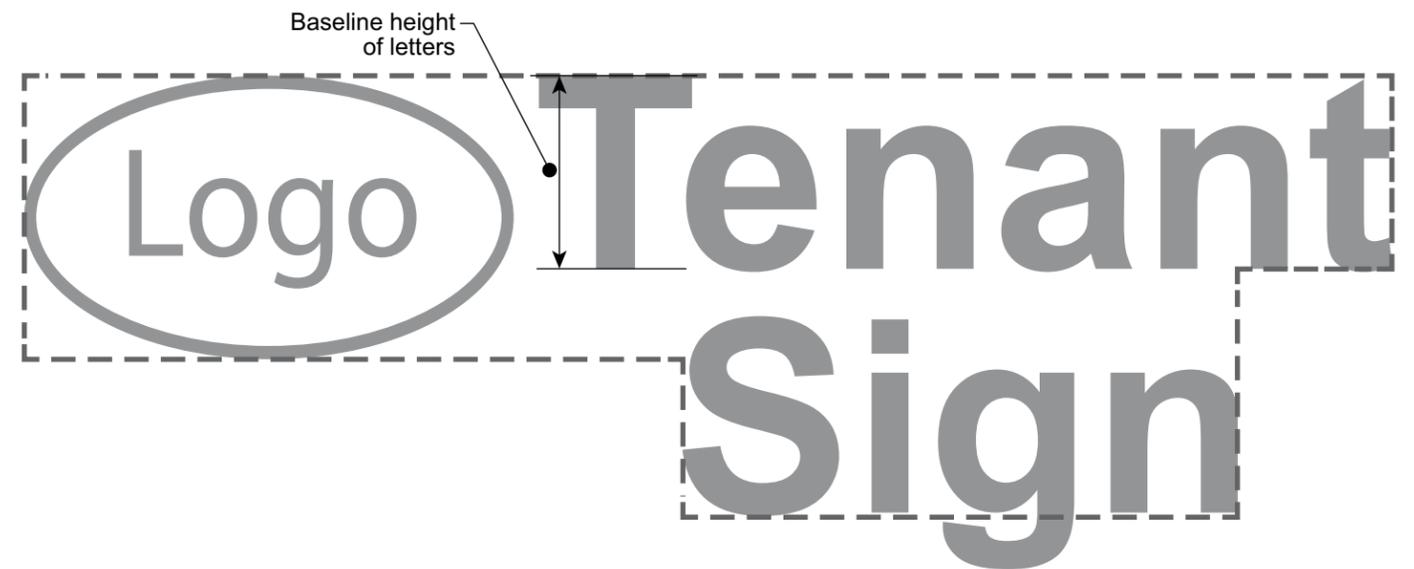
- A. Shall be constructed of metal, wood, plastic, foam, paint and/or comparable weather-resistant material.
- B. Shall be kept in good repair and maintained in safe, neat, clean and attractive condition.
- C. Shall be so enclosed as to provide against their infestation by birds and vermin, and shall be structurally safe.
- D. Every sign and all parts, portions, and materials thereof shall be manufactured, assembled, and erected in compliance with all applicable state, federal, and city laws and regulations, including the locally adopted building code.
- E. All signs shall be constructed so as not to have exposed wiring, raceways, ballast, conduits, power supplies, and transformers. All electrical service to sign lighting shall be fully concealed.
- F. All power supplies, transformers, equipment and other related items shall be screened and/or painted to match the building or shall be concealed within the sign.
- G. All permanent signs shall be constructed of quality, low-maintenance materials such as metal and acrylics. Techniques shall be incorporated during construction to reduce fading and damage caused by exposure to sunlight or degradation due to other elements.
- H. Exposed raceways are only allowed when absolutely required and with express written permission from the Property Manager.
- I. All penetrations into building must have watertight seals.
- J. The display surface of all signs shall be kept clean, neatly painted, and free from rust and corrosion. Any cracked, broken surfaces, malfunctioning lights, missing sign copy, or other non-maintained or damaged portions of a sign shall be repaired or replaced within 30 days following notification by the Property Manager.

## Sign Area Calculation Method

“Sign area” means the entire area within the outside border of the sign. The area of a sign having no continuous border or lacking a border shall mean the entire area within a single continuous perimeter formed by no more than eight straight lines enclosing the extreme limits of writing, representations, emblem, or any fixture or similar character, integral part of the display or used as a border excluding the necessary supports or uprights on which such sign is placed.

Note: Descenders are excluded from the sign area calculation method.

Example:



## General Wall Sign Guidelines

- A. Property Manager to assign sign band location to Tenant. Wall sign to be centered horizontally within sign band and approved by the Property Manager before submittal to the city for permit.
  - B. No sign shall be permitted that does not pertain directly to an approved business conducted on the premises.
  - C. Signs shall be permanent in nature.
  - D. The total sign area permitted per tenant frontage shall not exceed one square foot per lineal foot of tenant frontage on which the sign is located. Note: Frontages may not be combined to permit a larger sign on any one frontage.
  - E. The maximum allowable area for wall signs may be less than the maximum areas shown in the elevations herein. This is due to minimum spacing requirements for some sign locations.
- Two wall signs per Shop Building, One wall sign per elevation.

Shop Building End Cap Tenants or Pad Building Tenant with Building Elevations Facing Parking Lots or Street, are Allowed One Additional Sign Per Elevation, To a Maximum of Four (4) Signs.

- F. Maximum Letter Heights (Note that maximum allowable sign area supercedes letter height. Under no circumstances may the maximum allowable sign area be exceeded in order to accommodate a maximum allowable letter height).
  - 1. Upper Sign Band **A** Locations
    - a. Single line text may utilize maximum 32” baseline letter height, excluding descenders.
    - b. Double line text may utilize maximum 48” overall combined baseline letter height. See page 11” for examples.
  - 2. Upper Sign Band **B** Locations
    - a. Single line text may utilize maximum 24” baseline letter height, excluding descenders.
    - b. Double line text may utilize maximum 36” overall combined baseline letter height. See page 12 for examples.
- G. No portion of any wall sign may be closer than 6” to the edge of a wall or the perimeter of any sign band location. See spacing requirements starting on page 11.
- H. Signs shall be attached to the building, parallel to the building face.

- I. No portion of any sign or its supporting structure may project more than six and one half inches (6 1/2”) from the face of the building or structure to which it is attached.
- J. No more than one (1) wall sign shall be permitted for each elevation of a leasable tenant space. Sign area on any elevation shall not exceed one square foot per lineal foot of tenant frontage, or the size limits shown on the elevation drawings in this program, whichever is smaller.
- K. Wall signs shall stand off of wall 1/4”.
- L. Signs shall not be placed to obstruct any portion of a window or cover architectural elements, such as cornices, transom windows, vertical piers and columns, and similar elements.
- M. Height. No sign shall project above the parapet, canopy fascia, or wall to which it is attached.
- N. No sign shall use mirrors reflecting a direct light source or utilize flashing, blinking or sequenced lights.

## Temporary Window Signs

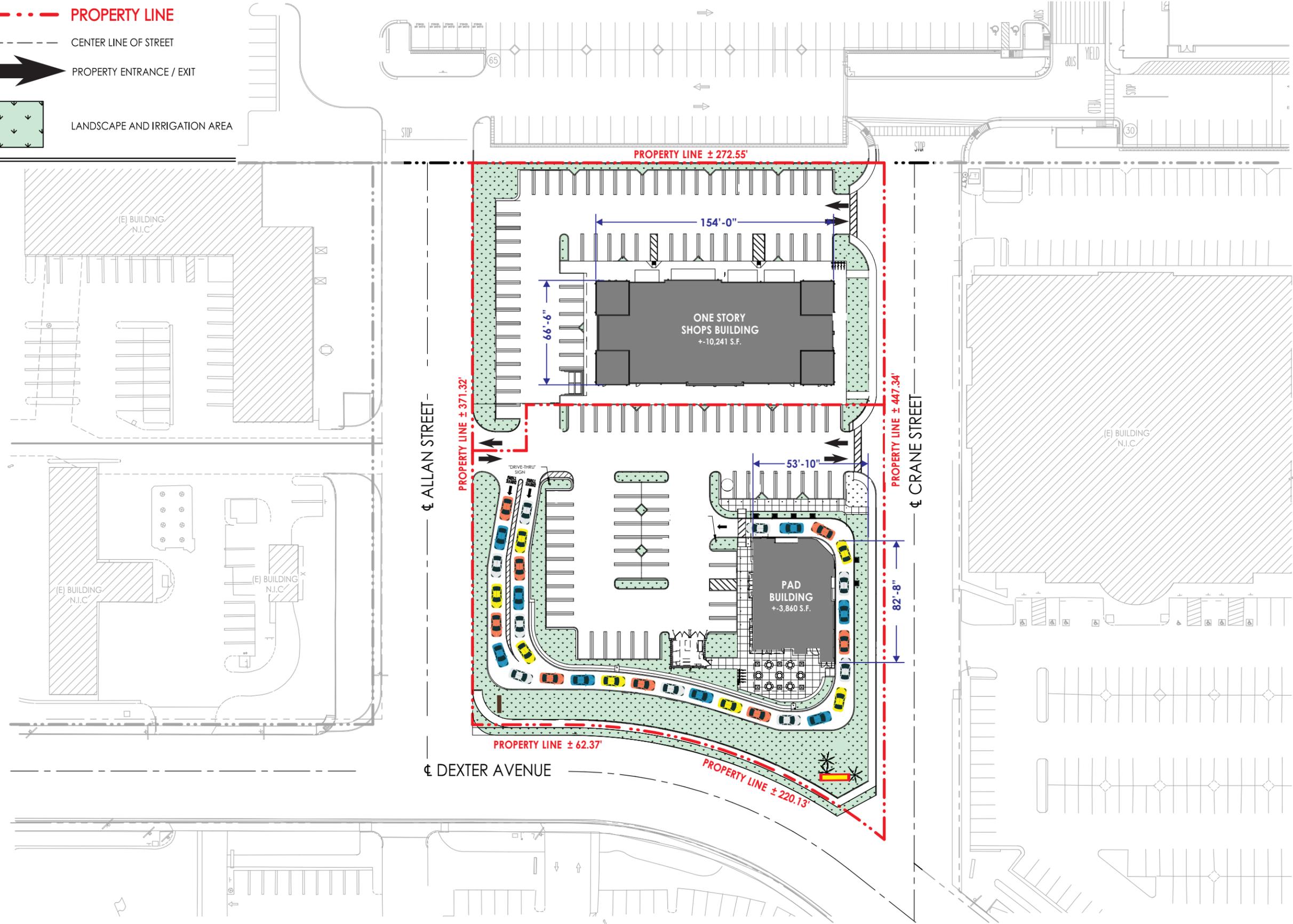
Temporary Window signs shall be permitted subject to the following:

- A. Sign area shall not exceed 25 percent of the window area
- B. Holiday window decorations shall be permitted.
 

The duration for the decoration of the window shall be limited to a period not exceeding six weeks prior to the holiday and two weeks following the holiday. [Ord. 1306 § 8, 2012; Ord. 1068 § 3, 2000; Ord. 937, 1992. Code 1987 § 17.94.150].

# Legend

- - - **PROPERTY LINE**
- - - CENTER LINE OF STREET
- PROPERTY ENTRANCE / EXIT
- LANDSCAPE AND IRRIGATION AREA



# Overall Site Plan

## GENERAL PROJECT DATA

BUILDING DEPARTMENT: \_\_\_\_\_ CITY OF LAKE ELSINORE, CA  
 ZONING: \_\_\_\_\_ C2 (GENERAL COMMERCIAL)  
 LAND USE DESIGNATION \_\_\_\_\_ RETAIL  
 ASSESSOR'S PARCEL NO.: \_\_\_\_\_ 377-030-085 TO 377-030-092  
 OCCUPANCY CLASSIFICATION: \_\_\_\_\_ PER CBC CHAPTER 3 M

## OWNER

**PACIFIC DEVELOPMENT GROUP II**  
 ONE CORPORATE PLAZA ROBERT LEWIS  
 NEWPORT BEACH, CA 92660 PH: (949) 760-8591

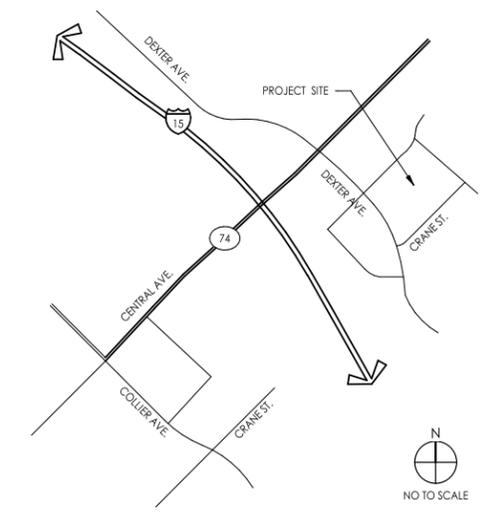
## ARCHITECT

**We Architects Group**  
 26449 RANCHO PKWY S. SIA SHIRAZI  
 LAKE FOREST, CA 92630 PH: (714) 306-2333

## PREPARED BY

**VISIBLE GRAPHICS**  
 A Full Service Sign Company  
  
 9736 Eton Ave  
 Chatsworth, CA 91311  
 T 818.787.0477  
 E-Fax 818.477.5123  
 www.visiblegraphics.com

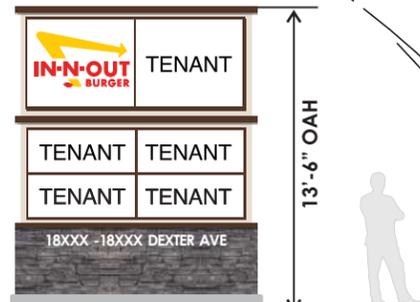
## VICINITY MAP



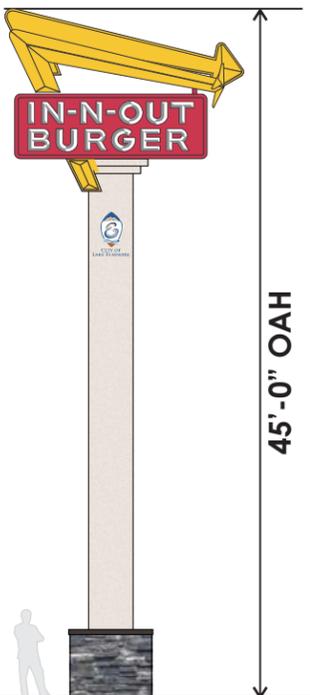
**LAKE ELSINORE  
 UNIFORM SIGN PROGRAM**  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.

# Legend

- - - PROPERTY LINE
- - - CENTER LINE OF STREET
- PROPERTY ENTRANCE / EXIT
- LANDSCAPE AND IRRIGATION AREA



**DOUBLE SIDED SITE IDENTIFICATION SIGN (MONUMENT)**  
83.36 SQ. FT. SIGN AREA



**DOUBLE SIDED FREEWAY IDENTIFICATION SIGN (PYLON)**  
142 SQ. FT. SIGN AREA

# Enlarged Site Plan

## GENERAL PROJECT DATA

BUILDING DEPARTMENT: \_\_\_\_\_ CITY OF LAKE ELSINORE, CA  
 ZONING: \_\_\_\_\_ C2 (GENERAL COMMERCIAL)  
 LAND USE DESIGNATION: \_\_\_\_\_ RETAIL  
 ASSESSOR'S PARCEL NO.: \_\_\_\_\_ 377-030-085 TO 377-030-092  
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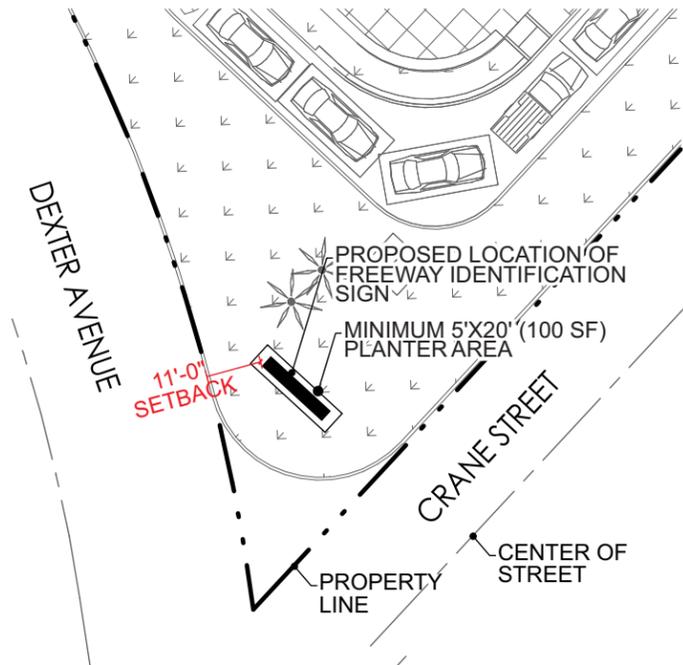
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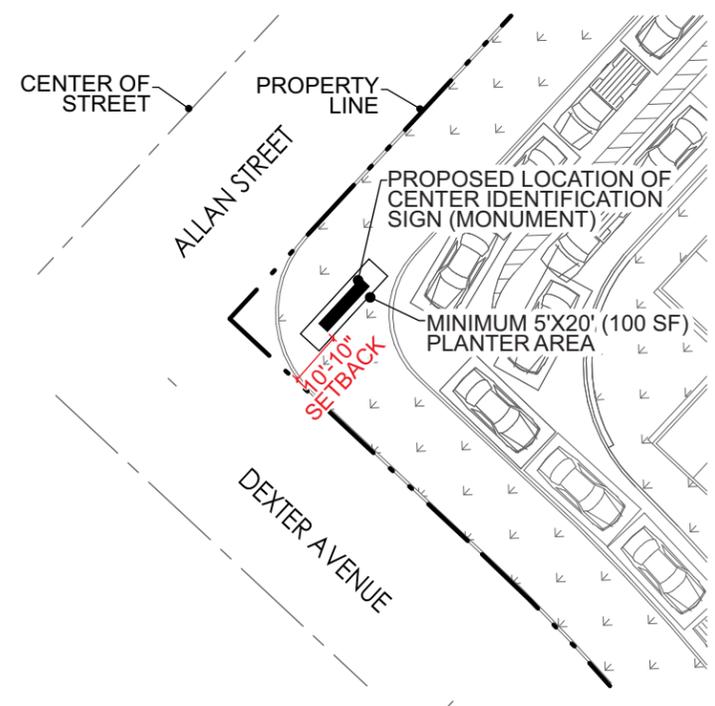
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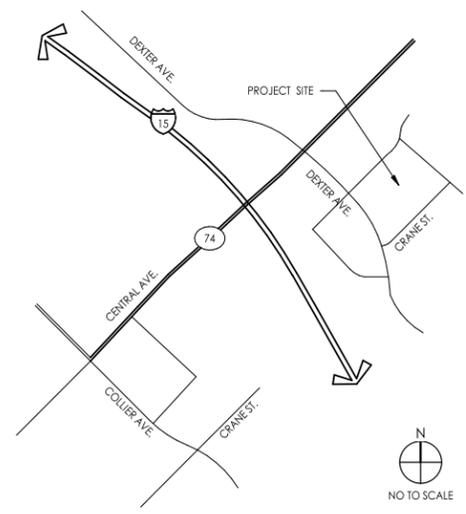


**PYLON PLACEMENT DETAILS W/ SETBACKS**



**MONUMENT PLACEMENT DETAILS W/ SETBACKS**

## VICINITY MAP



**LAKE ELSINORE  
 UNIFORM SIGN PROGRAM**  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.





# SHOPS Building - ELEVATIONS



**North - West Elevation**

SCALE: 1/16" = 1'

**\*THE NUMBER OF TENANTS AND LOCATION OF DEMISING WALLS WITHIN THE BUILDING ARE SUBJECT TO CHANGE AS TENANT SPACES ARE MOVED, COMBINED, AND DIVIDED AS NEW LEASES ARE SIGNED OVERTIME**



**North - East Elevation**

SCALE: 1/16" = 1'



**South - East Elevation**

SCALE: 1/16" = 1'

## REQUIRED APPROVAL PROCESS

- A. Property Manager to assign sign band location for each tenant. Stamped approval is required before City Permit Submittal.**
- B. Tenant's sign must file proper insurance requirements to Property Manager before allowed on site. Tenant's sign company must field verify Sign Band Area before fabrication and installation.**
- C. One Wall Sign allowed per tenant on each elevation.**



**South - West Elevation**

SCALE: 1/16" = 1'

## GENERAL PROJECT DATA

BUILDING DEPARTMENT: \_\_\_\_\_ CITY OF LAKE ELSINORE, CA  
 ZONING: \_\_\_\_\_ C2 (GENERAL COMMERCIAL)  
 LAND USE DESIGNATION \_\_\_\_\_ RETAIL  
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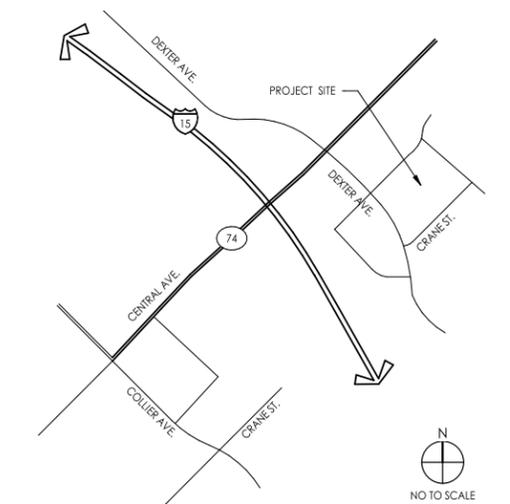
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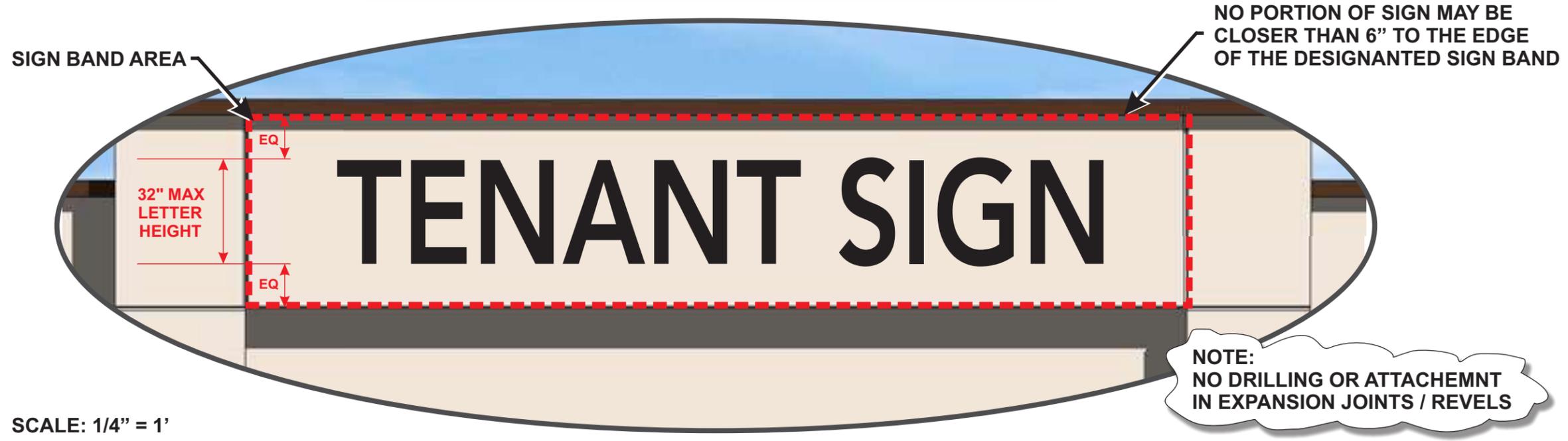
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## VICINITY MAP



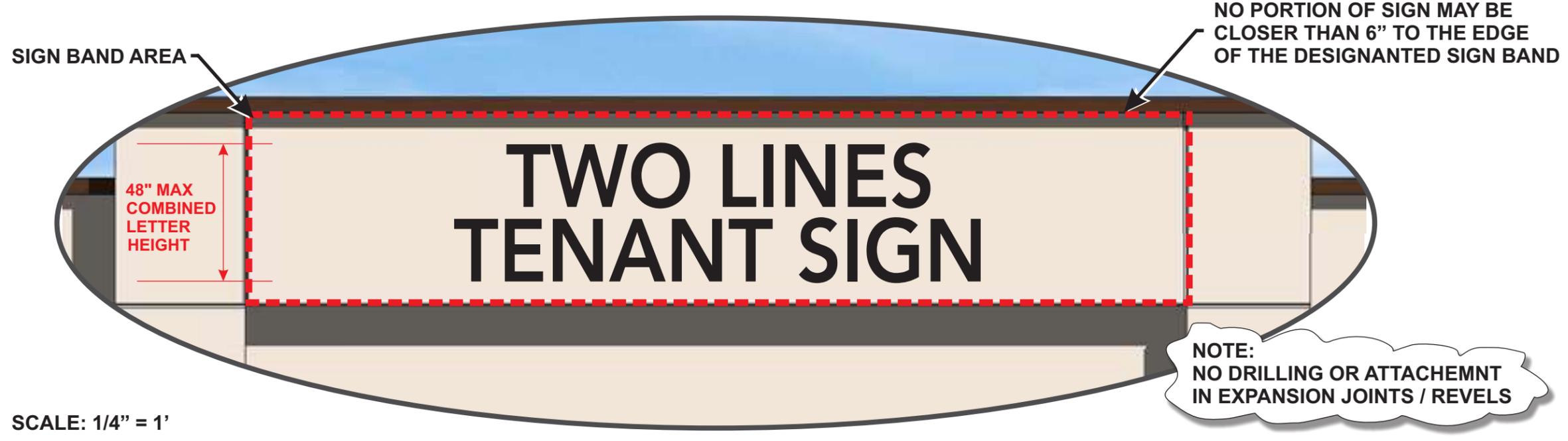
**LAKE ELSINORE  
 UNIFORM SIGN PROGRAM**  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.

**SINGLE-LINE TEXT LAYOUT**



SCALE: 1/4" = 1'

**DOUBLE-LINE TEXT LAYOUT**



SCALE: 1/4" = 1'

**GENERAL PROJECT DATA**

BUILDING DEPARTMENT: ..... CITY OF LAKE ELSINORE, CA  
 ZONING: ..... C2 (GENERAL COMMERCIAL)  
 LAND USE DESIGNATION: ..... RETAIL  
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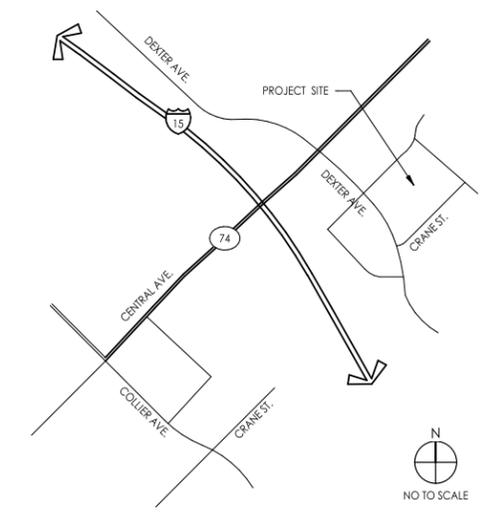
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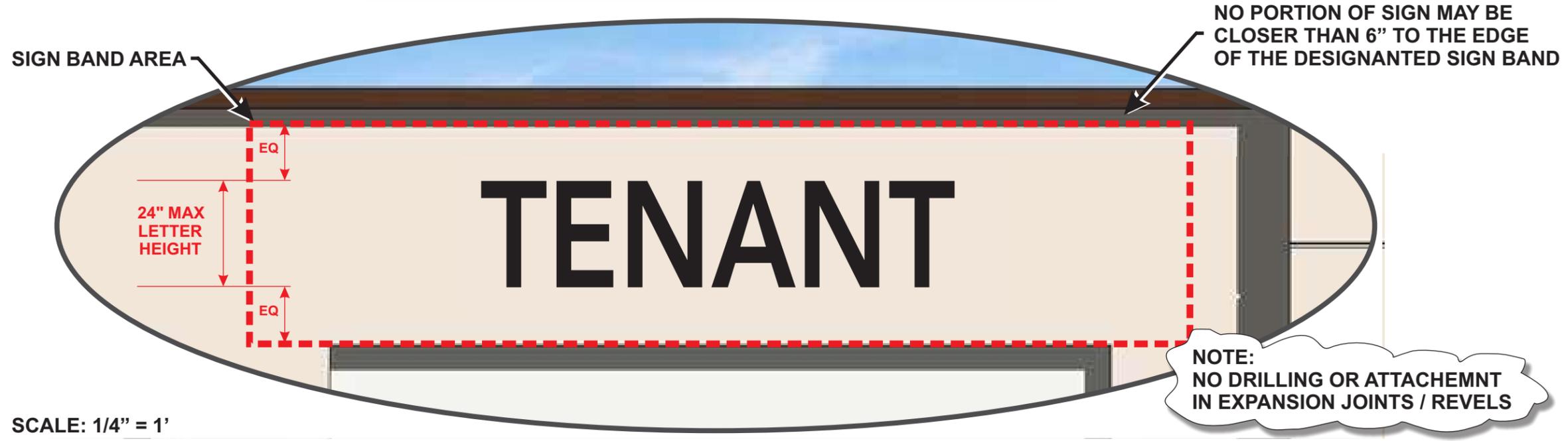
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**VICINITY MAP**



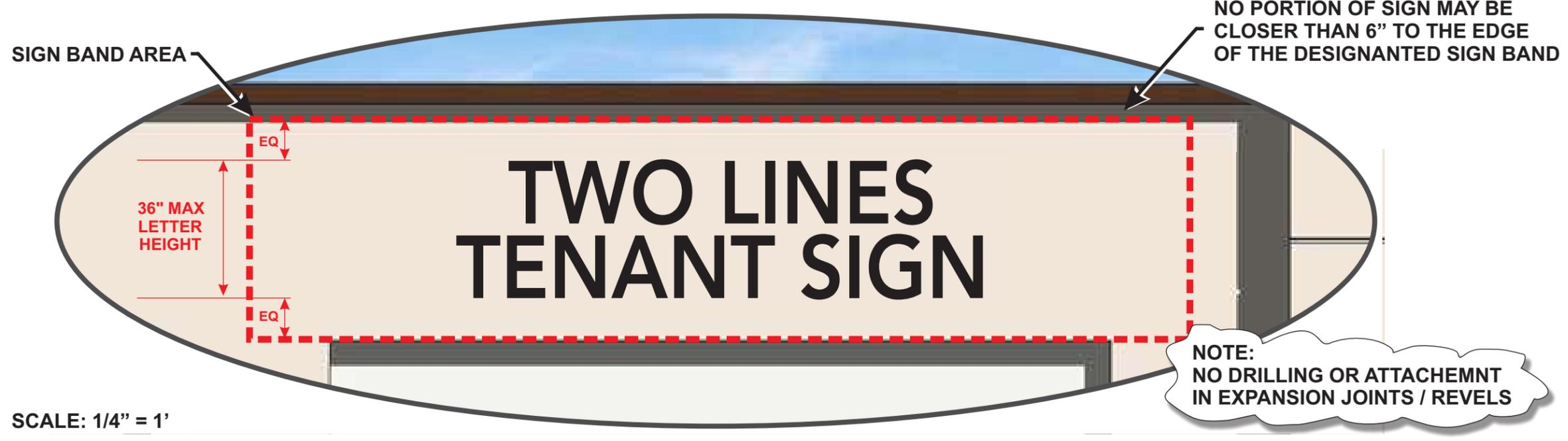
**LAKE ELSINORE  
 UNIFORM SIGN PROGRAM**  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.

**SINGLE-LINE TEXT LAYOUT**



SCALE: 1/4" = 1'

**DOUBLE-LINE TEXT LAYOUT**



SCALE: 1/4" = 1'

**GENERAL PROJECT DATA**

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 ZONING: ..... C2 (GENERAL COMMERCIAL)  
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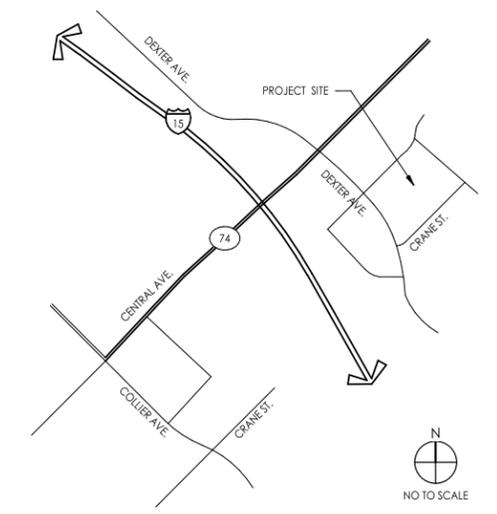
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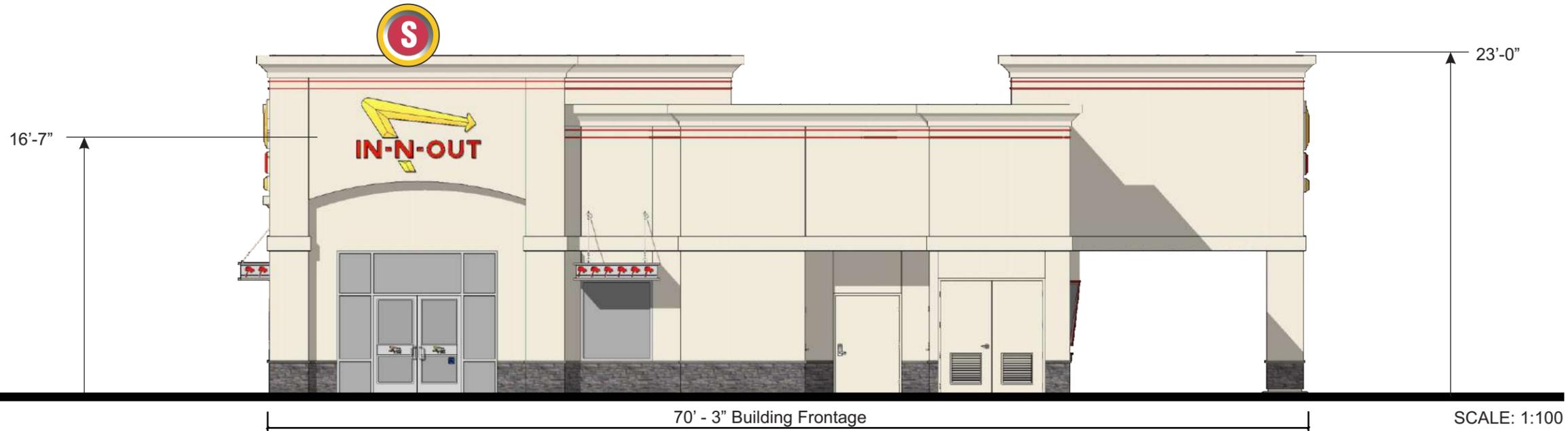
**VICINITY MAP**



**LAKE ELSINORE  
 UNIFORM SIGN PROGRAM**  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.

# ALLOWABLE SIGNAGE

One (1) Wall Sign allowed on this Elevation with MAX 70.25 Square Footage



# PAD Building - South & West Elevations

## GENERAL PROJECT DATA

BUILDING DEPARTMENT: \_\_\_\_\_ CITY OF LAKE ELSINORE, CA  
 ZONING: \_\_\_\_\_ C2 (GENERAL COMMERCIAL)  
 LAND USE DESIGNATION: \_\_\_\_\_ RETAIL  
 ASSESSOR'S PARCEL NO.: \_\_\_\_\_ 377-030-085 TO 377-030-092  
 OCCUPANCY CLASSIFICATION: \_\_\_\_\_ PER CBC CHAPTER 3 M

## OWNER

PACIFIC DEVELOPMENT GROUP II  
 ONE CORPORATE PLAZA ROBERT LEWIS  
 NEWPORT BEACH, CA 92660 PH: (949) 760-8591

## ARCHITECT

We Architects Group  
 26449 RANCHO PKWY S. SIA SHIRAZI  
 LAKE FOREST, CA 92630 PH: (714) 306-2333

## PREPARED BY

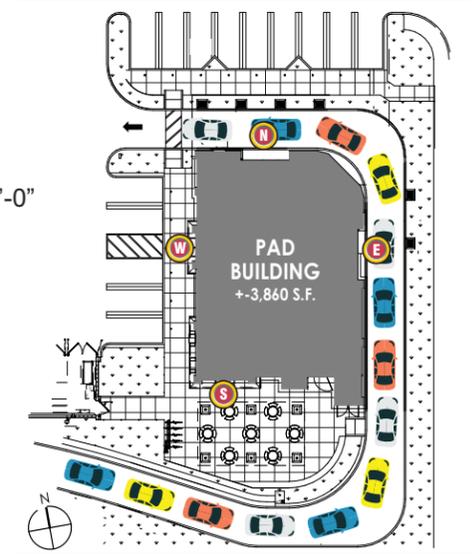
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 Chatsworth, CA 91311  
 T 818.787.0477  
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# ALLOWABLE SIGNAGE

One (1) Wall Sign allowed on this Elevation with MAX 99.08 Square Footage



## PAD BUILDING SITE PLAN



LAKE ELSINORE  
 UNIFORM SIGN PROGRAM  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.



# ALLOWABLE SIGNAGE

One (1) Wall Sign allowed on this Elevation  
with MAX 70.25 Square Footage

# PAD Building - North & East Elevations

## GENERAL PROJECT DATA

BUILDING DEPARTMENT: \_\_\_\_\_ CITY OF LAKE ELSINORE, CA  
 ZONING: \_\_\_\_\_ C2 (GENERAL COMMERCIAL)  
 LAND USE DESIGNATION: \_\_\_\_\_ RETAIL  
 ASSESSOR'S PARCEL NO.: \_\_\_\_\_ 377-030-085 TO 377-030-092  
 OCCUPANCY CLASSIFICATION: \_\_\_\_\_ PER CBC CHAPTER 3 M

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 ONE CORPORATE PLAZA ROBERT LEWIS  
 NEWPORT BEACH, CA 92660 PH: (949) 760-8591

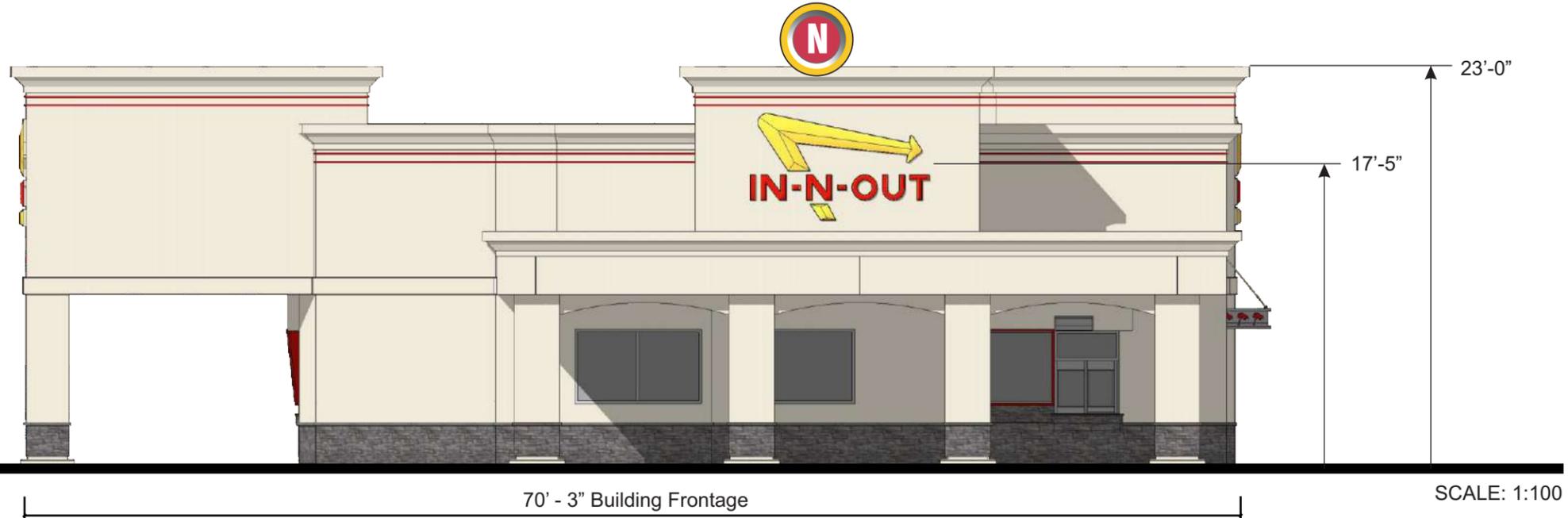
## ARCHITECT

We Architects Group  
 26449 RANCHO PKWY S. SIA SHIRAZI  
 LAKE FOREST, CA 92630 PH: (714) 306-2333

## PREPARED BY

VISIBLE GRAPHICS  
 A Full Service Sign Company

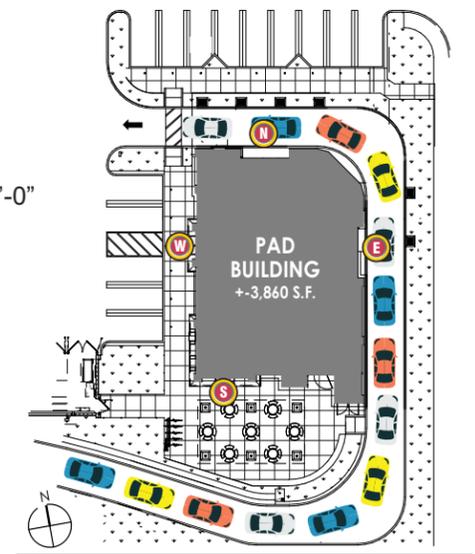
9736 Eton Ave  
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 www.visiblegraphics.com



# ALLOWABLE SIGNAGE

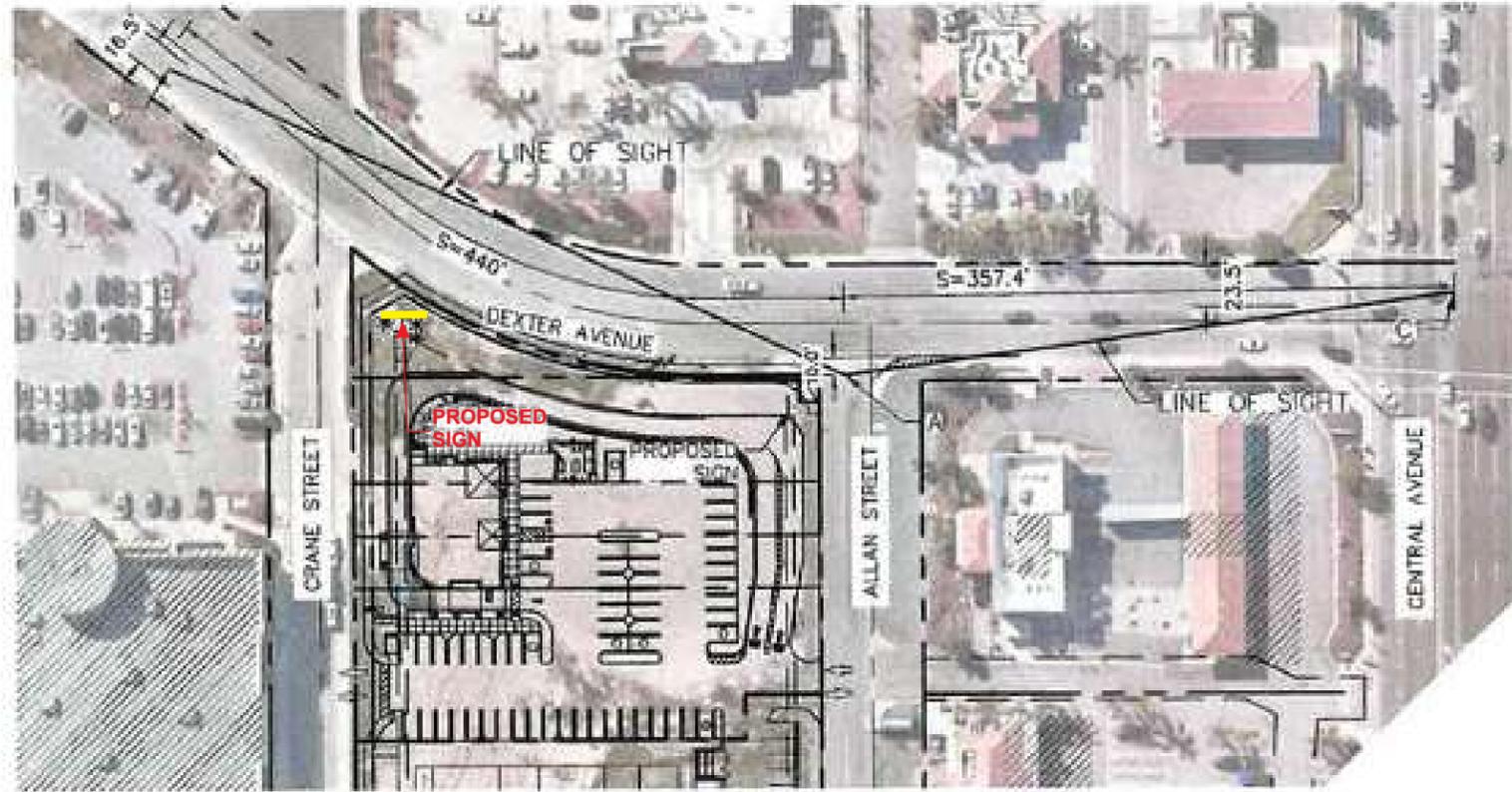
One (1) Wall Sign allowed on this Elevation  
with MAX 99.08 Square Footage

## PAD BUILDING SITE PLAN



LAKE ELSINORE  
 UNIFORM SIGN PROGRAM  
 DEXTER AVE & ALLAN ST,  
 LAKE ELSINORE, CA.



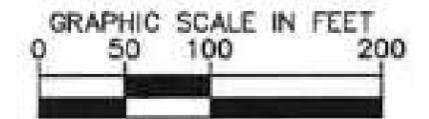


## LEGEND

	CENTER LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE

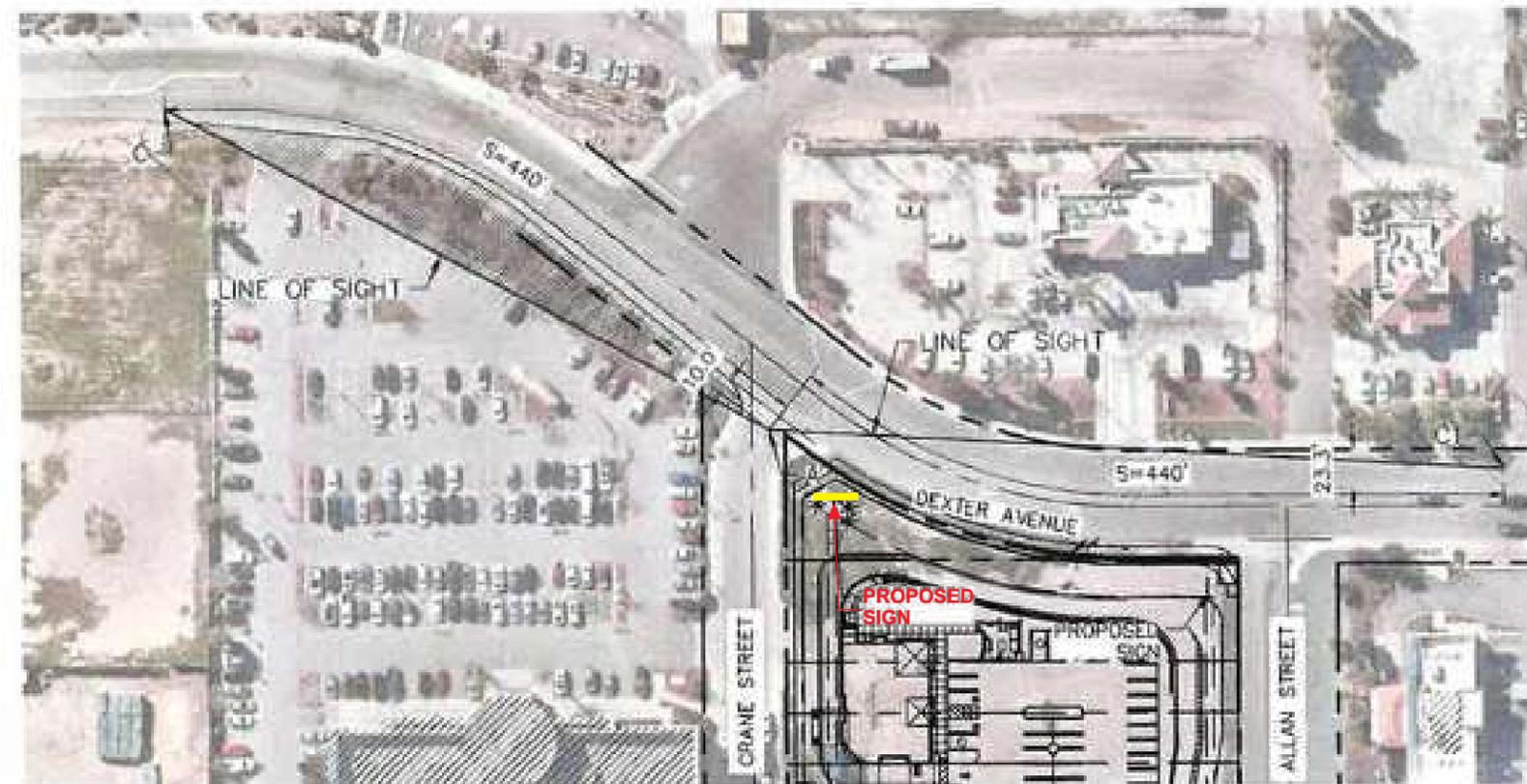
## NOTES

1. DEXTER AVE: COLLECTOR AFTER CENTRAL AVE.
- 1.A. SAFE STOPPING DISTANCE(S) ALONG CL= 440' PER LAKE ELSINORE STREET SECTIONS STD. 126
- 1.B. DESIGN SPEED: 35 MPH



### SCALE

1" = 100'  
WHEN PRINTED AT FULL SIZE  
(11"x17")



PACIFIC DEVELOPMENT GROUP II  
USP SIGHT DISTANCE EXHIBIT 04/20/2023

**Kimley»Horn**

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3601 UNIVERSITY AVE, SUITE 300, RIVERSIDE, CA 92501  
PHONE: (951) 543-9888



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**LAKE ELSINORE  
UNIFORM SIGN PROGRAM**  
DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.

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**LAKE ELSINORE  
UNIFORM SIGN PROGRAM**  
DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.



Zoom View with Visibility Impacts





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**LAKE ELSINORE  
UNIFORM SIGN PROGRAM**  
DEXTER AVE & ALLAN ST,  
LAKE ELSINORE, CA.

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## NOTICE OF PUBLIC HEARING

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on October 17, 2023, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

**Planning Application No. 2022-20 (PDG Lake Elsinore):** A request by Robert Lewis, Pacific Development Group II, requesting approval of Commercial Design Review (CDR No. 2022-10) to construct a one (1) story 10,241 sq. ft. commercial building, one (1) story 3,887 sq. ft. In-N-Out restaurant, and related site improvements including a two-lane drive-through with 32 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center. The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allen Street (APNs: 377-030-085, 377-030-086, 377-030-087, 377-030-088, 377-030-089, 377-030-090, 377-030-091, & 377-030-092).

The proposed project is exempt from California Environmental Quality Act (CEQA), pursuant to California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development).

**ALL INTERESTED PERSONS** are invited to submit written information, express opinions or otherwise submit written evidence by email to [dlongoria@Lake-Elsinore.org](mailto:dlongoria@Lake-Elsinore.org).

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124 ext. 297. All Agenda materials are available for review on the City's website at [www.lake-elsinore.org](http://www.lake-elsinore.org) the Friday before the Public Hearing.

**FURTHER INFORMATION** on this item may be obtained by contacting Carlos Serna, Associate Planner in the Planning Division at [cserna@lake-elsinore.org](mailto:cserna@lake-elsinore.org) or (951) 674-3124, ext. 916.

Damaris Abraham,  
Assistant Community Development Director

# THE PRESS-ENTERPRISE

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(951) 368-9229  
neller@scng.com

City of Lake Elsinore  
130 South Main Street  
Lake Elsinore, California 92530

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*Ad Order Number:* 0011627571  
*Customer's Reference/PO Number:*  
*Publication:* The Press-Enterprise  
*Publication Dates:* 10/07/2023  
*Total Amount:* \$352.65  
*Payment Amount:* \$0.00  
*Amount Due:* \$352.65  
*Notice ID:* bm8a66w5y2vao5Q8e3rk  
*Invoice Text:* [https://res.cloudinary.com/dgqq2xsfd/image/upload/enotice-production/exports/1696449434443/image001.jpg] NOTICE OF PUBLIC HEARING NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on October 17, 2023, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following: Planning Application No. 2022-20 (PDG Lake Elsinore): A request by Robert Lewis, Pacific Development Group II, requesting approval of Commercial Design Review (CDR No. 2022-10) to construct a one (1) story 10,241 sq. ft. commercial building, one (1) story 3,887 sq. ft. In-N-Out restaurant, and related site improvements including a two-lane drive-through with 32 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center . The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allen Street (APNs: 377-030-085,377-030-086, 377-030-087, 377-030-088, 377-030-089, 377-030-090, 377-030-091, & 377-030-092). The proposed project is exempt from California Environmental Quality Act (CEQA), pursuant to California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development). ALL



**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on October 17, 2023, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

**Planning Application No. 2022-20 (PDG Lake Elsinore):** A request by Robert Lewis, Pacific Development Group II, requesting approval of Commercial Design Review (CDR No. 2022-10) to construct a one (1) story 10,241 sq. ft. commercial building, one (1) story 3,887 sq. ft. In-N-Out restaurant, and related site improvements including a two-lane drive-through with 32 queuing spaces, 126 parking spaces and new landscaping. The project also includes a Conditional Use Permit (CUP No. 2022-07) to permit operation of the drive-through and Uniform Sign Program (SIGN No. 2023-05) to establish a uniform sign program that creates an integrated framework for all the signage within the center. The project site is located on an approximately 2.29-acre site within the General Commercial (C-2) District along Dexter Avenue between Crane Street and Allen Street (APNs: 377-030-085, 377-030-086, 377-030-087, 377-030-088, 377-030-089, 377-030-090, 377-030-091, & 377-030-092).

The proposed project is exempt from California Environmental Quality Act (CEQA), pursuant to California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (In-Fill Development).

**ALL INTERESTED PERSONS** are invited to submit written information, express opinions or otherwise submit written evidence by email to [dlongoria@Lake-Elsinore.org](mailto:dlongoria@Lake-Elsinore.org).

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124 ext. 297. All Agenda materials are available for review on the City's website at [www.lake-elsinore.org](http://www.lake-elsinore.org) the Friday before the Public Hearing.

**FURTHER INFORMATION** on this item may be obtained by contacting Carlos Serna, Associate Planner in the Planning Division at [cserna@lake-elsinore.org](mailto:cserna@lake-elsinore.org) or (951) 674-3124, ext. 916.

Damaris Abraham,  
Assistant Community Development Director  
The Press-Enterprise  
Published: 10/7/23

City of Lake Elsinore  
130 South Main Street  
Lake Elsinore, California 92530

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011627571

**FILE NO. 0011627571**

**PROOF OF PUBLICATION**

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

**10/07/2023**

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: October 7, 2023.  
At: Riverside, California

Signature



**Title Pro Information Systems**

13520 Scarsdale Way  
San Diego, CA 92128

Date Ordered	Invoice #
9/15/2023	9533

## Radius Report/Public Notice Package

Prepared For:
KIMLEY-HORN REYNA NAVARRO   ADMINISTRATIVE ASSISTANT 3801 UNIVERSITY AVE STE. 300 RIVERSIDE, CA 92501 Direct: 951 534-5400 Main: 951 543 9868

Project / PO / APN Number
377-030-086 thru -092

Quantity	Description
1	RADIUS REPORT, 300FT EXTD TO 700FT, CITY OF LAKE ELSINORE, CA APNs: 377-030-086 thru -092 RECORD OWNER: FOUTRIS DINO, 24570 AVIENDA DE MARCIA, YORBA LINDA, CA 92887 SITE: (VACANT) DEXTER AVE & CRANE ST, LAKE ELSINORE, CA 92530
1	EXTENDED RADIUS FROM 300FT TO 700FT TO OBTAIN MINIMUM NUMBER OF 30 PROPERTY OWNERS PER NOTICING REQUIREMENTS.
1	SPLICED RADIUS MAP SHOWING ALL PARCELS WITHIN SPECIFIED RADIUS ON ONE MAP

Phone #	E-mail	Web Site
760.295.3951	orders@titleprois.com	www.titleprois.com

## PACKAGE CONTENT LIST

This radius report package contains the following items and should not be removed by anyone but the Planning Department (with the exception of the Cover Sheet and Invoice):

1. One vacant property notice
2. One summary of Owners list
3. Owner list hard copy and two sets of labels
4. Signed certification(s)
5. One set of maps
6. Vicinity/Area map

*Removal of any item may delay your permit process.*

Thank You,

Title Pro Information Systems

**NOTE:** The following information is not always publicly accessible from the Assessor's tax rolls: renter name, apartment/office suite numbers, mobile home unit numbers, etc. If needed and not publicly available, this information may have to be provided by the client or client's representative.

## NOTICE

The labels that have no addresses on the Owners List may be unimproved/vacant property or a public agency and have no address to send the label.

## SUMMARY OF OWNERS

#	PARCEL NUMBER	OWNER NAME	SITE ADDRESS	CITY	STATE	ZIP	MAILING ADDRESS	CITY	STATE	ZIP	USE DESCRIPTION
1	377-020-014	EVERGREEN-CAMBERN & CENTRAL SOUTH LAND		LAKE ELSINORE	CA	92532	2390 E CAMELBACK RD STE 410	PHOENIX	AZ	85016	VACANT
2	377-020-028	CAMBERN & CENTRAL NORTH	18650 CAMBERN ST	LAKE ELSINORE	CA	92532	2390 E CAMELBACK RD STE 410	PHOENIX	AZ	85016	VACANT
3	377-030-056	KIM JUN Y	29280 CENTRAL AVE	LAKE ELSINORE	CA	92532	109 BRIDLE PATH	IRVINE	CA	92602	SHOPPING CENTERS
4	377-030-071	PALEROS BROTHERS HOLDING	18492 DEXTER AVE	LAKE ELSINORE	CA	92532	4885 GREEN CREST DR	YORBA LINDA	CA	92887	MISCELLANEOUS
5	377-030-073	CHEVRON USA INC	18451 DEXTER AVE	LAKE ELSINORE	CA	92532	P O BOX 1392	BAKERSFIELD	CA	93302	AUTOMOTIVE USES
6	377-030-075	J&S EATS	18461 DEXTER AVE	LAKE ELSINORE	CA	92532	18461 DEXTER AVE	LAKE ELSINORE	CA	92532	MISCELLANEOUS
7	377-030-085	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
8	377-030-086	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
9	377-030-087	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
10	377-030-088	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
11	377-030-089	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
12	377-030-090	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
13	377-030-091	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
14	377-030-092	FOUTRIS DINO		LAKE ELSINORE	CA	92532	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887	VACANT
15	377-030-093	CIRCLE K STORES INC	29300 CENTRAL AVE	LAKE ELSINORE	CA	92532	P O BOX 52085 DC17	PHOENIX	AZ	85072	AUTOMOTIVE USES
16	377-040-022	UNA LUNA BIANCA	18611 DEXTER AVE	LAKE ELSINORE	CA	92532	5074 SCHOLARSHIP	IRVINE	CA	92612	MISCELLANEOUS
17	377-040-023	CITY OF LAKE ELSINORE		LAKE ELSINORE	CA	92532	130 S MAIN ST	LAKE ELSINORE	CA	92530	
18	377-040-032	YESSMANN DAVID S TRUST DATED 4/29/2010	29263 CENTRAL AVE	LAKE ELSINORE	CA	92532	PO BOX 3218	TORRANCE	CA	90510	RETAIL SALES
19	377-040-034	INTEGRITY RESTAURANTS #2	29235 CENTRAL AVE	LAKE ELSINORE	CA	92532	11041 SANTA MONICA BLVD # 706	LOS ANGELES	CA	90025	MISCELLANEOUS
20	377-040-039	SEK LAKE ELSINORE	29285 CENTRAL AVE	LAKE ELSINORE	CA	92532	255 ORCHID CT	MONTEBELLO	CA	90640	MISCELLANEOUS
21	377-040-040	HENLEY PACIFIC SD	29295 CENTRAL AVE	LAKE ELSINORE	CA	92532	54 JACONNET ST STE 100	NEWTON HIGHLANDS	MA	2461	AUTOMOTIVE USES
22	377-040-041	JBX INV	29273 CENTRAL AVE	LAKE ELSINORE	CA	92532	PO BOX 235374	ENCINITAS	CA	92023	RETAIL SALES
23	377-040-048	SMBC PROP #2	29245 CENTRAL AVE	LAKE ELSINORE	CA	92532	2551 COMMER CENTER DR	LAKE FOREST	CA	92630	MISCELLANEOUS
24	377-040-049	CFT NV DEV	29255 CENTRAL AVE	LAKE ELSINORE	CA	92532	1120 N TOWN CENTER DR STE 150	LAS VEGAS	NV	89144	MISCELLANEOUS
25	377-040-050	LE PREMIER INV	29265 CENTRAL AVE	LAKE ELSINORE	CA	92532	PO BOX 60163	IRVINE	CA	92602	BANK
26	377-040-051	PEPPER LANE-COSMO	29275 CENTRAL AVE	LAKE ELSINORE	CA	92532	15729 LOS GATOS BLVD STE 200	LOS GATOS	CA	95032	MISCELLANEOUS
27	377-040-052	SAF OIL INC	29355 CENTRAL AVE	LAKE ELSINORE	CA	92532	29355 CENTRAL AVE	LAKE ELSINORE	CA	92532	AUTOMOTIVE USES
28	377-070-029	STATE OF CALIF		LAKE ELSINORE	CA	92532	464 W FOURTH ST 6TH FL	SAN BERNARDINO	CA	92401	
29	377-081-032	WAN SHUFANG	29615 3RD ST	LAKE ELSINORE	CA	92532	30375 DE PARTOLA RD	TEMECULA	CA	92592	RESID. MOBILE/MANUFACTURED HOMES
30	377-081-033	WAN SHUFANG		LAKE ELSINORE	CA	92532	30375 DE PARTOLA RD	TEMECULA	CA	92592	MISCELLANEOUS
31	377-081-034	CHICK FIL A INC	18601 DEXTER AVE	LAKE ELSINORE	CA	92532	5200 BUFFINGTON RD	ATLANTA	GA	30349	MISCELLANEOUS
32	377-090-008	AVA KARAS	29506 3RD ST	LAKE ELSINORE	CA	92532	4030 BIRCH ST STE 100	NEWPORT BEACH	CA	92660	VACANT
33	377-090-033	CHHABRA HARSH	29489 3RD ST	LAKE ELSINORE	CA	92532	3290 CARRIAGE HOUSE DR	CHINO HILLS	CA	91709	RESID. MOBILE/MANUFACTURED HOMES
34	377-090-034	LEAL PROPERTIES	29511 3RD ST	LAKE ELSINORE	CA	92532	300 MARANATHA DR	HOLLISTER	CA	95023	RESID. MOBILE/MANUFACTURED HOMES
35	377-090-035	H DOST	29440 3RD ST	LAKE ELSINORE	CA	92532	45029 PROMISE RD	LAKE ELSINORE	CA	92532	RESID. MOBILE/MANUFACTURED HOMES
36	377-090-036	H DOST		LAKE ELSINORE	CA	92532	45029 PROMISE RD	LAKE ELSINORE	CA	92532	VACANT
37	377-090-037	3RD & DEXTER		LAKE ELSINORE	CA	92532	2280 WARDLOW CIR	CORONA	CA	92878	RESIDENTIAL
38	377-090-042	HAMRA PROP	18550 DEXTER AVE	LAKE ELSINORE	CA	92532	5140 E LA PALMA AVE # 203	ANAHEIM	CA	92807	RECREATIONAL
39	377-090-052	WAL MART REAL ESTATE BUSINESS TRUST		LAKE ELSINORE	CA	92532	1301 SE 10TH ST	BENTONVILLE	AR	72716	COMMERCIAL
40	377-090-053	WAL MART REAL ESTATE BUSINESS TRUST		LAKE ELSINORE	CA	92532	1301 SE 10TH ST	BENTONVILLE	AR	72716	GROCERY STORE
41	377-090-054	COTTI FOODS CORPORATION	29230 CENTRAL AVE	LAKE ELSINORE	CA	92532	29801 SANTA MARGARITA PARKWAY	RANCHO SANTA MARG	CA	92688	MISCELLANEOUS
42	377-090-055	JJDAN		LAKE ELSINORE	CA	92532	6800 BISHOP RD	PLANO	TX	75024	COMMERCIAL
43	377-090-056	JJDAN	29250 CENTRAL AVE	LAKE ELSINORE	CA	92532	6800 BISHOP RD	PLANO	TX	75024	MISCELLANEOUS
44	377-090-057	AUTOZONE PARTS INC	29270 CENTRAL AVE	LAKE ELSINORE	CA	92532	123 S FRONT ST	MEMPHIS	TN	38103	RETAIL SALES
45	377-380-001	FRANCO MARTIN	18700 CAMBERN AVE	LAKE ELSINORE	CA	92532	18700 CAMBERN AVE	LAKE ELSINORE	CA	92532	RESID. MOBILE/MANUFACTURED HOMES

OWNER LIST

TWO SETS OF LABELS

PARCEL NUMBER	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP
377-020-014	EVERGREEN-CAMBERN & CENTRAL SOUTH LAND	2390 E CAMELBACK RD STE 410	PHOENIX	AZ	85016
377-020-028	CAMBERN & CENTRAL NORTH	2390 E CAMELBACK RD STE 410	PHOENIX	AZ	85016
377-030-056	KIM JUN Y	109 BRIDLE PATH	IRVINE	CA	92602
377-030-071	PALEROS BROTHERS HOLDING	4885 GREEN CREST DR	YORBA LINDA	CA	92887
377-030-073	CHEVRON USA INC	P O BOX 1392	BAKERSFIELD	CA	93302
377-030-075	J&S EATS	18461 DEXTER AVE	LAKE ELSINORE	CA	92532
377-030-085 THRU 092	FOUTRIS DINO	24570 AVENIDA DE MARCIA	YORBA LINDA	CA	92887
377-030-093	CIRCLE K STORES INC	P O BOX 52085 DC17	PHOENIX	AZ	85072
377-040-022	UNA LUNA BIANCA	5074 SCHOLARSHIP	IRVINE	CA	92612
377-040-023	CITY OF LAKE ELSINORE	130 S MAIN ST	LAKE ELSINORE	CA	92530
377-040-032	YESSMANN DAVID S TRUST DATED 4/29/2010	PO BOX 3218	TORRANCE	CA	90510
377-040-034	INTEGRITY RESTAURANTS #2	11041 SANTA MONICA BLVD # 706	LOS ANGELES	CA	90025
377-040-039	SEK LAKE ELSINORE	255 ORCHID CT	MONTEBELLO	CA	90640
377-040-040	HENLEY PACIFIC SD	54 JACONNET ST STE 100	NEWTON HIGHLANDS	MA	02461
377-040-041	JBX INV	PO BOX 235374	ENCINITAS	CA	92023
377-040-048	SMBC PROP #2	2551 COMMER CENTER DR	LAKE FOREST	CA	92630
377-040-049	CFT NV DEV	1120 N TOWN CENTER DR STE 150	LAS VEGAS	NV	89144
377-040-050	LE PREMIER INV	PO BOX 60163	IRVINE	CA	92602
377-040-051	PEPPER LANE-COSMO	15729 LOS GATOS BLVD STE 200	LOS GATOS	CA	95032
377-040-052	SAF OIL INC	29355 CENTRAL AVE	LAKE ELSINORE	CA	92532
377-070-029	STATE OF CALIF	464 W FOURTH ST 6TH FL	SAN BERNARDINO	CA	92401
377-081-032 & 033	WAN SHUFANG	30375 DE PARTOLA RD	TEMECULA	CA	92592
377-081-034	CHICK FIL A INC	5200 BUFFINGTON RD	ATLANTA	GA	30349
377-090-008	AVA KARAS	4030 BIRCH ST STE 100	NEWPORT BEACH	CA	92660
377-090-033	CHHABRA HARSH	3290 CARRIAGE HOUSE DR	CHINO HILLS	CA	91709
377-090-034	LEAL PROPERTIES	300 MARANATHA DR	HOLLISTER	CA	95023
377-090-035	H DOST	45029 PROMISE RD	LAKE ELSINORE	CA	92532
377-090-036	H DOST	45029 PROMISE RD	LAKE ELSINORE	CA	92532
377-090-037	3RD & DEXTER	2280 WARDLOW CIR	CORONA	CA	92878
377-090-042	HAMRA PROP	5140 E LA PALMA AVE # 203	ANAHEIM	CA	92807
377-090-052 & 053	WAL MART REAL ESTATE BUSINESS TRUST	1301 SE 10TH ST	BENTONVILLE	AR	72716
377-090-054	COTTI FOODS CORPORATION	29801 SANTA MARGARITA PARKWAY	RANCHO SANTA MARG	CA	92688
377-090-055 & 056	JJDAN	6800 BISHOP RD	PLANO	TX	75024
377-090-057	AUTOZONE PARTS INC	123 S FRONT ST	MEMPHIS	TN	38103
377-380-001	FRANCO MARTIN	18700 CAMBERN AVE	LAKE ELSINORE	CA	92532

377-020-014  
EVERGREEN-CAMBERN & CENTRAL  
SOUTH LAND  
2390 E CAMELBACK RD STE 410  
PHOENIX, AZ 85016

377-020-028  
CAMBERN & CENTRAL NORTH  
2390 E CAMELBACK RD STE 410  
PHOENIX, AZ 85016

377-030-056  
KIM JUN Y  
109 BRIDLE PATH  
IRVINE, CA 92602

377-030-071  
PALEROS BROTHERS HOLDING  
4885 GREEN CREST DR  
YORBA LINDA, CA 92887

377-030-073  
CHEVRON USA INC  
P O BOX 1392  
BAKERSFIELD, CA 93302

377-030-075  
J&S EATS  
18461 DEXTER AVE  
LAKE ELSINORE, CA 92532

377-030-085 THRU 092  
FOUTRIS DINO  
24570 AVENIDA DE MARCIA  
YORBA LINDA, CA 92887

377-030-093  
CIRCLE K STORES INC  
P O BOX 52085 DC17  
PHOENIX, AZ 85072

377-040-022  
UNA LUNA BIANCA  
5074 SCHOLARSHIP  
IRVINE, CA 92612

377-040-023  
CITY OF LAKE ELSINORE  
130 S MAIN ST  
LAKE ELSINORE, CA 92530

377-040-032  
YESSMANN DAVID S TRUST  
DATED 4/29/2010  
PO BOX 3218  
TORRANCE, CA 90510

377-040-034  
INTEGRITY RESTAURANTS #2  
11041 SANTA MONICA BLVD # 706  
LOS ANGELES, CA 90025

377-040-039  
SEK LAKE ELSINORE  
255 ORCHID CT  
MONTEBELLO, CA 90640

377-040-040  
HENLEY PACIFIC SD  
54 JACONNET ST STE 100  
NEWTON HIGHLANDS, MA 02461

377-040-041  
JBX INV  
PO BOX 235374  
ENCINITAS, CA 92023

377-040-048  
SMBC PROP #2  
2551 COMMERCIAL CENTER DR  
LAKE FOREST, CA 92630

377-040-049  
CFT NV DEV  
1120 N TOWN CENTER DR STE 150  
LAS VEGAS, NV 89144

377-040-050  
LE PREMIER INV  
PO BOX 60163  
IRVINE, CA 92602

377-040-051  
PEPPER LANE-COSMO  
15729 LOS GATOS BLVD STE 200  
LOS GATOS, CA 95032

377-040-052  
SAF OIL INC  
29355 CENTRAL AVE  
LAKE ELSINORE, CA 92532

377-070-029  
STATE OF CALIF  
464 W FOURTH ST 6TH FL  
SAN BERNARDINO, CA 92401

377-081-032 & 033  
WAN SHUFANG  
30375 DE PARTOLA RD  
TEMECULA, CA 92592

377-081-034  
CHICK FIL A INC  
5200 BUFFINGTON RD  
ATLANTA, GA 30349

377-090-008  
AVA KARAS  
4030 BIRCH ST STE 100  
NEWPORT BEACH, CA 92660

377-090-033  
CHHABRA HARSH  
3290 CARRIAGE HOUSE DR  
CHINO HILLS, CA 91709

377-090-034  
LEAL PROPERTIES  
300 MARANATHA DR  
HOLLISTER, CA 95023

377-090-035  
H DOST  
45029 PROMISE RD  
LAKE ELSINORE, CA 92532

377-090-036  
H DOST  
45029 PROMISE RD  
LAKE ELSINORE, CA 92532

377-090-037  
3RD & DEXTER  
2280 WARDLOW CIR  
CORONA, CA 92878

377-090-042  
HAMRA PROP  
5140 E LA PALMA AVE # 203  
ANAHEIM, CA 92807

377-090-052 & 053  
WAL MART REAL ESTATE BUSINESS  
TRUST  
1301 SE 10TH ST  
BENTONVILLE, AR 72716

377-090-054  
COTTI FOODS CORPORATION  
29801 SANTA MARGARITA PARKWAY  
RANCHO SANTA MARG, CA 92688

377-090-055 & 056  
JJDAN  
6800 BISHOP RD  
PLANO, TX 75024

377-090-057  
AUTOZONE PARTS INC  
123 S FRONT ST  
MEMPHIS, TN 38103

377-380-001  
FRANCO MARTIN  
18700 CAMBERN AVE  
LAKE ELSINORE, CA 92532

- 35 PRINTED -  
\* DUPLICATE OWNERS COMBINED  
INTO A SINGLE LABEL

KIMLEY-HORN  
REYNA NAVARRO |  
ADMINISTRATIVE ASSISTANT  
3801 UNIVERSITY AVE STE. 300  
RIVERSIDE, CA 92501



AFFIDAVIT OF NOTIFICATION LIST

Application No. \_\_\_\_\_

Applicant Name \_\_\_\_\_

Project Name/Location \_\_\_\_\_

I certify that on 19TH day of SEPTEMBER, 2023, we prepared a notification list and a radius map, including properties entirely and partially within 700 feet of the most exterior boundaries of the property being considered in the above referenced project known as (Property Address) (VACANT) DEXTER AVE & CRANE ST, LAKE ELSINORE, CA 92530. The property owner names and addresses listed on the notification list, provided in an excel spreadsheet on a CD or external hard drive, were taken from the latest records of the Riverside County Assessor. Such names are recorded in the records of the Riverside County Assessor as being the present owner or owners of both the subject property and the property/properties within the required mailing radius of the subject property.

*Alpha E. [Signature]*

09/19/2023

Applicant/Representative Signature

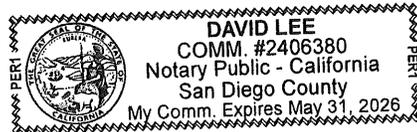
Date

This instrument was acknowledged before me on this 19 day of September, 2023, by

In witness whereof I hereunto set my hand and official seal.

*David [Signature]*

Notary Public



My Commission expires on: 05/31/2026

Pursuant to Government Code Sections 65090-65096 notification lists shall be from the most recent Assessor Tax rolls. In order for the application to be deemed complete please return the completed, notarized affidavit to the assigned case planner at your earliest convenience.

ONE SET OF MAPS

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

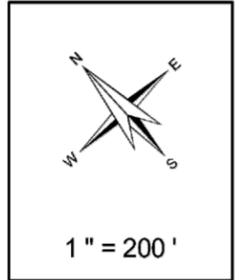
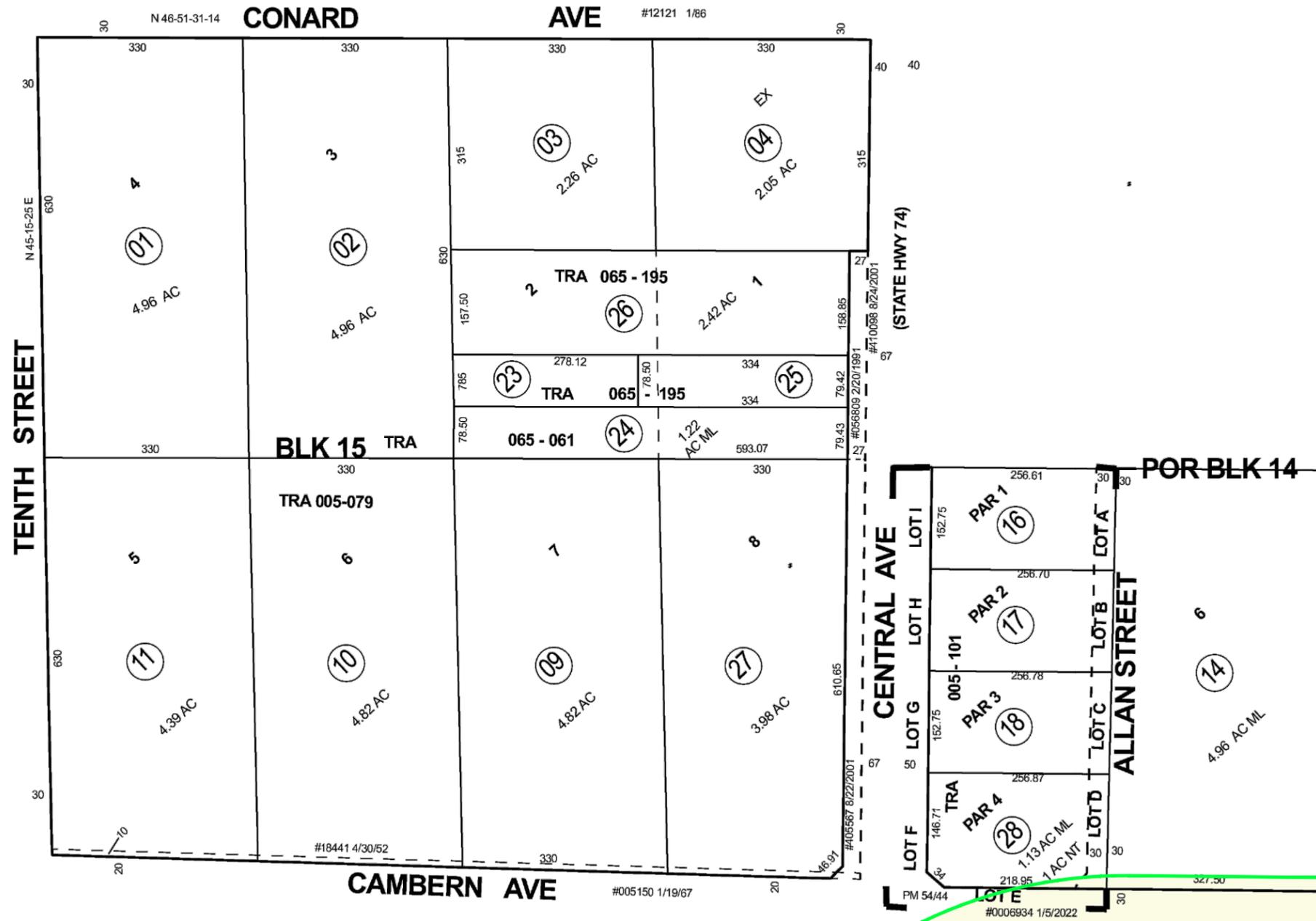
SE 1/4 OF SEC. 30 & NE 1/4 OF SEC. 31 T.5S, R.4W

CITY OF LAKE ELSINORE

TRA 005-079  
005-101  
065-061  
065-195

377-02

18-21-1

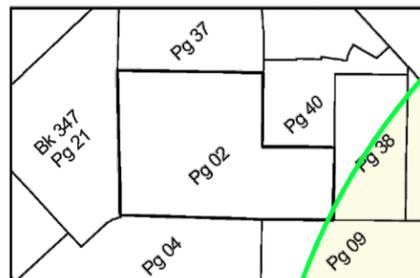


**Legend**

- Lot Lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W
- ..... Other Easements
- ..... Lease Area
- Subdivision Tic Mark



**Data**  
MB 57/9-10  
LLA 3335  
RS 92/53



**Map Reference**  
MB 5/105 NORTH ELSINORE TRACT  
PM 54/44 PARCEL MAP NO 11504

Date	Old Number	New Number
9/1/1978	17	16-19
3/1/1980	12, 13	373-10
7/1/1991	6	20, ST
7/2/1991	7	21, ST
7/3/1991	20	22, 23
12/1/2001	21	24, ST
12/1/2001	22	25, ST
12/1/2001	5	26, ST
5/5/2009	8	27, ST
10/20/2022	19	28, ST

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E 1/2 OF SEC. 31, T. 5S., R. 4W.

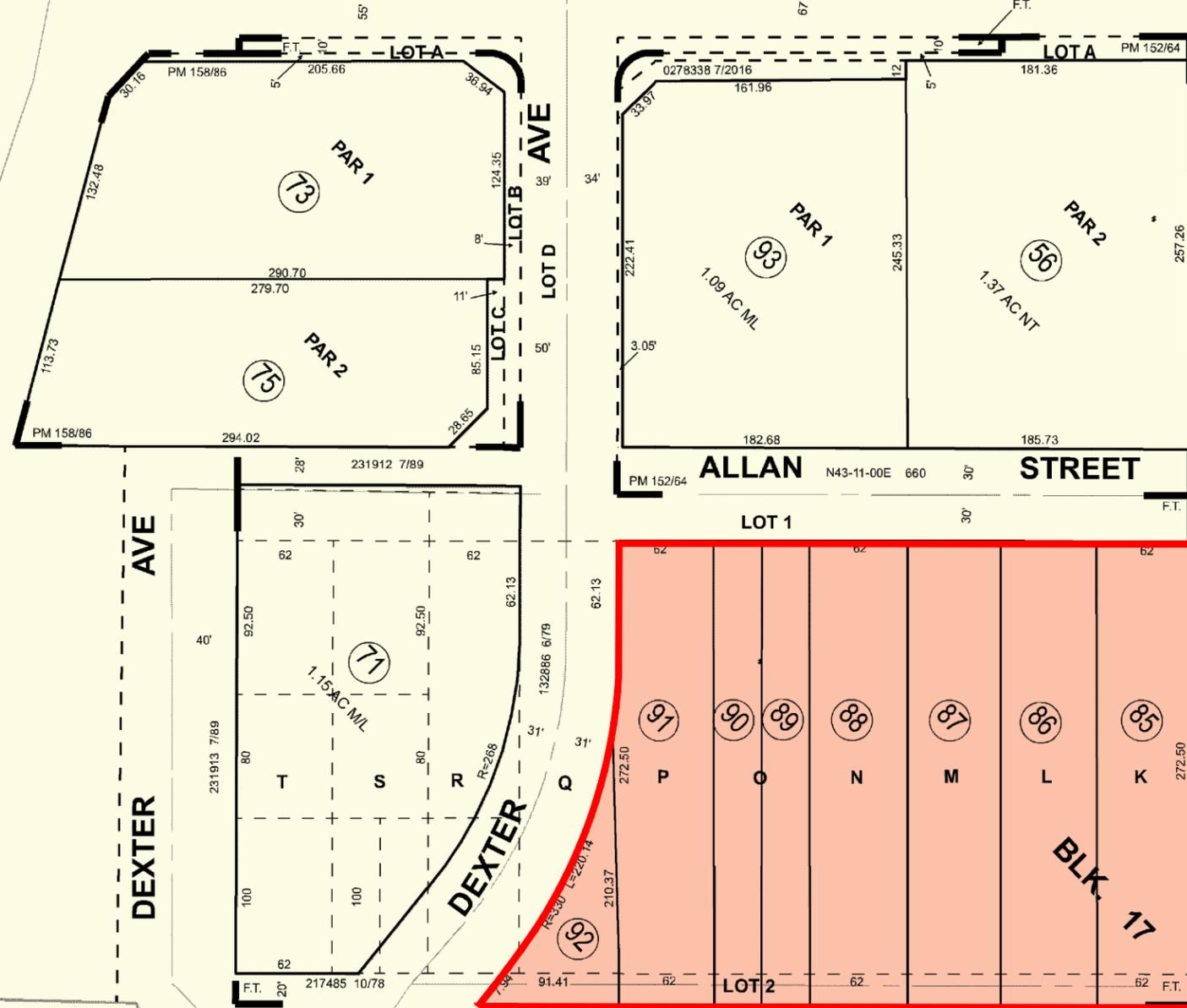
TRA 005-023

377-03

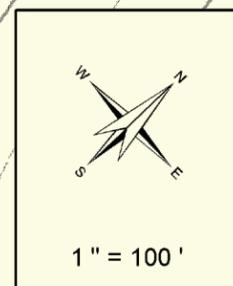
CITY OF LAKE ELSINORE

18-21

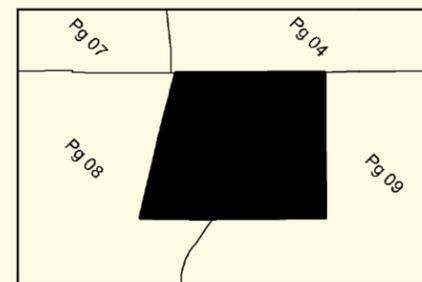
CENTRAL AVE.



Date	Old Number	New Number
4/1/1977	6	30,ST
5/1/1977	2	31,ST
6/1/1977	1	32,ST
7/1/1977	24	33,34
7/1/1977	33	35,36
7/1/1977	35	37,38
2/1/1978	27,38	39
2/1/1978	25,26,36	40
10/1/1978	34	41,ST
12/1/1978	37	42,43
1/1/1979	03	44,ST
1/1/1979	5	45,ST
1/1/1979	7	46,ST
3/1/1979	41,43	47
7/1/1979	23,42	48
7/1/1979	48	49-51
1/1/1980	40	52
1/1/1980	39	53
1/1/1980	47	54
1/1/1980	28	55
3/1/1981	4,50	ST
11/1/1988	10-13	56
11/1/1988	45,46	57
11/1/1988	8,9,30	57
2/1/1989	32	58
2/1/1989	44	59
2/1/1989	29	60
2/1/1989	52	61
2/1/1989	49	62
2/1/1989	53	63
2/1/1989	55	64
2/1/1989	59	65,ST
2/1/1989	60	66
2/1/1989	58	67,ST
2/1/1989	61	68,ST
2/1/1989	63	69,ST
9/1/1989	64	70,ST
9/1/1989	54,62,68-70	71
10/1/1989	31,65-67,PG.8	72
10/1/1989	72	73,74
5/1/1996	74	75,ST
2/1/2003	14	76,ST
12/13/2007	AddAsmnt	77-84
12/13/2007	16,77	85
12/13/2007	17,78	86
12/13/2007	18,79	87
12/13/2007	19,80	88
12/13/2007	20,81	89
12/13/2007	21,82	90
12/13/2007	22,83	91
12/13/2007	51,84	92
11/18/2016	57	93,ST
9/6/2021	15,76	090-43
9/6/2021	090-09	090-43



Legend	
	Lot Lines
	Right-Of-Way
	Old Lot Lines
	Reference R.O.W
	Other Easements
	Lease Area
	Subdivision Tie Mark



**Map Reference**  
 MB 14/9 FALLEE TRACT  
 PM 152/64 - 65 PARCEL MAP NO. 22930  
 PM 158/86 - 87 PARCEL MAP NO. 24099

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

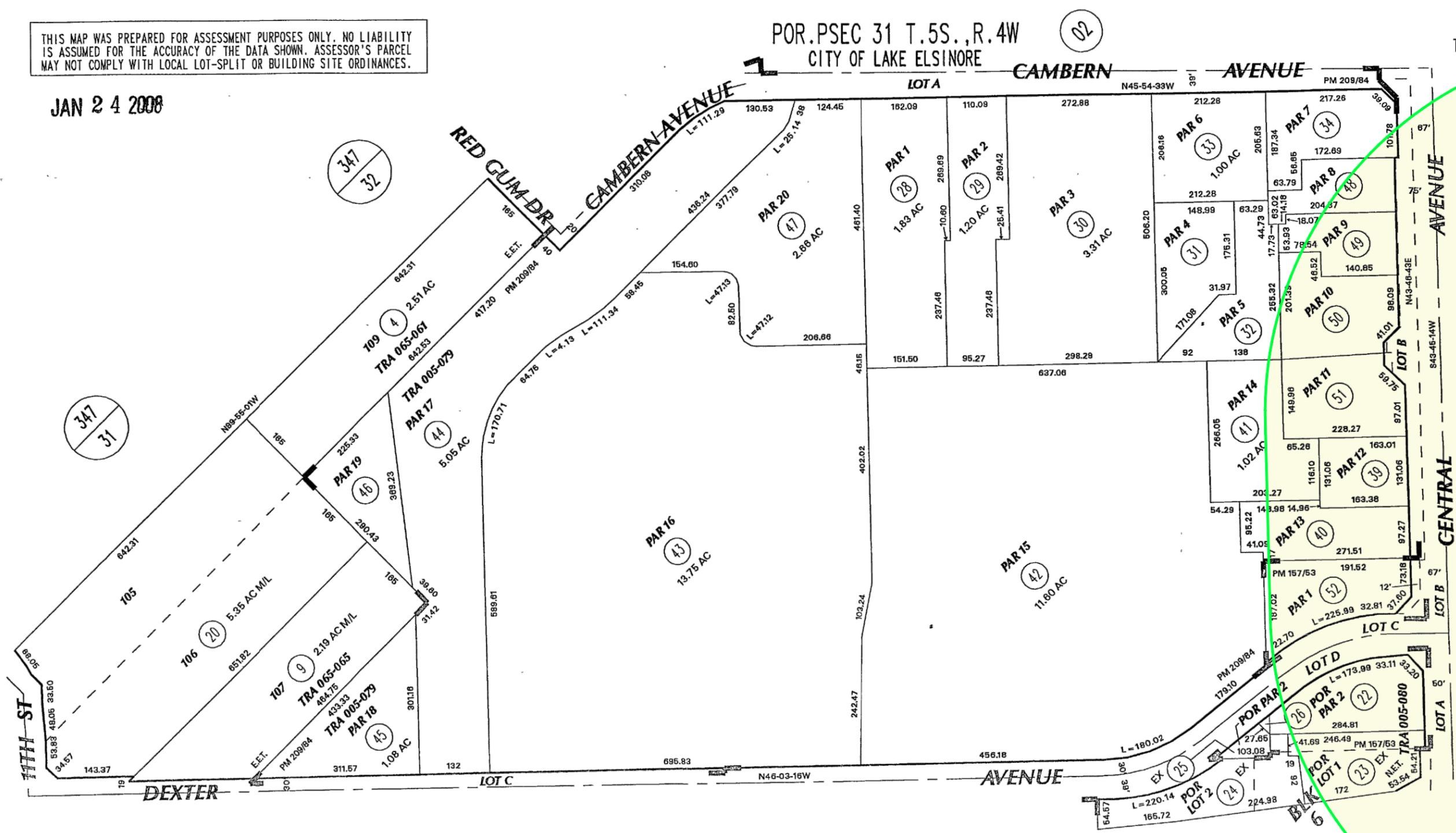
JAN 24 2008

POR.PSEC 31 T.5S.,R.4W  
CITY OF LAKE ELSINORE

02

377-04

T.R.A. 005-079 18-19  
005-080 18-21  
065-061  
065-065



03

05

06

07

DATA: MB 57/9

*JOP*

MB 5/105 NORTH ELSINORE TRACT  
MB 6/75 ELSINORE EUCALYPTUS TRACT  
PM 157/53-54 PARCEL MAP NO 22939  
PM 209/84-88 PARCEL MAP NO 32369

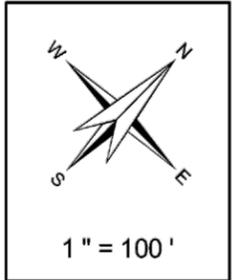
DATE	OLD NUMBER	NEW NUMBER
08/77	1	9, ST
08/77	2	10, ST
11/77	6	11, 12, ST
01/78	5	13, ST
11/79	ST	14
02/85	7, 8	ST
10/89	11, 12	15
10/89	14	16
10/89	15	17, 18
04/92	3, 10	19
05/92	19	20, ST
05/92	18, 070-30	21
05/92	21	22-24
10/96	16	25, 26
12/01	13	27, ST
12/04	27	28-47
08/06	35	48, ST
08/06	36	49, ST
08/06	37	50, ST
08/06	38	51, ST
12/07	17	52, ST

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SEC. 31 T.5S., R.4W  
CITY OF LAKE ELSINORE

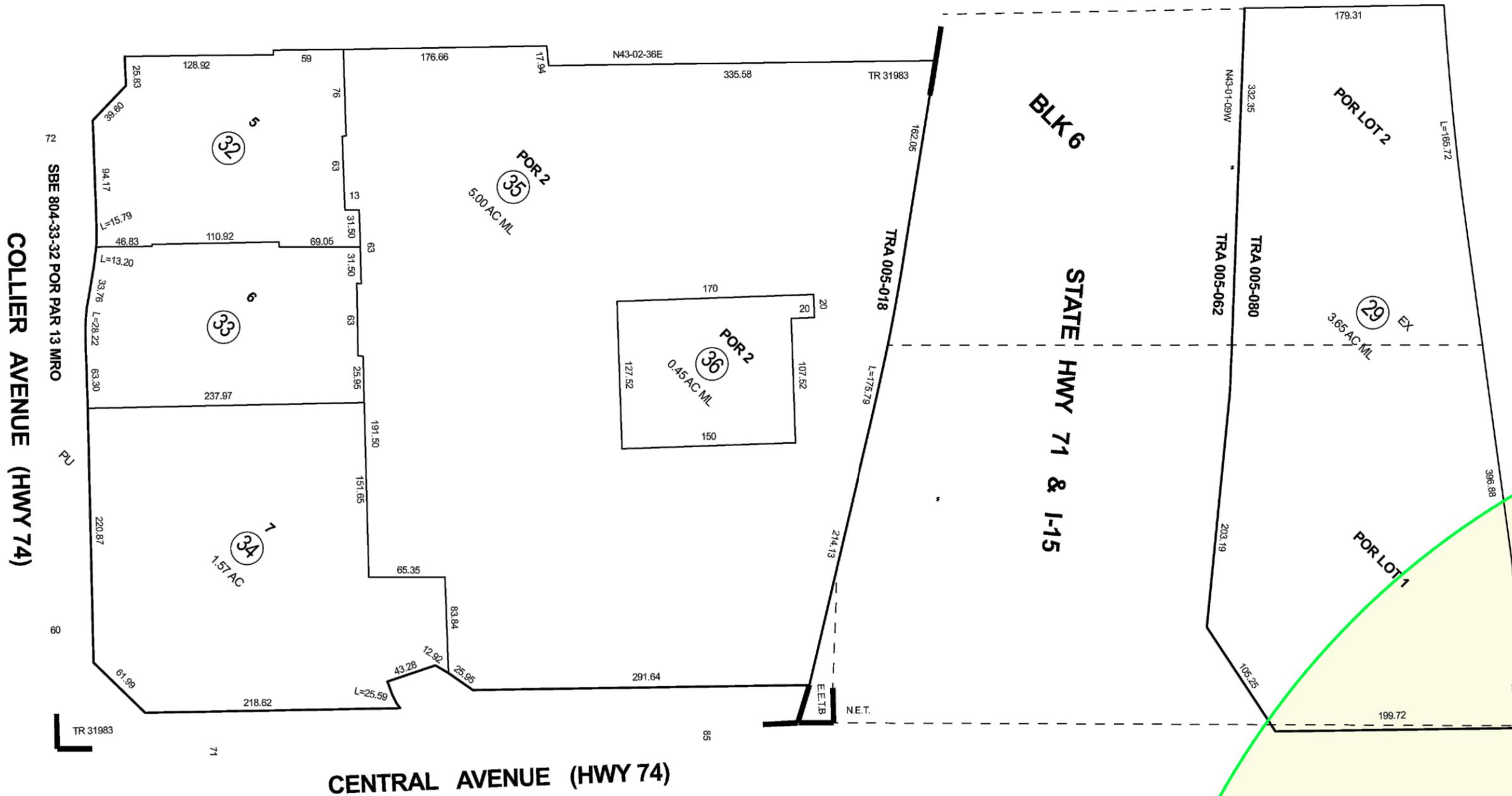
TRA 005-018  
005-062  
005-080

377-07  
18-19  
18-21



**Legend**

- Lot Lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W
- - - Other Easements
- ..... Lease Area
- Subdivision Tie Mark

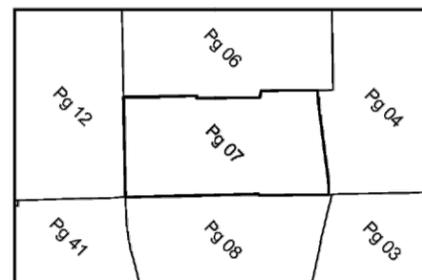


COLLIER AVENUE (HWY 74)

CENTRAL AVENUE (HWY 74)

BLK 6

STATE HWY 71 & I-15



**Map Reference \***  
MB 5/105 NORTH ELSINORE TRACT  
MB 8/31 ELSINORE EUCALYPTUS TRACT B  
MB 380/6 - 7 TRACT NO. 31983

Date	Old Number	New Number
12/1/1974	1	20
12/1/1974	2	21
12/1/1974	3	22
12/1/1974	18	23
12/1/1974	917	24
5/1/1978	13	25, ST.
6/1/1978	14	26, ST.
6/1/1978	15	27, ST.
4/1/1986	ADD_ASMNT	28
2/1/1991	16	29, 30
5/1/1992	30	040-21
3/10/2006	4-8, 11, 12	060-13
3/10/2006	19-27, PG.6	060-13
3/10/2006	060-13	PG.6, 31-34
4/16/2015	31	35, 36

Data \*  
HWY MAP 711-B  
RS 44/33



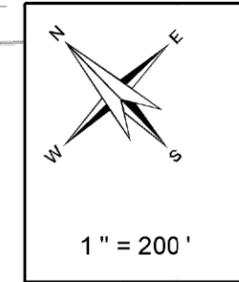
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

SEC. 31 T.5S, R.4W  
CITY OF LAKE ELSINORE

TRA 005-018  
005-058

377-08  
18-21

ALL BLKS 081



**Legend**

- Lot Lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W
- - - Other Easements
- • • Lease Area
- Subdivision Tic Mark

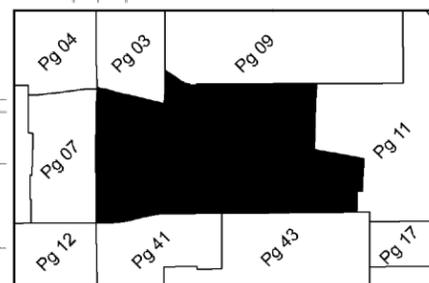
Date *	Old Number *	New Number *
12/1/1977	17	29,30
2/1/1978	09-13	31-33
2/1/1978	12	34
4/1/1978	39	35-38
4/1/1978	04,05	39
5/1/1978	16	40,ST
5/1/1978	37	41,42
5/1/1978	42,38	43
5/1/1978	43	ST
5/1/1978	30	ST
10/1/1978	03	44, T-ST
12/1/1978	40	45-47
12/1/1978	29	48-51
12/1/1979	06	52,ST
12/1/1979	07	53,ST
12/1/1979	18	54,ST
2/1/1979	915	55
5/1/1979	02	56,T-ST
9/1/1980	08	57,ST
8/1/1982	54	PG,11
12/1/1983	35	58,ST
12/1/1983	36	59,ST
12/1/1983	41	60,ST
12/1/1983	45	61,ST
12/1/1983	46	62,ST
12/1/1983	47	63,ST
4/1/1983	1	ST
6/1/1985	55	64,ST
12/1/1985	64	65-68
4/1/1986	ADD ASMT	69
4/1/1986	ADD ASMT	70
5/1/1986	65,66,68	150-8
5/1/1986	70	71,150-7
6/1/1989	19	72
9/1/1989	ST	73
10/1/1989	73,PG,03	030-72
11/1/1990	72	74-75
2/1/1991	44,56,58	76-78
3/1/1994	52	79,80
10/1/2002	67,69,71	PG,15
12/2/2008	76	81,82
12/23/2008	77,81	83
5/5/2009	83	84,ST
11/19/2013	ADD ASMT	85
11/17/2016	59,79,82	86
10/30/2018	ADD ASMT	87,88,89

Date *	Old Number *	New Number *	Date *	Old Number *	New Number *
4/26/2019	74	081-24	4/26/2019	53	081-11
4/26/2019	50	081-25	4/26/2019	79	081-12
4/26/2019	49	081-26	4/26/2019	80	081-13
4/26/2019	48	081-27	4/26/2019	85	081-14
4/26/2019	51	081-28	4/26/2019	25	081-15
4/26/2019	61	081-29	4/26/2019	24	081-16
4/26/2019	62	081-30	4/26/2019	26	081-17
4/26/2019	63	081-31	4/26/2019	28	081-18
4/26/2019	60	081-32	4/26/2019	23	081-19
4/26/2019	86	081-33	4/26/2019	22	081-20
4/26/2019	84	081-34	4/26/2019	21	081-21
10/8/2019	10-12	081-35	4/26/2019	20	081-22
			4/26/2019	75	081-23

**Map Reference \***

- PM 39/5 PARCEL MAP NO. 9211
- MB 13/620 S.D. WALLS 1ST ADD.
- MB 5/105 NORTH ELSINORE TRACT
- RS 42/61
- PM 48/43 PARCEL MAP NO. 9686
- PM 49/20 PARCEL MAP NO. 9687
- PM 245/52 - 57 PARCEL MAP NO. 37284
- RS 91/29 - 36
- PM 165/65 - 66 PARCEL MAP NO. 24465
- PM 247/45 - 47 PARCEL MAP NO. 37534

**Data \***  
RS 85/48  
HWY MAP 711 B  
PM 33/5; MB 10/459 SD  
LLA 89-2



Mamta Sahi

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E 1/2 OF SEC. 31, T. 5S., R. 4W.

CITY OF LAKE ELSINORE

TRA 005-023  
005-034  
005-101

377-09

18-21

CENTRAL AVENUE

CAMBRENT AVE.

BLK. 17

LAKE ELSINORE

BLK. 11

ST.

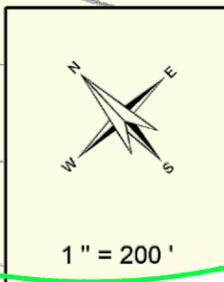
SECOND

DEXTER AVE.



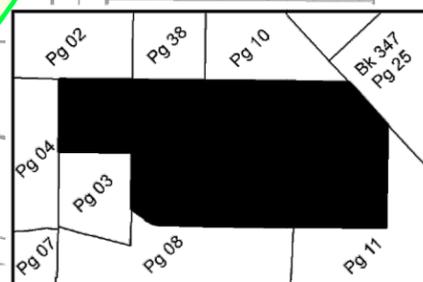
ASSESSOR'S MAP BK377 PG. 09  
Riverside County, Calif.

AJohnson



**Legend**

- Lot Lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W
- - - Other Easements
- ..... Lease Area
- Subdivision Tic Mark



**Map Reference**  
 MB 5/105 NORTH ELSINORE TRACT  
 PM 32/89 PARCEL MAP 8434  
 PM 34/84 PARCEL MAP 8914  
 PM 35/26 PARCEL MAP 8915

Apr 2022

Date	Old Number	New Number	Date	Old Number	New Number
1/1/1990	38	39-40	1/1/1990	38	39-40
8/1/1976	11	14-15	8/1/2007	25-28	41
7/1/1977	14	16-19	1/2/2008	41	42,ST
8/1/1977	10	20-23	4/6/2021	030-15,76	43
2/1/1978	15	24	4/6/2021	9	43
2/1/1980	24	25-28	4/6/2021	43	44-47
1/1/1983	20	29,ST	4/6/2021	30,31,32	48
1/1/1983	21	30,ST	10/5/2021	47	49-50
1/1/1983	22	31,ST	10/5/2021	29,48	51
1/1/1983	23	32,ST	12/7/2021	51	52,ST
1/1/1983	16	33,ST	12/7/2021	50	53,ST
1/1/1983	17	34,ST	12/7/2021	44	54,ST
1/1/1983	18	35,ST	12/7/2021	4	55,ST
1/1/1983	19	36,ST	12/7/2021	46	56,ST
3/1/1989	7	37-38	12/7/2021	49	57,ST

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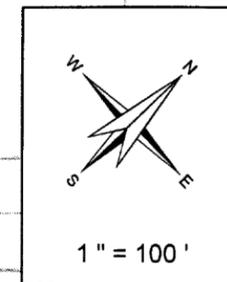
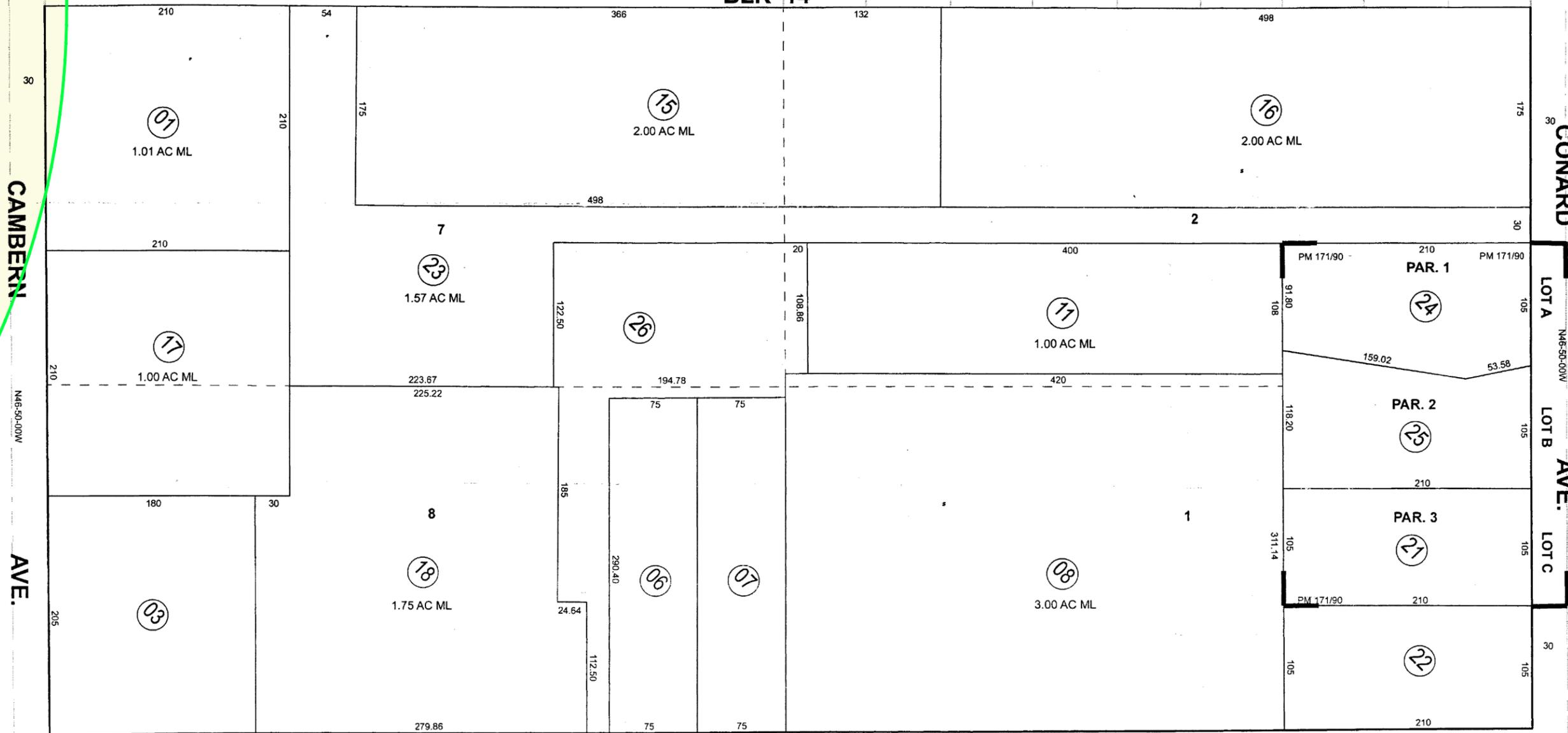
POR. SEC. 31 T.5S R.4W  
CITY OF LAKE ELSINORE

TRA 005-101

377-38  
18-21-1

DEC 05 2013

BLK 14



**Legend**

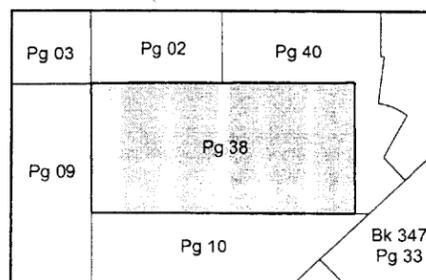
- Lot Lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W
- - - Other Easements
- ..... Lease Area
- Subdivision Tic Mark



ASSESSOR'S MAP BK377 PG.38  
Riverside County, Calif.

*jmorgan*

Data
RS 32/71



Map Reference	
MB 5/105	NORTH ELSINORE TRACT
PM 171/90 - 91	PARCEL MAP NO. 25404

Nov 2013

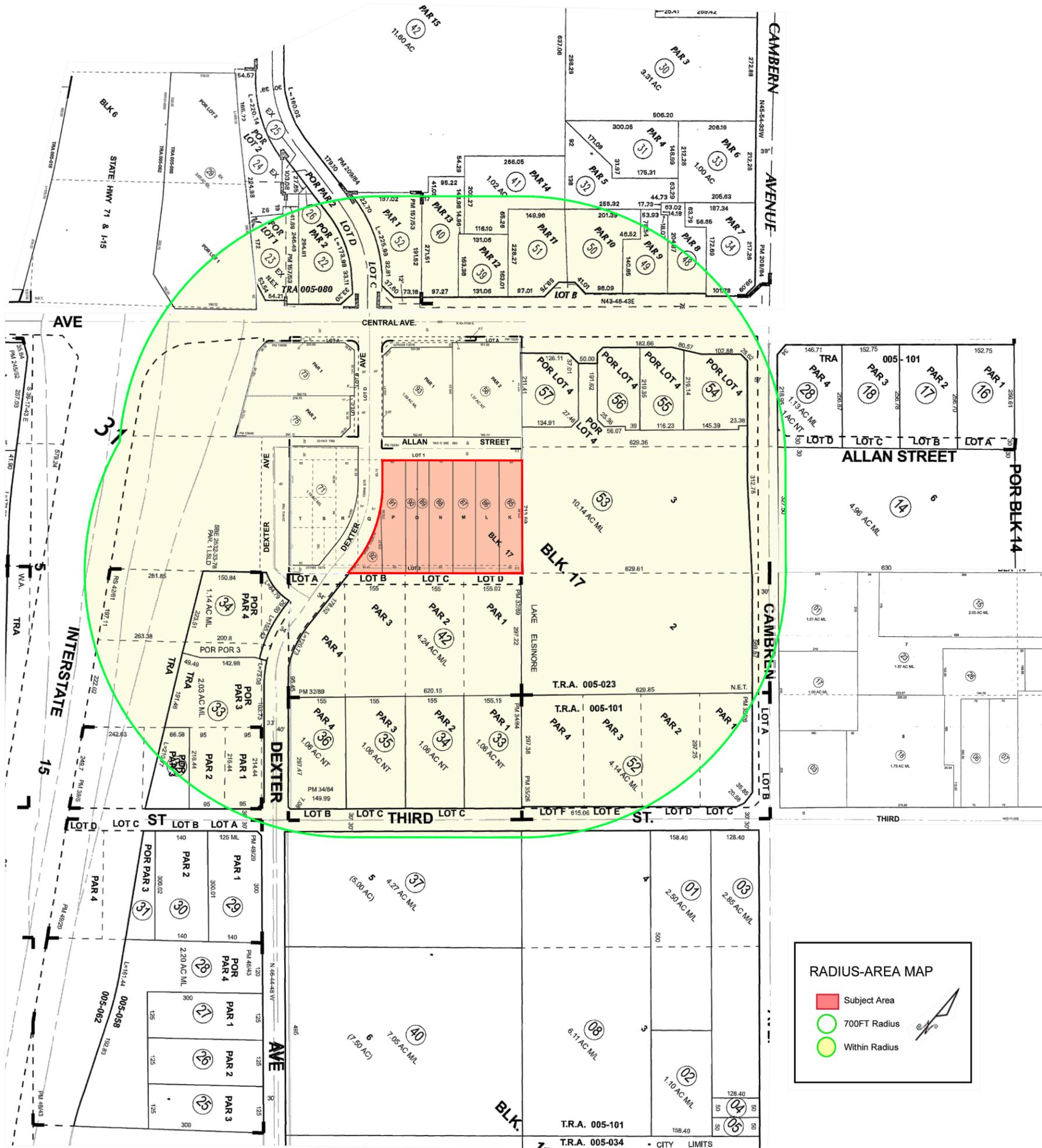
Date	Old Number	New Number
2/1/1976	2	17
2/1/1976	4	17, 18
2/1/1976	14	19, 20
2/1/1986	9	21, 22
4/1/1986	19, 20	23
10/1/1991	10	24, 25
11/18/2013	5, 12, 13	26

## VICINITY/AREA MAP



**RADIUS-AREA MAP**

- Subject Area
- 700FT Radius
- Within Radius



**RADIUS-AREA MAP**

- Subject Area
- 700FT Radius
- Within Radius

T.R.A. 005-101  
T.R.A. 005-034 • CITY LIMITS