



REPORT TO PLANNING COMMISSION

To: Honorable Chair and Members of the Planning Commission

From: Damaris Abraham, Interim Assistant Community Development Director

Prepared by: Kevin Beery, Associate Planner

Date: February 21, 2023

Subject: **Planning Application No. 2021-25 (Jack in the Box El Toro)** - A request for approval of a Commercial Design Review and two Conditional Use Permits to construct and operate two drive-through restaurants (2,649 sq. ft. and 624 sq. ft., respectively) located at the intersection of Highway 74 and El Toro Cut Off Road

Applicant: Gabriela Marks, Marks Architects

Recommendation

1. Find and determine that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (In-Fill Development Projects);
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, ADOPTING FINDINGS THAT PLANNING APPLICATION NO. 2021-25 (CONDITIONAL USE PERMIT NO. 2022-01, CONDITIONAL USE PERMIT NO. 2022-04 AND COMMERCIAL DESIGN REVIEW NO. 2022-01) IS CONSISTENT WITH THE WESTERN RIVERSIDE COUNTY MULTIPLE SPECIES HABITAT CONSERVATION PLAN;
3. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2022-01 TO ESTABLISH A 2,649 SQUARE-FOOT DRIVE-THROUGH RESTAURANT AT APNS: 347-130-033 and 347-130-034;
4. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2022-04 TO ESTABLISH A 624 SQUARE-FOOT DRIVE-THROUGH RESTAURANT AT APN: 347-130-035; and

5. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2022-01 PROVIDING BUILDING DESIGN AND RELATED IMPROVEMENTS FOR TWO DRIVE-THROUGH RESTAURANTS AT APNS: 347-130-033, 347-130-034 and 347-130-035.

Project Location

The project site is located on the northwest side of Highway 74, southeast of North Frontage Road and bisected by El Toro Cut Off Road in the Ramsgate Specific Plan. (APNs: 347-130-033; 347-130-034; 347-130-035)

Environmental Setting

	EXISTING LAND USE	GENERAL PLAN	ZONING
Project Site	Vacant	Ramsgate Specific Plan	Commercial
North	Commercial/Industrial	County of Riverside	County of Riverside
South	Commercial/Industrial	County of Riverside	County of Riverside
East	Single-Family Residential	Ramsgate Specific Plan	Medium Density Residential
West	Single-Family Residential	County of Riverside	County of Riverside

Project Description

Planning Application No. 2021-25 is a request for a Commercial Design Review (CDR No. 2022-01) to construct two drive-through restaurants and related site improvements on adjacent parcels. The application also includes a request for a Conditional Use Permit (CUP No. 2022-01 and CUP No. 2022-04) to allow operation of each proposed drive-through, as required by the Ramsgate Specific Plan Commercial zoning regulations.

Jack in the Box

The application proposes to construct a one-story, 2,649 square-foot Jack in the Box drive-through restaurant on the approximately 1.10-acre parcel to the south of El Toro Cut Off Road. The building would be constructed together with related onsite improvements including a drive-through lane with 13 queuing spaces, 30 parking spaces and landscaping. The proposed restaurant is rectangular in plan and is centrally sited in the north portion of the site. Primary access to the site would be provided by a full movement driveway along Frontage Road in the northwest portion of the site, and secondary access would consist of a restricted (right-in/right-out) two-way driveway in the southeast portion of the site connecting to Highway 74.

The Human Bean

The application also proposes to construct a one-story, 624 square-foot The Human Bean (THB) drive-through coffee stand on the approximately 0.37-acre parcel to the north of El Toro Cut Off Road. The building would be constructed together with related onsite improvements including a drive-through lane with eight queuing spaces, eight parking spaces and landscaping. The proposed restaurant is rectangular in plan and is centrally sited in the south portion of the site. Access to the site would be provided by a full movement driveway along Frontage Road in the northwest portion of the site.

Off-Site Improvements

Project construction will also involve off-site infrastructure improvements including half-width right-of-way improvements along the project boundaries and installation of a traffic signal at the intersection of Highway 74 and El Toro Cut Off Road. Project construction would also involve utility work including construction of a public sewer main along the west frontage of the site in addition to water main, electrical and gas line extensions serving the new buildings.

Analysis

Specific Plan Consistency

The project site is located in the Ramsgate Specific Plan and has a land use designation of Commercial. This designation is primarily intended to accommodate a shopping area that provides convenience goods and services for the residential neighborhoods. According to Section 9.2 of the Ramsgate Specific Plan, fast food restaurants including drive-through establishments are permitted subject to approval of a Conditional Use Permit.

Staff has reviewed the submitted development plans for compliance with the Commercial development standards and regulations of Section 9.2 of the Ramsgate Specific Plan and the parking requirements under Chapter 17.148 of the Lake Elsinore Municipal Code (LEMC). The proposed development conforms to applicable standards as shown in Tables 2 and 3.

Commercial Development Standard	Required	Proposed
Floor Area Ratio (FAR)	0.75 max.	Jack: 0.05 THB: 0.04
Maximum Building Height	35'-0"	Jack: 22'-8" THB: 19'-6"
Building Setback, from street	20'-0" min.	Jack: 34'-5" THB: 20'-0"
Parking Area Setback, from street	20'-0" min.	Jack*: 4'-10" THB*: 4'-10"
Landscaping Coverage	10% min.	Jack: 45.8% THB: 24.8%

*Alternate development standards proposed pursuant to Ramsgate Specific Plan Section 9.2

Parking Requirements	Required	Proposed
Drive-Through Storage	8 vehicles min.	Jack: 13 vehicles THB: 8 vehicles
Required number of parking spaces	1 per 45 s.f. customer area + 1 per 200 s.f. non-customer area	Jack: $930/45 + 1,719/200 = 30$ Provided: 30 THB: $180/45 + 624/200 = 8$ Provided: 8

Pursuant to Ramsgate Specific Plan 9.2, alternative development standards may be requested for commercial developments where it can be shown the project will better serve the public

interest. The applicant is proposing a reduction from the standard 20-foot parking area setback located along the perimeter of The Human Bean site as well as the parking area setback located along Frontage Road on the Jack in the Box site. The public interest will be better served by the project through these alternative developments because it will enable commercial development to provide two new convenient eating options for residents and, moreover, the project provides surplus landscaping coverage and screening measures to avoid visibility impacts resulting from the reduced setbacks. Therefore, approval of the requested project-specific alternative standards will not compromise the visual quality of the area and will allow commercial development of the property in alignment with the goals and policies of the Ramsgate Specific Plan.

Architecture and Site Design

The architectural design of the proposed buildings complies with the Nonresidential Development Standards (Chapter 17.112) of the LEMC. The proposed Jack in the Box building is rectangular in plan and will feature a flat roof with cement accent panels on the parapet. The main body of the building exterior would consist of dark red cement plaster, brown textured porcelain accent tiles, metal awning projections, aluminum-framed doors and windows with clear glass, and space for tenant wall signage. The proposed The Human Bean building is rectangular in plan and will feature a flat roof with a parapet capped with gray aluminum coping. The main body of the building exterior would consist of tan and dark blue cement plaster, stone veneer wainscoting, metal awning projections, aluminum-framed doors and windows with clear glass, and space for tenant wall signage. The exterior architecture, including colors and materials, has been designed to be harmonious and compatible with surrounding development. Furthermore, the proposed landscaping improvements complement the proposed building design, provide shade and break-up expanses of pavement. The proposed site design is cohesive and functional for the proposed use.

Traffic and Operations

A traffic impact analysis dated August 1, 2022 was prepared by Trames Solutions Inc. for the project. The purpose of the analysis is to assess the degree to which the project would impact performance of the surrounding road network, specifically the intersections of the proposed project driveways along Frontage Road and Highway 74, as well as the existing intersections of Highway 74 and El Toro Cut Off Road, Frontage Road and Rosetta Canyon El Toro Cut Off Road, Highway 74 and Rosetta Canyon Drive, and Highway 74 and Crater Drive. The analysis concluded that upon construction of half-width right-of-way improvements abutting the site, construction of a new traffic signal at the intersection of Highway 74 and El Toro Cut Off Road, and payment of a 1.5 percent fair share contribution to a new traffic signal at Highway 74 and Crater Drive, the project would not adversely affect levels of service in the study area and that the study intersections would function at satisfactory levels of service.

Furthermore, the drive-through operations are not anticipated to cause significant traffic impacts on the surrounding roadways. According to the traffic impact analysis, based on survey data of the other tenant locations in the region, the study determined that the proposed drive-through stack capacities are sufficient to accommodate peak queue length. However, in case of drive-through overflow, there is additional queuing area behind the drive-through entrance. The Jack in the Box drive-through is designed to accommodate up to 13 vehicles, and up to six additional vehicles can be stacked behind the drive-through entrance. The Human Bean drive-through is

designed to accommodate up to 8 vehicles, and up to three additional vehicles can be stacked behind the drive-through entrance. The applicant has also submitted queuing management plans detailing procedures and operational measures to be implemented to achieve safe parking lot circulation during peak drive-through demand. Therefore, upon implementation of the circulation improvements and traffic management plans required by conditions of approval, the project is consistent with the circulation goals and policies of the General Plan and is not expected to adversely impact the safety or efficiency of the surrounding roadways.

Environmental Determination

CEQA

The proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 (New Construction) because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services. A categorical exemption checklist documenting project eligibility for the Class 32 exemption is attached to this report (Attachment 1).

MSHCP

Approximately 2.42 acres of the project site are located in the southern portion of Criteria Cell 4076 within Cell Group X, which is in MSHCP Elsinore Area Plan, Subunit 3 (Elsinore). Therefore, on January 12, 2022, a formal and complete Lake Elsinore Acquisition Process (LEAP) application, LEAP 2022-02 was submitted to the City. On June 16, 2022, the Western Riverside County Regional Conservation Authority (RCA) concluded its Joint Project Review (JPR) finding that the project is consistent with both the Criteria and Other Plan requirements. On July 6, 2022, the California Department of Fish and Wildlife and the U.S. Fish and Wildlife Service concurred with the JPR findings. Therefore, the project is consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP).

Attachments

- Attachment 1 – Class 32 CEQA Exemption Checklist
- Attachment 2 – MSHCP Resolution
- Attachment 3 – CUP Resolution Jack in the Box
- Attachment 4 – CUP Resolution The Human Bean
- Attachment 5 – CDR Resolution
- Attachment 6 – Conditions of Approval
- Attachment 7 – Vicinity Map
- Attachment 8 – Aerial Map
- Attachment 9 – Design Review Package



**JACK IN THE BOX EL TORO
PLANNING APPLICATION No. 2021-25**

Commercial Design Review No. 2022-01

Conditional Use Permit No. 2022-01

Conditional Use Permit No. 2022-24

CLASS 32 CATEGORICAL EXEMPTION CHECKLIST

Prepared By:

CITY OF LAKE ELSINORE

130 South Main Street

Lake Elsinore, CA 92530

Applicant:

MARKS ARCHITECTS

2643 Fourth Avenue

San Diego, CA 92103

Project Location:

Highway 74 & El Toro Cut Off Road

APNs:

347-130-033, 347-130-034, 347-130-035

February 2023

SURROUNDING LAND USES AND SETTING

The project area consists of three parcels between State Route 74 and Frontage Road composing two adjacent parcels located on opposite sides of El Toro Cut Off Road, which bisects the project area. (APNs: 347-130-033, 347-130-034, 347-130-035). Surrounding land uses include industrial to the north (unincorporated Riverside County), single-family residential to the west (unincorporated Riverside County), industrial to the south (unincorporated Riverside County), and single-family residential to the east (across Highway 74). The location and boundaries of the project area are depicted in Figure 1.

PROJECT DESCRIPTION

The project involves a development proposal to construct and operate one 2,649 sq. ft. drive-through restaurant on an approximately 1.09-acre site and one 624 sq. ft. drive-through coffee stand on an approximately 0.39-acre parcel in conjunction with related on-site improvements including parking spaces, landscaping, and minor utility extensions needed to serve the new development. Project construction would also involve related off-site infrastructure improvements including half-width right-of-way improvements along the project boundaries, installation of a traffic signal at the intersection of Highway 74 and El Toro Cut Off Road, and construction of a public 8" gravity sewer main along the property frontage on Frontage Road. The proposed total area of disturbance including both on- and off-site improvements is approximately 3.76 acres.

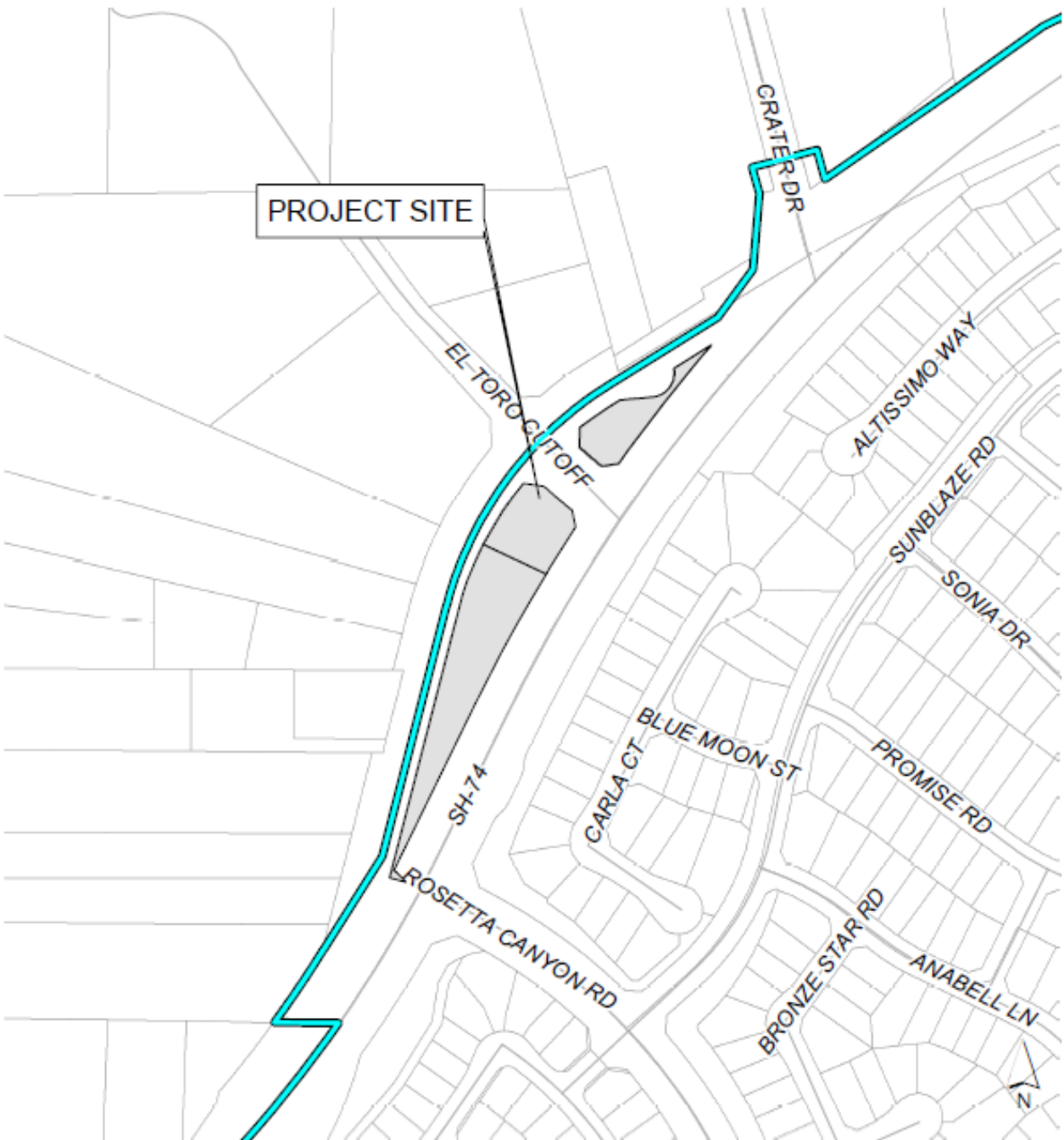
GENERAL PLAN DESIGNATION: Specific Plan

ZONING: Ramsgate Specific Plan, Commercial (C)

Figure 1 – Aerial Map



Figure 2 – Vicinity Map



[illegible]

[illegible]

INFORMATION DEMONSTRATING THAT THE PROJECT SATISFIES THE CONDITIONS DESCRIBED IN SECTION 15332 OF TITLE 14 OF THE CALIFORNIA CODE OF REGULATIONS:

Criterion (a): Is the project consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations?

The project site is located in the Ramsgate Specific Plan area and has a land use designation of C - Commercial. Commercial areas in the Ramsgate Specific Plan are primarily intended to accommodate a shopping area that provides convenience goods and services for the residential neighborhoods. Development of the commercial areas must comply with Ramsgate Specific Plan Chapter 9.2. The project involves the proposed construction and establishment of two drive-through restaurants. Fast food restaurants including drive-throughs are permitted subject to approval of a use permit pursuant to Ramsgate Specific Plan Chapter 9.2. The development proposal is therefore consistent with the applicable Specific Plan land use designation and regulations according to the Ramsgate Specific Plan.

Criterion (b): Is the proposed development located within the City limits on a site of no more than five acres substantially surrounded by urban uses?

The proposed development site is located within City limits and is approximately 1.47 acres in area. The total area to be disturbed for on- and off-site improvements is approximately 3.76 acres. The project site is substantially surrounded by various urban uses as depicted in Figure 1.

Criterion (c): Does the project site have no value as habitat for endangered, rare, or threatened species?

The following evaluation of existing on-site habitat for endangered, rare, or threatened species is based on the project-specific Western Riverside County – MSHCP Consistency Analysis Highway 74 – El Toro Cut Off Drive Thru Restaurant Final Report (Biological Report) dated May 2022 prepared by Cadre Environmental (included as Appendix A). The findings contained in the Biological Report are informed by both a literature review of the biological resources of the project site and its vicinity, as well as a field survey performed on October 20, 2021. Of the total 3.76 acres to be disturbed as a result of project implementation, approximately 3.26 acres of the project area is characterized as “previously disturbed” whereas approximately 0.50 acres is characterized as vegetated by Riversidean sage scrub.

As part of the study, the project site was assessed for its value as habitat for endangered, rare, or threatened species, and was identified as having potential habitat (Riversidean sage scrub) for six species considered endangered, rare, or threatened, including the Southern California rufous-crowned sparrow, Bell’s sage sparrow, white-tailed kite, California horned lark, loggerhead shrike, and coastal California gnatcatcher. However, according to the Biological Report, these species are expected to occur onsite infrequently if at all. Furthermore, the extent of removal of Riversidean sage scrub resulting from the project does not conflict with the conservation goals for these species. Therefore, the project will comply with the requirements in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), and the project-specific conditions of approval will require the applicant to implement previously approved mitigation requirements relating to species and habitat pursuant to the MSHCP.

Furthermore, the MSHCP identifies the project area as located in a special survey area for

burrowing owl, and therefore special surveys were conducted to determine the presence of suitable burrowing owl habitat. The survey concluded that no potential burrowing owl burrows or other signs of the species actively occupying the site were observed. In order to avoid direct take of any protected species and to comply with provisions of the MSHCP, project-specific conditions have been added requiring that preconstruction surveys be performed to ensure the site is void of burrowing owls prior to commencing site development activities. Additionally, the project site is void of other significant habitat features, such as mature trees or riparian features, that could serve ecological functions.

Additionally, the project was required to undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) procedures in order to determine whether the project area is described for conservation purposes according to the MSHCP. In June 2022, the Regional Conservation Authority (RCA) determined that none of the project area is proposed for habitat conservation purposes. In July 2022, the California Department of Fish and Wildlife and the U.S. Fish and Wildlife Service concurred with the findings of the JPR.

In conclusion, the project site has no considerable value as habitat for endangered, rare, or threatened species. Although not required to mitigate a significant impact pursuant to CEQA, the following permit conditions will be added to minimize the potential for impacts to biological resources, and to comply with requirements of the MSHCP:

- Due to the presence of potentially suitable habitat, a 30-day preconstruction survey for burrowing owls is required prior to initial ground-disturbing activities (including vegetation clearing, clearing and grubbing, tree removal, site watering, equipment staging, grading, etc.) to ensure that no owls have colonized the site in the days or weeks preceding the ground-disturbing activities. If burrowing owls have colonized the project site prior to the initiation of ground-disturbing activities, the project proponent will immediately inform the Regional Conservation Authority (RCA) and the Wildlife Agencies, and will need to coordinate further with RCA and the Wildlife Agencies, including the possibility of preparing a Burrowing Owl Protection and Relocation Plan, prior to initiating ground disturbance. If ground-disturbing activities occur, but the site is left undisturbed for more than 30 days, a pre-construction survey will again be necessary to ensure burrowing owl has not colonized the site since it was last disturbed. If burrowing owl is found, the same coordination described above will be necessary.
- Pursuant to Section 6.1.4 of the MSHCP, applicant shall implement the following measures as applicable:
 - i. Incorporate measures to control the quantity and quality of runoff from the site entering the MSHCP Conservation Area. In particular, measures shall be put in place to avoid discharge of untreated surface runoff from developed and paved areas into MSHCP Conservation Areas. Best Management Practices (BMPs) will be implemented to prevent the release of toxins, chemicals, petroleum products, exotic plant materials, or other elements that might degrade or harm downstream biological resources or ecosystems.
 - ii. Land uses proposed in proximity to the MSHCP Conservation Area that use chemicals or generate bioproducts, such as manure, that are potentially toxic or may adversely affect wildlife species, Habitat, or water quality shall incorporate measures to ensure that application of such chemicals does not result in discharge to the MSHCP Conservation Area. The greatest risk is from landscaping fertilization overspray and runoff.

- iii. Night lighting shall be directed away from the MSHCP Conservation Area and the avoided area on site to protect species from direct night lighting.
 - iv. Proposed noise-generating land uses affecting the MSHCP Conservation Area, including designated avoidance areas, shall incorporate setbacks, berms, or walls to minimize the effects of noise on MSHCP Conservation Area resources pursuant to applicable rules, regulations, and guidelines related to land use noise standards.
 - v. Avoid use of invasive, non-native plant species listed in Table 6-2 of the MSHCP in approving landscape plans for the portions of the project that are adjacent to the MSHCP Conservation Area, including avoidance areas. Considerations in reviewing the applicability of this list shall include proximity of planting areas to the MSHCP Conservation Areas and designated avoidance areas, species considered in the planting plans, resources being protected within the MSHCP Conservation Area and their relative sensitivity to invasion, and barriers to plant and seed dispersal, such as walls, topography, and other features.
 - vi. Proposed land uses adjacent to the MSHCP Conservation Area shall incorporate barriers, where appropriate, in individual project designs to minimize unauthorized public access, domestic animal predation, illegal trespass, or dumping into existing and future MSHCP Conservation Areas. Such barriers may include native landscaping, rocks/boulders, fencing, walls, signage, and/or other appropriate mechanisms.
 - vii. Manufactured slopes associated with proposed site development shall not extend into the MSHCP Conservation Area.
 - viii. Weed abatement and fuel modification activities are not permitted in the Conservation Area, including designated avoidance areas.
- Pursuant to Appendix C of the MSHCP, the following best management practices (BMPs), as applicable, shall be implemented for the duration of construction:
- i. A condition shall be placed on grading permits requiring a qualified biologist to conduct a training session for project personnel prior to grading. The training shall include a description of the species of concern and its habitats, the general provisions of the Endangered Species Act (Act) and the MSHCP, the need to adhere to the provisions of the Act and the MSHCP, the penalties associated with violating the provisions of the Act, the general measures that are being implemented to conserve the species of concern as they relate to the project, and the access routes to and project site boundaries within which the project activities must be accomplished.
 - ii. Water pollution and erosion control plans shall be developed and implemented in accordance with RWQCB requirements.
 - iii. The footprint of disturbance shall be minimized to the maximum extent feasible. Access to sites shall be via pre-existing access routes to the greatest extent possible.
 - iv. The upstream and downstream limits of projects disturbance plus lateral limits of disturbance on either side of the stream shall be clearly defined and marked in the field and reviewed by the biologist prior to initiation of work.
 - v. Projects should be designed to avoid the placement of equipment and personnel within the stream channel or on sand and gravel bars, banks, and adjacent upland habitats used by target species of concern.
 - vi. Projects that cannot be conducted without placing equipment or personnel in

- sensitive habitats should be timed to avoid the breeding season of riparian species identified in MSHCP Global Species Objective No. 7.
- vii. When stream flows must be diverted, the diversions shall be conducted using sandbags or other methods requiring minimal instream impacts. Silt fencing of other sediment trapping materials shall be installed at the downstream end of construction activity to minimize the transport of sediments off site. Settling ponds where sediment is collected shall be cleaned out in a manner that prevents the sediment from reentering the stream. Care shall be exercised when removing silt fences, as feasible, to prevent debris or sediment from returning to the stream.
 - viii. Equipment storage, fueling, and staging areas shall be located on upland sites with minimal risks of direct drainage into riparian areas or other sensitive habitats. These designated areas shall be located in such a manner as to prevent any runoff from entering sensitive habitat. Necessary precautions shall be taken to prevent the release of cement or other toxic substances into surface waters. Project related spills of hazardous materials shall be reported to appropriate entities including but not limited to applicable jurisdictional city, FWS, and CDFG, RWQCB and shall be cleaned up immediately and contaminated soils removed to approved disposal areas.
 - ix. Erodible fill material shall not be deposited into water courses. Brush, loose soils, or other similar debris material shall not be stockpiled within the stream channel or on its banks.
 - x. The qualified project biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the project footprint.
 - xi. The removal of native vegetation shall be avoided and minimized to the maximum extent practicable. Temporary impacts shall be returned to pre-existing contours and revegetated with appropriate native species.
 - xii. Exotic species that prey upon or displace target species of concern should be permanently removed from the site to the extent feasible.
 - xiii. To avoid attracting predators of the species of concern, the project site shall be kept as clean of debris as possible. All food related trash items shall be enclosed in sealed containers and regularly removed from the site(s).
 - xiv. Construction employees shall strictly limit their activities, vehicles, equipment, and construction materials to the proposed project footprint and designated staging areas and routes of travel. The construction area(s) shall be the minimal area necessary to complete the project and shall be specified in the construction plans. Construction limits will be fenced with orange snow screen. Exclusion fencing should be maintained until the completion of all construction activities. Employees shall be instructed that their activities are restricted to the construction areas.
 - xv. The Permittee shall have the right to access and inspect any sites of approved projects including any restoration/enhancement area for compliance with project approval conditions, including these BMPs.

Criterion (d): Would the project result in any significant effects relating to traffic, noise, air quality, or water quality?

I. Traffic

The following review of potential traffic impacts is based on the Vehicle Miles Traveled (VMT) Evaluation prepared by Trames Solutions Inc. dated January 18, 2023 (included as Appendix B) for the project. The purpose of the VMT Evaluation is to assess the potential effects of the project on the transportation system by estimating changes to vehicle miles traveled (VMT) per capita. A summary of the VMT Screening Report is provided below:

- The project site is located within a low VMT-generating area
- The project is a local serving retail project proposing less than 50,000 square feet of building area

Conclusion: The project would not significantly impact VMT per capita in accordance with the City's adopted Traffic Impact Analysis guidelines. Therefore, the project is presumed to have less than significant VMT impacts because the project site is located within a low VMT-generating area and the project is considered local serving in nature.

For additional information, refer to the VMT Screening Report included as Appendix B to this report.

II. Noise

The following review of potential noise impacts is based on the Noise Assessment prepared by Ldn Consulting, Inc. dated August 31, 2022 (included in Appendix C) for the project. Under Appendix G of the State CEQA Guidelines, any project would create significant noise impacts if the project would result in:

- Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies;
- Generation of excessive groundborne vibration or groundborne noise levels; or
- Expose people residing or working in the project area to excessive noise levels if the project is located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport

The purpose of the Noise Assessment is to assess the potential noise impacts resulting from project construction and operation and to evaluate whether the project would expose people to excessive noise levels. A summary of the Noise Assessment is provided below:

- Project construction would not exceed the City's construction noise standards. Therefore, the project would not result in significant noise impacts from construction activities.
- Project operation would not exceed the City's exterior noise standards. Therefore, the project would not result in significant noise impacts from operational activities.

Conclusion: Project construction would result in temporary noise impacts from transportation of construction crews and equipment to and from the development site and construction activities

such as operation of mobile and stationary construction equipment. However, any temporary increases in ambient noise levels caused by construction would not exceed the City's mobile and stationary construction noise standards. Therefore, impacts from construction noise would be less than significant. Although not required to mitigate any significant impacts under CEQA, the City will require the project to comply with the following Conditions of Approval to minimize noise from project construction in accordance with the recommendations provided in the Noise Assessment:

- During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices.
- The contractor should locate equipment staging areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors nearest the project site during all project construction.
- Idling equipment should be turned off when not in use.

Project operation would result in ongoing noise generation caused by external speakers at the drive-through lane and HVAC operations. However, project operation would not result in significant increase in ambient noise levels from project operational activities given the project setting and the proximity of the proposed development site to Highway 74. No significant changes to ambient noise levels are expected as a result of existing ambient noise generated by vehicle traffic along the highway. The noise levels caused by project operation would not exceed the City's exterior noise standards. Therefore, impacts from operational noise would be less than significant.

For additional information, refer to the Noise Assessment included as Appendix C to this report.

III. Air Quality

The following review of potential air quality impacts is based on the Air Quality Assessment prepared by Ldn Consulting, Inc. dated August 31, 2022 (included in Appendix D) for the project. Under Appendix G of the State CEQA Guidelines, any project would create significant impacts if a project would:

- Conflict with or obstruct implementation of the applicable air quality plan;
- Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard;
- Expose sensitive receptors to substantial pollutant concentrations; or
- Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people

The purpose of the Air Quality Assessment is to assess the potential air quality impacts resulting from project construction and operation and to evaluate project compliance with applicable criteria pollutant thresholds set by the South Coast Air Quality Management District (SCAQMD). A summary of the Air Quality Assessment is provided below:

- Short-term emissions from project construction would fall below all applicable SCAQMD local and regional daily thresholds of significance. Therefore, air quality emissions from project construction, as well as cumulative impacts caused by project construction, are less than significant.
- Emissions of all criteria pollutants from project operation fall below applicable daily thresholds of significance. Therefore, the project would neither conflict with plans, violate an air quality standard, nor contribute to an existing or projected violation, result in a cumulatively considerable increase in ozone or particulate matter emissions or expose receptors to substantial pollutant concentrations. Therefore, air quality emissions from project operation are less than significant.

Conclusion: Project construction would result in emissions from equipment exhaust, fugitive dust, and architectural coatings. Both regional and localized construction emissions from project construction would fall below SCQAMD daily significance thresholds. Therefore, project construction would not result in significant regional or localized air quality impacts.

Project operation would result in air quality impacts from increases in project trip generation, electricity consumption, area sources, and evaporative emissions. Regional and localized emissions from project operation would fall below SCQAMD daily significance thresholds. Therefore, project operation would not result in significant regional or localized air quality impacts.

Moreover, the project does not have the potential to expose sensitive receptors to substantial pollutant concentrations, result in other emissions (such as those leading to odors) adversely affecting a substantial number of people, or conflict with or obstruct implementation of any air quality plan. In conclusion, the project would not result in any significant air quality impacts.

For additional information, refer to the Air Quality Assessment included as Appendix D to this report.

IV. Water Quality

The project area is located within the Lake Elsinore sub-watershed of the Santa Ana Watershed region of Riverside County. The Santa Ana Regional Water Quality Control Board (SARWQCB) sets water quality standards for ground and surface waters within the region. Water quality standards are defined under the Clean Water Act to include both the beneficial uses of specific water bodies and the levels of water quality that must be met and maintained to protect those uses (i.e. water quality objectives).

Project construction activities would include grading, excavation, installation of subsurface infrastructure, and other earthmoving activities which could potentially cause erosion that could degrade surface or ground water quality and/or violate water quality standards. Moreover, the use of heavy construction equipment could result in the accidental release of hazardous materials (e.g., oils, fuels, and other water quality pollutants) that could potentially affect surface and/or ground water quality. As required by the Clean Water Act, the project would comply with the Santa Ana Municipal Separate Storm Sewer (MS4) NPDES Permit. The NPDES MS4

Permit Program, which is administered in the project area by Riverside County and is issued by the SARWQCB, regulates storm water and urban runoff discharges from developments to natural and constructed storm drain systems in the City. Because the project would disturb one or more acres of soil, construction activities would be subject to the Construction General Permit (NPDES General Permit No. CAS000002, Waste Discharge Requirements, Order No. 2009-0009-DWQ, adopted September 2, 2009 and effective as of July 2, 2010) issued by the State Water Resources Control Board. The Construction General Permit requires implementation of a Storm Water Pollution Prevention Plan (SWPPP) for site clearing, grading, and disturbances such as stockpiling or excavation. The SWPPP would generally contain a site map showing the construction perimeter, proposed buildings, storm water collection and discharge points, general pre- and post-construction topography, drainage patterns across the site, and adjacent roadways.

The project area is currently undeveloped and contains approximately 5,086 square feet of impervious surfaces. Existing onsite drainage flows toward the Frontage Road right-of-way, then flow southward and eventually to Temescal Creek. The proposed development includes construction of two restaurant drive-through buildings with parking lots, driveway, landscaping with a total impervious surface area of approximately 79,655 square feet.

Conclusion: A project-specific Preliminary Water Quality Management Plan dated January 14, 2022 (Revised June 21, 2022) has been prepared to address the increase in polluted runoff that would occur from the project by describing the site design, source control and treatment control Best Management Practices (BMPs) that will be implemented and maintained throughout the life of the project. The water quality management plan proposes to collect and treat onsite stormwater run-off through multiple bioretention basins and a modular wetland system. The onsite drainage from roofs and pavement areas will be collected by the treatment facilities where stormwater would percolate through an engineered soil medium in which stormwater would be treated by physical, chemical, and biological processes. The plants and biological activity in the soil medium would function to take up pollutants and runoff, thus filtering the water before it is released into the municipal storm drain system. Furthermore, the project is required to implement a Storm Water Pollution Prevention Plan which will include measures such as construction-phase best management practices (BMPs) to protect against stormwater runoff. Through implementation of measures specified in both the WQMP and SWPPP, along with adhering to applicable regulations, the project would meet applicable water quality standards and discharge regulations. Therefore, the project would not otherwise substantially degrade surface or ground water quality, and any water quality impacts resulting from the project would be less than significant.

For additional information, refer to the Preliminary Water Quality Management Plan included as Appendix E to this report.

Criterion (e): Can the project site be adequately served by all required utilities and public services?

Fire Protection: The project would be subject to City policies and ordinances relating to hazard mitigation and fire prevention. The project would be required to comply with applicable fire code

requirements for construction and access to the site which will be reviewed by the City Fire Department to determine the project-specific fire requirements. Chapter 16.74 of the LEMC establishes a program for the adoption and administration of development impact fees by the City whereby as a condition to the issuance of a building permit or certificate of occupancy by the City, the property owner or land developer is required to pay development impact fees or provide other consideration to the City for the purpose of defraying the costs of public expenditures for capital improvements (and operational services to the extent allowed by law) which will benefit such new development. Section 16.74.049 includes a "fire facilities fee" to mitigate the additional burdens created by new development for City fire facilities. The project would incrementally increase demands for fire protection services associated with service calls, inspections, etc. The increase in demand for fire protection services is not anticipated to require the construction of new facilities or infrastructure. Therefore, any impacts related to fire protection resulting from the project would be less than significant.

Police Protection: Chapter 16.74 of the LEMC establishes a program for the adoption and administration of development impact fees by the City for the purpose of defraying the costs of public expenditures for capital improvements (and operational services to the extent allowed by law) which would benefit such new development. The project would participate in this development impact fee program to mitigate potential impacts to police protection resources. Additionally, the project would be required to comply with applicable law enforcement requirements and standards to ensure adequate law enforcement protection is available to serve the proposed development. Potential impacts would be considered incremental and can be offset through the payment of the development impact fee and compliance with regulatory requirements. The project would not result in substantial adverse physical impacts related to police protection. Therefore, the project would not significantly impact police protection resources or services.

Schools: The proposed development is located within the Lake Elsinore Unified School District (LEUSD). The project would be required to pay school impact fees as levied by the LEUSD, which would provide funding for school facilities. The project does not propose new housing and therefore no increase in demand for LEUSD facilities and services would be created. Therefore, any potential impacts would be considered incremental and would be offset through the payment of the appropriate development impact fees for schools. Based on the above, the proposed project will not result in substantial adverse physical impacts related to schools. Any impacts would be less than significant.

Parks: The project does not propose residential uses so it would not generate additional residents who would need park facilities or services. Therefore, a direct increase in park usage is not expected because of the project. New commercial development may cause incremental indirect impacts to park facilities from the occasional use of a park by employees. Section 16.34.060 of the LEMC requires that prior to the issuance of a building permit, the property owner or developer must pay fees for the purposes set forth in that section. Section 16.34.060.D describes the City's Park Capital Improvement Fund and describes that the City Council has the option to request dedication for park purposes or in lieu thereof, request that the property owner or developer pay a fee for the purpose of purchasing the land and developing and maintaining

the City park system. The project would be required to pay park fees to the City for the purpose of establishing, improving, and maintaining park land within the City. Because the project does not propose new housing, any potential impacts would be considered incremental and would be offset through the payment of the appropriate park fees. Based on the above, the project would not result in substantial adverse physical impacts related to parks. Any impacts would be less than significant.

Other Public Facilities: The City is a part of the Riverside County Library System. Section 16.34.060 of the LEMC requires that prior to the issuance of a building permit, the property owner or developer must pay fees for the purposes set forth in that section. Section 16.34.060.B establishes the City's Library Mitigation Fee program and provides that an in-lieu fee for future construction of library improvements shall be paid to the City to ensure that the necessary library facilities are provided to the community. Since the project would not include new housing, potential impacts to library services would be less than significant.

Chapter 16.74 of the LEMC establishes a program for the adoption and administration of development impact fees by the City for the purpose of defraying the costs of public expenditures for capital improvements (and operational services to the extent allowed by law) which would benefit such new development. Section 16.74.048 includes an "Animal shelter facilities fee" to mitigate the additional burdens created by new development for animal facilities. In addition, the property owner would be required to pay City Hall & Public Works fees, Community Center Fees, and Marina Facilities Fees prior to the issuance of building permits. Therefore, potential impacts associated with other public services and facilities would be less than significant.

Wastewater/Sewer: The proposed development is located within the wastewater/sewer service boundary of the Elsinore Valley Municipal Water District (EVMWD). The proposed development would connect with the EVMWD wastewater/sewer system. Connections to local sewer mains will involve temporary and less than significant construction impacts that will occur in conjunction with other on-site improvements. In addition, the project will be required to pay sewer connection fees. Implementation of the project will not require, or result in, the construction of new wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects. Any impacts would be less than significant.

Storm Water Drainage: On-site grading and drainage improvements proposed in conjunction with the proposed site work would be required to comply with provisions of the National Pollutant Discharge Elimination System (NPDES) program, including Waste Discharge Requirements (WDR), and the 2010 Santa Ana Municipal Separate Sewer Permit (MS4) Permit, as enforced by the Santa Ana Regional Water Quality Board (SARWQCB). Pursuant to the City's Municipal Code, all construction projects shall implement Best Management Practices (BMPs) to be specified in a submitted Stormwater Pollution Prevention Plan (SWPPP). The project was required to submit a project-specific Water Quality Management Plan (WQMP) in identifying post-construction BMPs that include drainage controls such as infiltration pits, detention ponds, bioswales, berms, rain gardens, and pervious pavement. Upon adherence to

the approved WQMP, the project will not substantially alter the existing drainage pattern of the site or area, nor will it require new or expanded off-site storm drain facilities the construction or relocation of which could cause significant environmental effects. Any impacts would be less than significant.

Water Supplies: The proposed development is located within the water service boundary of the Elsinore Valley Municipal Water District (EVMWD). The proposed development would connect to the EVMWD water supply system. Connections to local water mains will involve temporary and less than significant construction impacts that will occur in conjunction with other on-site improvements. In addition, the project will be required to pay water connection fees and comply with water efficiency guidelines set by the City. Project implementation will not require, or result in, the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. Given the relatively small scale of the proposed in-fill development, potential impacts are considered nominally incremental and would be less than significant.

Solid Waste Disposal: All development within the City of Lake Elsinore is required to comply with applicable elements of AB 1327, Chapter 18 (California Solid Waste Reuse and Recycling Access Act of 1991), AB 939 (CalRecycle), and other local, state, and federal solid waste disposal standards. The California Integrated Waste Management Act of 1989 (AB 939) requires every city and county in the state to prepare a Source Reduction and Recycling Element (SRRE) to its Solid Waste Management Plan, that identifies how each jurisdiction will meet the mandatory state diversion goal of 50% by and after the year 2000. The purpose of AB 939 is to “reduce, recycle, and re-use solid waste generated in the state to the maximum extent feasible.” The project is required to comply with applicable elements of AB 1327, Chapter 18 (California Solid Waste Reuse and Recycling Access Act of 1991), AB 939, and other applicable local, state, and federal solid waste disposal standards as a matter of regulatory policy as standard condition of approval, thereby ensuring that the solid waste stream to the waste disposal facilities is reduced in accordance with existing regulations. Any impacts would be less than significant.

Electricity, Natural Gas, Telephone, Television: The proposed development is in a developed, urban setting. The site and the surrounding properties are fully served by various utility service providers. There are no anticipated significant service or system upgrades required to serve the proposed development. Any increase in the demand for public utilities by the project would be less than significant.

DETERMINATION:

I find that the answers given above are adequately supported by the information sources cited following each question and that the effects of the project are typical of those generated within that class of projects (*i.e.*, Class 32 – Infill Development Projects) characterized as in-fill development meeting the conditions of Section 15332 of Title 14 of the California Code of Regulations. The project will not cause a significant effect on the environment and is therefore categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act.

Appendices:

The following documents were used as information sources during preparation of this document. They are available for public review at the City of Lake Elsinore, Community Development Department, 130 South Main Street, Lake Elsinore, CA 92530, ph. (951) 674-3124.

- A) Western Riverside County – MSHCP Consistency Analysis Highway 74 – El Toro Cut Off Drive Thru Restaurant Final Report (Biological Report) dated May 2022 prepared by Cadre Environmental
- B) Vehicle Miles Traveled (VMT) Evaluation prepared by Trames Solutions Inc. dated January 18, 2023
- C) Noise Assessment prepared by Ldn Consulting, Inc. dated August 31, 2022
- D) Air Quality Assessment prepared by Ldn Consulting, Inc. dated August 31, 2022
- E) Preliminary Water Quality Management Plan prepared by Commercial Development Resources dated January 14, 2022 (Revised June 21, 2022)

RESOLUTION NO. 2023-__

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE
ELSINORE, CALIFORNIA, ADOPTING FINDINGS THAT PLANNING
APPLICATION NO. 2021-25 (CONDITIONAL USE PERMIT NO. 2022-01,
CONDITIONAL USE PERMIT NO. 2022-04 AND COMMERCIAL DESIGN REVIEW
NO. 2022-01) IS CONSISTENT WITH THE WESTERN RIVERSIDE COUNTY
MULTIPLE SPECIES HABITAT CONSERVATION PLAN**

Whereas, Gabriela Marks, Marks Architects, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2021-25 (Conditional Use Permit No. 2022-01, Conditional Use Permit No. 2022-04, and Commercial Design Review No. 2022-01) to construct and operate two drive-through restaurants (2,646 sq. ft. and 624 sq. ft., respectively) on adjacent parcels in the Ramsgate Specific Plan. The project site is located on the northwest side of Highway 74, southeast of North Frontage Road and bisected by El Toro Cut Off Road in the Ramsgate Specific Plan. (APNs: 347-130-033; 347-130-034; 347-130-035); and,

Whereas, Section 6.0 of the Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and the Joint Project Review (JPR) to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria; and,

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives; and,

Whereas, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying conditional use permit applications,

Whereas, pursuant to Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and,

Whereas, on February 21, 2023, at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

**NOW THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE
ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

Section 1: The Commission has considered the project and its consistency with the MSHCP prior to adopting Findings of Consistency with the MSHCP.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The Project is a project under the City's MSHCP Resolution, and the City must make an MSHCP Consistency finding before approval.

Approximately 2.42 acres of the project site is located within an MSHCP criteria cell. Pursuant to the City's MSHCP Resolution, the project has been reviewed for MSHCP consistency, including consistency with "Other Plan Requirements." These include the Protection of Species Associated with Riparian/Riverine Areas and Vernal Pool Guidelines (MSHCP, § 6.1.2), Protection of Narrow Endemic Plant Species Guidelines (MSHCP, § 6.1.3), Additional Survey Needs and Procedures (MSHCP, § 6.3.2), Urban/Wildlands Interface Guidelines (MSHCP, § 6.1.4), Vegetation Mapping (MSHCP, § 6.3.1) requirements, Fuels Management Guidelines (MSHCP, § 6.4), and payment of the MSHCP Local Development Mitigation Fee (MSHCP Ordinance, § 4).

2. The Project is subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) Joint Project Review processes.

Approximately 2.42 acres of the project site is located in the southern portion of Criteria Cell 4076 within Cell Group X, which is in MSHCP Elsinore Area Plan, Subunit 3 (Elsinore). Therefore, a formal and complete LEAP application, LEAP 2022-02 was submitted to the City on January 12, 2022.

3. The Project is consistent with the Riparian/Riverine Areas and Vernal Pools Guidelines.

On October 20, 2021, Cadre Environmental conducted a field survey of the site to determine whether the project site includes riparian/riverine area or vernal pools in accordance with the RCIP definition (Section 6.1.2, Volume I, Final MSHCP). The assessment included a review of historic aerials and soils maps within and immediately adjacent to the Project Site. No vegetation communities representing MSHCP Section 6.1.2 riparian scrub, forest or woodland resources were documented within or adjacent to the Project Site.

Vernal pools are depressions in areas where a hard-underground layer prevents rainwater from draining downward into the subsoils. When rain fills the pools in the winter and spring, the water collects and remains in the depressions. In the springtime, the water gradually evaporates away, until the pools became completely dry in the summer and fall. Vernal pools tend to have an impermeable layer that results in ponded water. The soil texture (the amount of sand, silt, and clay particles) typically contains higher amounts of fine silts and clays with lower percolation rates. Pools that retain water for a sufficient length of time will develop hydric cells. Hydric cells form when the soil is saturated from flooding for extended periods of time and anaerobic conditions (lacking oxygen or air) develop.

No evidence of vernal pool, ephemeral depressions, stock ponds, road ruts or other wetland features were recorded on the Project Site.

The Project Site is characterized as Arbuckle gravelly loam, Cienega rocky sandy loam, Vallecitos loam, Vista coarse sandy loam, and Ysidora gravelly very fine sandy loam possessing well drained substrates (drainage class). No indication of clay substrates or hydric soils were documented within the Project Site.

A review of historic aerials was conducted to determine if inundated features were present during years of high rainfall when features would certainly be documented. Historic aerials taken in 2011 represent an ideal baseline during which known (previously documented) inundated vernal pool, ephemeral depressions, stock ponds, road ruts can easily be seen. No sign of indication of inundation was documented within the Project Site during a review of historic aerials.

In summary, none of the conditions (i.e., no inundated depressions including road ruts, hydric soils, historic inundation, etc.) were observed or documented within the Project Site. No features are present that would support fairy shrimp. No standing water or other sign of areas that pond water was recorded.

The Project is therefore consistent with the Riparian/Riverine Areas and Vernal Pool Guidelines set forth in Section 6.1.2 of the MSHCP. No further action regarding this section of the MSHCP is required.

4. The Project is consistent with the Protection of Narrow Endemic Plant Species Guidelines.

The property is not in a Narrow Endemic Plant Species Survey Area (NEPSSA) for any narrow endemic species, and no NEPSSA surveys are required.

The proposed project is therefore consistent with the Protection of Narrow Endemic Plant Species Guidelines.

5. The Project is consistent with the Additional Survey Needs and Procedures.

The MSHCP requires additional surveys for certain species if the project is located in certain locations. Pursuant to MSHCP Figure 6-2 (Criteria Area Species Survey Area), Figure 6-3 (Amphibian Species Survey Areas with Criteria Area), Figure 6-4 (Burrowing Owl Survey Areas with Criteria Area), Figure 6-5 (Mammal Species Survey Areas With Criteria Area), burrowing owl surveys are required for the subject property prior to approval of a development proposal.

The property is not located within survey areas for criteria area species (MSHCP Figure 6-2), amphibian species (MSHCP Figure 6-3), or mammal species (MSHCP Figure 6-5) and surveys for those species are not required.

*A burrowing owl (*Athene cunicularia*) habitat assessment was conducted by Cadre Environmental during its October 20, 2021 field survey of the project site. Prior to initiating the assessment survey, Cadre Environmental used binoculars to scan all suitable habitats on and adjacent to the Project Site, including perch locations, to ascertain owl presence. All suitable areas of the Project Site were surveyed on foot by walking slowly and methodically while recording/mapping areas that may represent suitable owl habitat onsite. Concurrent with the initial habitat*

assessment, a detailed focused burrow survey was conducted and included documentation of appropriately sized natural burrows or suitable man-made structures that may be utilized by burrowing owl as part of the MSHCP protocol.

No potential burrowing owl burrows (a total of three borrows were documented < 3 inches in diameter) or characteristic sign such as white-wash, feathers, tracks, or pellets were detected within the Project Site. (See Figure 3, Burrowing Owl Survey Area.) The Project Site is not currently occupied by burrowing owl. Regardless, suitable habitat is located adjacent and north of the property and the species could potentially be indirectly impacted as a result of project initiation.

Nevertheless, as a mitigation measure for the proposed project, the City of Lake Elsinore will require a pre-construction presence/absence survey for burrowing owl to be conducted within 30 days of the commencement of project-related grading or other land disturbance activities including vegetation clearing, clearing and grubbing, tree removal, or site water, to ensure that the species has not moved onto the site since completion of the surveys. If burrowing owl have colonized the property site prior to the initiation of construction, the Project proponent shall immediately inform the Wildlife Agencies and the RCA, and prepare a Burrowing Owl Protection and Relocation Plan for approval by RCA and the Wildlife Agencies, prior to initiating ground disturbance. Additionally, if ground-disturbing activities occur, but the site is left undisturbed for more than 30 days, a pre-construction survey will again be necessary to ensure burrowing owl have not colonized the site since it was last disturbed. If burrowing owl are found, the same coordination described above will be necessary.

Therefore, the subject project is consistent with the Additional Survey Needs and Procedures of the MSHCP.

6. The Project is consistent with the Urban/Wildlands Interface Guidelines.

Section 6.1.4 of the MSHCP sets forth guidelines that are intended to address indirect effects associated with locating development in proximity to the MSHCP Conservation Area, where applicable.

The guidelines in Section 6.1.4 of the MSHCP are intended to address indirect effects associated with development near MSHCP Conserved Areas. Developments in proximity to MSHCP Conserved Areas may result in “edge effects” that might adversely affect biological resources within MSHCP Conserved Areas. Lake Elsinore, which is identified as “Public/Quasi Public (PQP) Conserved Lands” by the MSHCP is located to the north and west of the project site.

According to the MSHCP development may occur adjacent to Conservation Areas. Future Development in proximity to Conservation Areas may result in Edge Effects that will adversely affect biological resources within the Conservation Areas. To minimize such Edge Effects, the Project Applicant will be required to follow the Urban/Wildlands Interface Guidelines in Section 6.1.4 of the MSHCP to minimize urban/wildlands interface issues in the nearby Criteria Area. These include measures related to indirect impacts such as water quality (drainage), use of toxics, night lighting, indirect noise, invasive plant and wildlife species, protection

of habitat areas (barriers), and grading/land development adjacent to habitat areas.

The 3.76-acre Project Site impact area is not located adjacent to an existing or proposed MSHCP Conservation Area. Regardless, all applicable proposed Urban/Wildlands Interface guidelines will be implemented for the proposed Project Site impact area. Compliance with all the following MSHCP Urban/Wildlands Interface guidelines will ensure that the proposed project will not result in significant indirect impacts to potential future proposed conservation areas in the northern region of Cell Group X.

7. The Project is consistent with the Vegetation Mapping requirements.

On October 20, 2021, Cadre Environmental conducted a field survey of the site. The field survey identified plant and animal species found on the project site. The Project site contains 3.26 acres of disturbed/developed land and 0.50 acres of Riversidean Sage Scrub, as shown on Figure 4.

This mapping is sufficient under the MSHCP and is consistent with the MSHCP vegetation mapping requirements.

8. The proposed project is consistent with the Fuels Management Guidelines.

Section 6.4 of the MSHCP requires that new developments adjacent to the MSHCP Conservation Area or other undeveloped lands incorporate any fuel/brush management zones and Best Management Practices. The 3.76-acre Project Site impact area is not located adjacent to an existing or proposed MSHCP Conservation Area, is proposed as a non-combustible commercial development, and undeveloped areas adjacent to the Project Site are anticipated to be developed and is therefore not expected to be subject to fuel modification requirements

Therefore, the Project is consistent with the Fuels Management Guidelines as set forth in Section 6.4 of the MSHCP.

9. The Project will be conditioned to pay the City's MSHCP Local Development Mitigation Fee.

The project has been conditioned to pay the City's MSHCP Local Development Mitigation Fee prior to issuance of building permits for the project.

10. The Project is consistent with the MSHCP.

Based on the reasons above, the project is consistent with the MSHCP.

Section 3: Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby finds that the project is consistent with the MSHCP.

Section 4: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day of February, 2023.

Matthew Dobler, Chairman

Attest:

Damaris Abraham,
Interim Assistant Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held February 21, 2023 and that the same was adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Damaris Abraham,
Interim Assistant Community Development Director

RESOLUTION NO. 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2022-01 TO ESTABLISH A 2,649 SQUARE-FOOT DRIVE-THROUGH RESTAURANT AT APNS: 347-130-033 AND 347-130-034

Whereas, Gabriela Marks, Marks Architects, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2021-25 (Conditional Use Permit No. 2022-01, Conditional Use Permit No. 2022-04, and Commercial Design Review No. 2022-01) to construct and operate two drive-through restaurants (2,646 sq. ft. and 624 sq. ft., respectively) on adjacent parcels in the Ramsgate Specific Plan. The project site is located on the northwest side of Highway 74, southeast of North Frontage Road and bisected by El Toro Cut Off Road in the Ramsgate Specific Plan. (APNs: 347-130-033; 347-130-034; 347-130-035); and,

Whereas, Section 17.415.070.A of the Lake Elsinore Municipal Code (LEMC) provides that certain uses have operational characteristics that, depending on the location and design of the use, may have the potential to negatively impact adjoining properties, businesses or residents and therefore are permitted subject to the issuance of a Conditional Use Permit, which allows the City to comprehensively review and approve the use; and,

Whereas, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and,

Whereas, on February 21, 2023, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the project and has found it acceptable.

Section 2: The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 In-fill Development Projects because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services.

Section 3: That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Conditional Use Permit No. 2022-01:

1. That the proposed use is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

The project site is located in the Ramsgate Specific Plan and has a land use designation of Commercial. This designation is primarily intended to accommodate a shopping area that provides convenience goods and services for the residential neighborhoods. According to Section 9.2 of the Ramsgate Specific Plan, fast food restaurants including drive-throughs are permitted subject to approval of a use permit. Furthermore, the proposed development conforms to the applicable development standards and criteria of the Commercial designation. Therefore, the proposed drive-through food establishment is consistent with the commercial designation of the subject site as described in the Ramsgate Specific Plan.

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

The proposed use does not involve the potential for causing detrimental effects to the existing surrounding community or the general public. The proposed drive-through restaurants are compatible with the surrounding uses in the vicinity. The project has been conditioned as such to avoid any possible negative impacts associated with the proposed project.

3. The site is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

The proposed site plan provides sufficient drive-through lane lengths to accommodate assumed peak vehicle queuing space, as well as provide conforming building and drive lane setbacks from the right-of-way.

4. The site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

The project would include construction of frontage improvements, construction of a new traffic signal at the Highway 74 and El Toro Cut Off Road, and payment of a 1.5 percent fair share contribution to a new traffic signal at Highway 74 and Crater Drive. Furthermore, the project has been designed to ensure that drive-through operations do not impact surrounding roadways due to queuing spillover. Therefore, the proposed improvements will be sufficient for the type and quantity of traffic generated by the proposed use.

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

The project has been thoroughly reviewed and conditioned by all applicable City departments thereby eliminating the potential for any adverse effects.

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

Pursuant to Section 17.415.070.B of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing on February 21, 2023, appropriate

and applicable conditions of approval have been included to protect the public health, safety and general welfare.

Section 4: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Conditional Use Permit No. 2022-01.

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st of February, 2023.

Matthew Dobler, Chairman

Attest:

Damaris Abraham,
Interim Assistant Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held February 21, 2023 and that the same was adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Interim Assistant Community Development Director

RESOLUTION NO. 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2022-04 TO ESTABLISH A 624 SQUARE-FOOT DRIVE-THROUGH RESTAURANT AT APN: 347-130-035

Whereas, Gabriela Marks, Marks Architects, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2021-25 (Conditional Use Permit No. 2022-01, Conditional Use Permit No. 2022-04, and Commercial Design Review No. 2022-01) to construct and operate two drive-through restaurants (2,646 sq. ft. and 624 sq. ft., respectively) on adjacent parcels in the Ramsgate Specific Plan. The project site is located on the northwest side of Highway 74, southeast of North Frontage Road and bisected by El Toro Cut Off Road in the Ramsgate Specific Plan. (APNs: 347-130-033; 347-130-034; 347-130-035); and,

Whereas, Section 17.415.070.A of the Lake Elsinore Municipal Code (LEMC) provides that certain uses have operational characteristics that, depending on the location and design of the use, may have the potential to negatively impact adjoining properties, businesses or residents and therefore are permitted subject to the issuance of a Conditional Use Permit, which allows the City to comprehensively review and approve the use; and,

Whereas, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and,

Whereas, on February 21, 2023, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the project and has found it acceptable.

Section 2: The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 In-fill Development Projects because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services.

Section 3: That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Conditional Use Permit No. 2022-04:

1. That the proposed use is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

The project site is located in the Ramsgate Specific Plan and has a land use designation of Commercial. This designation is primarily intended to accommodate a shopping area that provides convenience goods and services for the residential neighborhoods. According to Section 9.2 of the Ramsgate Specific Plan, fast food restaurants including drive-throughs are permitted subject to approval of a use permit. Furthermore, the proposed development conforms to the applicable development standards and criteria of the Commercial designation. Therefore, the proposed drive-through food establishment is consistent with the commercial designation of the subject site as described in the Ramsgate Specific Plan.

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

The proposed use does not involve the potential for causing detrimental effects to the existing surrounding community or the general public. The proposed drive-through restaurants are compatible with the surrounding uses in the vicinity. The project has been conditioned as such to avoid any possible negative impacts associated with the proposed project.

3. The site is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

The proposed site plan provides sufficient drive-through lane lengths to accommodate assumed peak vehicle queuing space, as well as provide conforming building and drive lane setbacks from the right-of-way.

4. The site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

The project would include construction of frontage improvements, construction of a new traffic signal at the Highway 74 and El Toro Cut Off Road, and payment of a 1.5 percent fair share contribution to a new traffic signal at Highway 74 and Crater Drive. Furthermore, the project has been designed to ensure that drive-through operations do not impact surrounding roadways due to queuing spillover. Therefore, the proposed improvements will be sufficient for the type and quantity of traffic generated by the proposed use.

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

The project has been thoroughly reviewed and conditioned by all applicable City departments thereby eliminating the potential for any adverse effects.

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

Pursuant to Section 17.415.070.B of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing on February 21, 2023, appropriate

and applicable conditions of approval have been included to protect the public health, safety and general welfare.

Section 4: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Conditional Use Permit No. 2022-04.

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day of February, 2023.

Matthew Dobler, Chairman

Attest:

Damaris Abraham,
Interim Assistant Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held February 21, 2023 and that the same was adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Interim Assistant Community Development Director

RESOLUTION NO. 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING COMMERCIAL DESIGN REVIEW NO. 2022-01 PROVIDING BUILDING DESIGN AND RELATED IMPROVEMENTS FOR TWO DRIVE-THROUGH RESTAURANTS TO BE LOCATED AT APNS: 347-130-033, 347-130-034 and 347-130-035

Whereas, Gabriela Marks, Marks Architects, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2021-25 (Conditional Use Permit No. 2022-01, Conditional Use Permit No. 2022-04, and Commercial Design Review No. 2022-01) to construct and operate two drive-through restaurants (2,646 sq. ft. and 624 sq. ft., respectively) on adjacent parcels in the Ramsgate Specific Plan. The project site is located on the northwest side of Highway 74, southeast of North Frontage Road and bisected by El Toro Cut Off Road in the Ramsgate Specific Plan. (APNs: 347-130-033; 347-130-034; 347-130-035); and

Whereas, pursuant to Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and,

Whereas, on February 21, 2023, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP), and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP, the Ramsgate Specific Plan and the LEMC.

Section 2: The Commission finds that the proposed project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15332 In-fill Development Projects because the project (a) is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, (b) the site of the proposed development is within city limits on a project site of less than five acres substantially surrounded by urban uses, (c) the project site has no value as habitat for endangered, rare or threatened species, (d) the project will not result in any significant effects relating to traffic, noise, air quality, or water quality, and (e) the site can be adequately served by all required utilities and public services.

Section 3: That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Commercial Design Review No. 2022-01:

1. The project, as approved, will comply with the goals and objectives of the General Plan and the zoning district in which the project is located.

The project site is located in the Ramsgate Specific Plan and has a land use designation of Commercial. This designation is primarily intended to accommodate a shopping area that provides convenience goods and services for the residential neighborhoods. Pursuant to Section 9.2 of the Ramsgate Specific Plan, fast food restaurants including drive-throughs are permitted subject to approval of a use permit.

Therefore, the proposed drive-through fast food establishments are consistent with the commercial designation of the subject site as described in the General Plan. The proposed commercial project will assist in achieving the development of a well-balanced and functional mix of residential, commercial, industrial, open space, recreational and institutional land uses.

2. The Project complies with the design directives contained in the LEMC and all applicable provisions of the LEMC.

The project is appropriate to the site and surrounding developments. The architectural design of the proposed buildings conforms to the Nonresidential Development Standards (Chapter 17.112) of the LEMC. Sufficient setbacks and enhanced onsite landscaping have been provided thereby creating interest and varying vistas as a person moves along abutting streets. The architecture has been designed to achieve harmony and compatibility with the surrounding area. The colors and materials proposed will assist in blending the architecture into the existing landscape and are compatible with other colors and materials used on other properties near the project site. In addition, safe and efficient circulation has been achieved onsite.

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the project was considered by the Planning Commission at a duly noticed Public Hearing held on February 21, 2023. The project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.

Section 4: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the project, the Commission hereby approves Commercial Design Review No. 2022-01.

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 21st day of February, 2023.

Matthew Dobler, Chairman

Attest:

Damaris Abraham,
Interim Assistant Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held February 21, 2023 and that the same was adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Interim Assistant Community Development Director

CONDITIONS OF APPROVAL

PROJECT: PA 2021-25/CUP 2022-01/CUP 2022-04/CDR 2022-01
PROJECT NAME: Jack in the Box El Toro
PROJECT LOCATION: APNs: 347-130-033, 347-130-034 and 347-130-035
APPROVAL DATE:
EFFECTIVE DATE:
EXPIRATION DATE:

GENERAL

1. Planning Application No. 2021-39 (Conditional Use Permit No. 2021-15 and Commercial Design Review No. 2021-19) proposes to construct and operate two drive-through restaurants on adjacent parcels in the Ramsgate Specific Plan. The project site is located on the northwest side of Highway 74, southeast of North Frontage Road and bisected by El Toro Cut Off Road in the Ramsgate Specific Plan. (APNs: 347-130-033; 347-130-034; 347-130-035)
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning approval, implementation and construction of CUP 2022-01, CUP 2022-04 and CDR 2022-01, which action is brought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension or modification of CUP 2022-01, CUP 2022-04 and CDR 2022-01 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community Development Department for inclusion in the case records.

PLANNING DIVISION

4. Conditional Use Permit No. 2022-01 shall lapse and become void two years following the date on which the conditional use permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the conditional use permit approval pursuant to subsections (a), (b), and (c) of Lake Elsinore Municipal Code (LEMC) Section 17.415.070.D.2. Subject to the provisions of

LEMC Section 17.415.070.I, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure, which was the subject of the Conditional Use Permit application.

5. Conditional Use Permit No. 2022-04 shall lapse and become void two years following the date on which the conditional use permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the conditional use permit approval pursuant to subsections (a), (b), and (c) of Lake Elsinore Municipal Code (LEMC) Section 17.415.070.D.2. Subject to the provisions of LEMC Section 17.415.070.I, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure, which was the subject of the Conditional Use Permit application.
6. Commercial Design Review No. 2022-01 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
7. An application for modification, expansion or other change in a Conditional Use Permit shall be reviewed according to the provisions of the Section 17.415.070 of the LEMC, in a similar manner as a new application.
8. If operation of this use raises concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said Conditional Use Permit.
9. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of a Certificate of Occupancy and release of utilities.
10. All future development proposals shall be reviewed by the City on a project-by-project basis. If determined necessary by the Community Development Director or designee, additional environmental analysis will be required.
11. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application. Grading plan revisions shall be reviewed by the City Engineer.

12. Provisions of the City's Noise Ordinance (LEMC Chapter 17.176) shall be satisfied during all site preparation and construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays.
13. The following noise prevention measures shall be implemented during project construction:
 - i. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices.
 - ii. The contractor should locate equipment staging areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors nearest the project site during all project construction.
 - iii. Idling equipment should be turned off when not in use.
14. No individual signs are approved as part of this approval. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site.
15. Graffiti shall be removed within 24 hours.
16. All materials and colors depicted on the approved plans shall be used. If the applicant wishes to modify any of the approved materials or colors depicted on the plans, the applicant shall submit a proposal setting forth the modifications for review by the Community Development Director or his designee.
17. The entire site shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.
18. The measures identified in the submitted Queueing Management Plan shall be implemented to ensure that operation of the drive-throughs do not interfere with free and orderly circulation of the parking lots and to avoid spillover of vehicles into public right-of-way.
19. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation.

Prior to Issuance of Grading Permits/Building Permits

20. Prior to issuance of a building permit, the applicant shall pay Development Impact Fees (DIF) and Multiple Species Habitat Conservation Plan (MSHCP) Fees per LEMC Section 16.85, at the rate in effect at the time of payment.
21. All roof mounted or ground support air conditioning units or other mechanical equipment incidental to development shall be architecturally screened or shielded by landscaping so that they are not visible from neighboring property or public streets. Any roof mounted

- central swamp coolers shall also be screened, and the Community Development Director, prior to issuance of building permit shall approve screening plan.
22. The project shall meet all requirements of the Elsinore Valley Municipal Water District (EVMWD). The applicant shall submit water and sewer plans to the EVMWD and shall incorporate all district conditions and standards.
 23. The property address (in numerals at least six inches high) shall be displayed near the entrance and be easily visible from the front of the subject property and public right-of-way.
 24. The applicant shall construct trash enclosure(s) with a decorative roof to match the colors, materials and design of the project architecture.
 25. Prior to issuance of a building permit, the Final Landscaping / Irrigation Detail Plans shall be submitted to the Community Development Department with appropriate fees, for review and approval by the Community Development Director or designee.
 - a. All planting areas shall have permanent and automatic sprinkler system with 50% plant coverage using a drip irrigation method.
 - b. All planting areas shall be separated from paved areas with a six inch (6") high and six inch (6") wide concrete curb. Runoff shall be allowed from paved areas into landscape areas.
 - c. Planting within fifteen feet (15') of ingress/egress points shall be no higher than twenty-four inches (24").
 - d. Landscape planters shall be planted with an appropriate parking lot shade tree pursuant to the LEMC and Landscape Design Guidelines.
 - e. No required tree planting bed shall be less than 5 feet wide.
 - f. Root barriers shall be installed for all trees planted within 10 feet of hardscape areas to include sidewalks.
 - g. Any transformers and mechanical or electrical equipment shall be indicated on landscape plan and screened as part of the landscaping plan.
 - h. The landscape plan shall provide for ground cover, shrubs, and trees and meet all requirements of the City's adopted Landscape Guidelines.
 - i. All landscaping and irrigation shall be installed within affected portion of any phase at the time a Certificate of Occupancy is requested for any building.
 - j. Final landscape plan must be consistent with approved site plan.
 - k. Final landscape plans to include planting and irrigation details and shall blend in with the existing shopping center.
 - l. Final landscape plans shall include drought tolerant planting consistent with Elsinore Valley Municipal Water District standards subject to plan check and approval by the City's landscape plan check consultant.
 - m. No turf shall be permitted.
 26. Landscaping installed for the project shall be continuously maintained to the reasonable satisfaction of the Community Development Director. If it is determined that the landscaping is not being maintained, the Director of Community Development shall have the authority to require the property owner to bring the landscaping into conformance with the approved landscape plan. The continued maintenance of all landscaped areas shall be the responsibility of the developer or any successors in interest.
 27. The proposed location of on-site construction trailers shall be approved by the Community

Development Director or designee. A cash bond of \$1,000 shall be required for any construction trailers placed on the site and used during construction. Bonds will be released after removal of trailers and restoration of the site to an acceptable state, subject to approval of the Community Development Director or designee. Such trailer(s) shall be fully on private property and outside the public right of way.

Multiple Species Habitat Conservation Plan (MSHCP) Measures

28. Due to the presence of potentially suitable habitat, a 30-day preconstruction survey for burrowing owls is required prior to initial ground-disturbing activities (including vegetation clearing, clearing and grubbing, tree removal, site watering, equipment staging, grading, etc.) to ensure that no owls have colonized the site in the days or weeks preceding the ground-disturbing activities. If burrowing owls have colonized the project site prior to the initiation of ground-disturbing activities, the project proponent will immediately inform the Regional Conservation Authority (RCA) and the Wildlife Agencies, and will need to coordinate further with RCA and the Wildlife Agencies, including the possibility of preparing a Burrowing Owl Protection and Relocation Plan, prior to initiating ground disturbance. If ground-disturbing activities occur, but the site is left undisturbed for more than 30 days, a pre-construction survey will again be necessary to ensure burrowing owl has not colonized the site since it was last disturbed. If burrowing owl is found, the same coordination described above will be necessary.
29. Pursuant to Section 6.1.4 of the MSHCP, applicant shall implement the following measures as applicable:
- i. Incorporate measures to control the quantity and quality of runoff from the site entering the MSHCP Conservation Area. In particular, measures shall be put in place to avoid discharge of untreated surface runoff from developed and paved areas into MSHCP Conservation Areas. Best Management Practices (BMPs) will be implemented to prevent the release of toxins, chemicals, petroleum products, exotic plant materials, or other elements that might degrade or harm downstream biological resources or ecosystems.
 - ii. Land uses proposed in proximity to the MSHCP Conservation Area that use chemicals or generate bioproducts, such as manure, that are potentially toxic or may adversely affect wildlife species, Habitat, or water quality shall incorporate measures to ensure that application of such chemicals does not result in discharge to the MSHCP Conservation Area. The greatest risk is from landscaping fertilization overspray and runoff.
 - iii. Night lighting shall be directed away from the MSHCP Conservation Area and the avoided area on site to protect species from direct night lighting.
 - iv. Proposed noise-generating land uses affecting the MSHCP Conservation Area, including designated avoidance areas, shall incorporate setbacks, berms, or walls to minimize the effects of noise on MSHCP Conservation Area resources pursuant to applicable rules, regulations, and guidelines related to land use noise standards.
 - v. Avoid use of invasive, non-native plant species listed in Table 6-2 of the MSHCP in approving landscape plans for the portions of the project that are adjacent to the MSHCP Conservation Area, including avoidance areas. Considerations in reviewing the applicability of this list shall include proximity of planting areas to the MSHCP Conservation Areas and designated avoidance areas, species considered in the planting plans, resources being protected within the MSHCP

- Conservation Area and their relative sensitivity to invasion, and barriers to plant and seed dispersal, such as walls, topography, and other features.
- vi. Proposed land uses adjacent to the MSHCP Conservation Area shall incorporate barriers, where appropriate, in individual project designs to minimize unauthorized public access, domestic animal predation, illegal trespass, or dumping into existing and future MSHCP Conservation Areas. Such barriers may include native landscaping, rocks/boulders, fencing, walls, signage, and/or other appropriate mechanisms.
 - vii. Manufactured slopes associated with proposed site development shall not extend into the MSHCP Conservation Area.
 - viii. Weed abatement and fuel modification activities are not permitted in the Conservation Area, including designated avoidance areas.
30. Pursuant to Appendix C of the MSHCP, the following best management practices (BMPs), as applicable, shall be implemented for the duration of construction:
- i. A condition shall be placed on grading permits requiring a qualified biologist to conduct a training session for project personnel prior to grading. The training shall include a description of the species of concern and its habitats, the general provisions of the Endangered Species Act (Act) and the MSHCP, the need to adhere to the provisions of the Act and the MSHCP, the penalties associated with violating the provisions of the Act, the general measures that are being implemented to conserve the species of concern as they relate to the project, and the access routes to and project site boundaries within which the project activities must be accomplished.
 - ii. Water pollution and erosion control plans shall be developed and implemented in accordance with RWQCB requirements.
 - iii. The footprint of disturbance shall be minimized to the maximum extent feasible. Access to sites shall be via pre-existing access routes to the greatest extent possible.
 - iv. The upstream and downstream limits of projects disturbance plus lateral limits of disturbance on either side of the stream shall be clearly defined and marked in the field and reviewed by the biologist prior to initiation of work.
 - v. Projects should be designed to avoid the placement of equipment and personnel within the stream channel or on sand and gravel bars, banks, and adjacent upland habitats used by target species of concern.
 - vi. Projects that cannot be conducted without placing equipment or personnel in sensitive habitats should be timed to avoid the breeding season of riparian species identified in MSHCP Global Species Objective No. 7.
 - vii. When stream flows must be diverted, the diversions shall be conducted using sandbags or other methods requiring minimal instream impacts. Silt fencing of other sediment trapping materials shall be installed at the downstream end of construction activity to minimize the transport of sediments off site. Settling ponds where sediment is collected shall be cleaned out in a manner that prevents the sediment from reentering the stream. Care shall be exercised when removing silt fences, as feasible, to prevent debris or sediment from returning to the stream.
 - viii. Equipment storage, fueling, and staging areas shall be located on upland sites with minimal risks of direct drainage into riparian areas or other sensitive habitats.

These designated areas shall be located in such a manner as to prevent any runoff from entering sensitive habitat. Necessary precautions shall be taken to prevent the release of cement or other toxic substances into surface waters. Project related spills of hazardous materials shall be reported to appropriate entities including but not limited to applicable jurisdictional city, FWS, and CDFG, RWQCB and shall be cleaned up immediately and contaminated soils removed to approved disposal areas.

- ix. Erodible fill material shall not be deposited into water courses. Brush, loose soils, or other similar debris material shall not be stockpiled within the stream channel or on its banks.
- x. The qualified project biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the project footprint.
- xi. The removal of native vegetation shall be avoided and minimized to the maximum extent practicable. Temporary impacts shall be returned to pre-existing contours and revegetated with appropriate native species.
- xii. Exotic species that prey upon or displace target species of concern should be permanently removed from the site to the extent feasible.
- xiii. To avoid attracting predators of the species of concern, the project site shall be kept as clean of debris as possible. All food related trash items shall be enclosed in sealed containers and regularly removed from the site(s).
- xiv. Construction employees shall strictly limit their activities, vehicles, equipment, and construction materials to the proposed project footprint and designated staging areas and routes of travel. The construction area(s) shall be the minimal area necessary to complete the project and shall be specified in the construction plans. Construction limits will be fenced with orange snow screen. Exclusion fencing should be maintained until the completion of all construction activities. Employees shall be instructed that their activities are restricted to the construction areas.
- xv. The Permittee shall have the right to access and inspect any sites of approved projects including any restoration/enhancement area for compliance with project approval conditions, including these BMPs.

BUILDING DIVISION

General Conditions

1. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes which are enforced at the time of building plan submittal.
2. Compliance with Code. All design components shall comply with applicable provisions of the 2022 edition of the California Building, Plumbing and Mechanical Codes: 2022 California Electrical Code; California Administrative Code, 2022 California Energy Codes, 2022 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.
3. Green Measures. The application shall provide 10% voluntary green measures on the

project, as stipulated by the 2022 California Green Building Standards.

4. Disabled Access. Applicant shall provide details of all applicable disabled access provisions and building setbacks on plans to include:
 - a. All ground floor units to be adaptable.
 - b. Disabled access from the public way to the entrance of the building.
 - c. Van accessible parking located as close as possible to the main entry.
 - d. Path of accessibility from parking to furthest point of improvement.
 - e. Path of travel from public right-of-way to all public areas on site, such as club house, trash enclosure, tot lots and picnic areas.
5. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single-family residential projects. It takes 10 days to issue address and notify other agencies. Please contact Sonia Salazar at ssalazar@lake-elsinore.org or 951-674-3124 X 277.
6. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department to ensure the payment or exemption from School Mitigation Fees.
7. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.
8. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.
9. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.
10. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

At Plan Review Submittal

11. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
 - a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
 - b. A Sound Transmission Control Study in accordance with the provisions of the Section 5.507, of the 202241 edition of the California Building Code.
 - c. A precise grading plan to verify accessibility for the persons with disabilities.
 - d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

Prior to Issuance of Grading Permit(s)

12. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.
13. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project. Asbestos report and lead base paint reports are required before demo permit will be issued.

Prior to Issuance of Building Permit(s)

14. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.

Prior to Beginning of Construction

15. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

ENGINEERING DEPARTMENT

GENERAL

16. All new submittals for plan check or permit shall be made using the City's online Citizen Self-Service Portal (CSSP).
17. All plans (Street, Storm Drain, Improvement, Grading) shall be prepared by a Registered Civil Engineer using the City's standard title block.
18. All required soils, geology, hydrology and hydraulic and seismic reports shall be prepared by a Registered Civil Engineer.
19. All slopes and landscaping within the public right-of-way shall be maintained by the property owner, owner's association, firms contracted by the property owner's association, or another maintenance entity approved by the City Council.
20. All open space and slopes except for public parks and schools and flood control district facilities, outside the public right-of-way shall be owned and maintained by the property owner or property owner's association.
21. In accordance with the City's Franchise Agreement for waste disposal & recycling, the applicant shall be required to contract with CR&R Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated both during cleaning, demolition, clear and grubbing or all other phases of construction and during occupancy.
22. Applicant shall submit a detailed hydrology and hydraulic study for review for the sufficient containment and conveyance of the storm water to a safe and adequate point as approved by the City Engineer.

23. The site will accommodate all construction activity, building activity, vehicles, etc. No staging on public streets, or private property belonging to others shall be conducted without the written permission of the property owner.
24. Minimum good housekeeping and erosion and sediment control Best Management Practices (BMPs) as identified by the City shall be implemented.

FEES

25. Applicant shall pay all applicable permit application and Engineering Department assessed fees, including without limitation plan check and construction inspection fees, at the prevalent rate at time of payment in full.
26. Applicant shall pay all applicable Mitigation and Development Impact Fees at the prevalent rate at time of payment in full. Mitigation and Development Impact Fees include without limitation:
 - Master Plan of Drainage Fee – Due prior to Grading Permit issuance
 - Traffic Infrastructure Fee (TIF) – Due prior to Building Permit issuance
 - Transportation Uniform Mitigation Fee (TUMF) – Due prior to Occupancy
 - Stephens' Kangaroo Habitat Fee (K-Rat) – Due prior to Grading Permit issuance

LAND DIVISION-DEDICATION

27. Applicant shall dedicate right-of-way along Central Avenue (State Route 74) adjacent to the property frontage for a minimum total right-of-way of 67 feet from centerline to the project property line. Central Avenue is classified as an Augmented Urban Arterial Highway in the City's General Plan Circulation Element, where full-width is 134 feet and curb-to-curb width is 110 feet.
28. Applicant shall submit plan check review and approval for right of way vacation at the northerly terminus of N. Frontage Road resulting in a 30 feet street half section. N. Frontage Road is classified as a Local Street with a 60-foot right of way.
29. Underground water rights shall be dedicated to the City pursuant to the provisions of Section 16.52.030 in the Lake Elsinore Municipal Code (LEMC), and consistent with the City's agreement with the Elsinore Valley Municipal Water District.
30. Covenants, Conditions and Restrictions (CC&Rs) shall be submitted to the City for review approval.
31. Applicant shall submit a parcel merger application for plan check and approval for APN's 347-130-033 and 347-130-034. The parcel merger shall be recorded prior to building permit issuance.

STORM WATER MANAGEMENT / POLLUTION PREVENTION / NPDES

Design

32. The project is responsible for complying with the Santa Ana Region National Pollutant Discharge Elimination System (NPDES) Permits as warranted based on the nature of

development and/or activity.

33. The 2010 SAR MS4 Permit requires evaluation of the site for implementation of LID Principles and LID Site Design, where feasible, to treat the pollutants of concern identified for the project (Section XXII.E.2, XII.E.3, and XII.E.7).
34. A Final Water Quality Management Plan (WQMP) shall be prepared using the Santa Ana Region of Riverside County Guidance Document and approved template and submitted for review and approval to the City.
 - The Final WQMP shall be approved by the City prior to rough grading plan approval, or issuance of any permit for construction, whichever is first.
35. The Final WQMP shall document the following:
 - Detailed site and project description.
 - Potential stormwater pollutants.
 - Post-development drainage characteristics.
 - Low Impact Development (LID) BMP selection and analysis.
 - Structural and non-structural source control BMPs.
 - Treatment Control BMPs.
 - Site design and drainage plan (BMP Exhibit).
 - Documentation of how vector issues are addressed in the BMP design, operation and maintenance.
 - GIS Decimal Minute Longitude and Latitude coordinates for all LID and Treatment Control BMP locations.
 - Hydraulic Conditions of Concern (HCOC) – demonstrate that discharge flow rates, velocities, duration and volume for the post construction condition from a 2-year, 24-hour rainfall event will not cause adverse impacts on downstream erosion and receiving waters, or measures are implemented to mitigate significant adverse impacts downstream public facilities and water bodies. Evaluation documentation shall include pre- and post-development hydrograph volumes, time of concentration and peak discharge velocities, construction of sediment budgets, and a sediment transport analysis. If HCOC applies, the project shall implement measures to limit disturbance of natural water bodies and drainage systems; conserve natural areas; protect slopes and channels; and minimize significant impacts from urban runoff. (Note the facilities may need to be larger due to flood mitigation for the 10-year, 6- and 24-hour rain events).
 - Operations and Maintenance (O&M) Plan and Agreement (using City approved form and/or CC&Rs) as well as documentation of formation of funding district for long term maintenance costs.
36. Parking lot landscaping areas shall be designed to provide for treatment, retention or infiltration of runoff.
37. Project hardscape areas shall be designed and constructed to provide for drainage into adjacent landscape.
38. Project trash enclosure shall be covered, bermed, and designed to divert drainage from adjoining paved areas and regularly maintained.
39. If CEQA identifies resources requiring Clean Water Act Section 401 Permitting, the applicant

shall obtain certification through the Santa Ana Regional Water Quality Control Board and provide a copy to the Engineering Department.

40. All storm drain inlet facilities shall be appropriately marked "Only Rain in the Storm Drain" using the City authorized marker.
41. The project shall use either volume-based and/or flow-based criteria for sizing BMPs in accordance with NPDES Permit Provision XII.D.4.
42. The project site shall implement full trash capture methods/devices approved by the Region Water Quality Control Board. This shall include installation of connector pipe screens on all onsite catch basins and all offsite catch basins to which the project discharges.
43. All restaurants and commercial food handling facilities must provide an area for the washing/steam cleaning of equipment and accessories. The area must be self-contained, equipped with a grease trap, and properly connected to a sanitary sewer. If the wash area is located outdoors, it must be covered, paved have secondary containment, and be connected to the sanitary sewer or other appropriately permitted disposal facility. Plan Requirements: The Owner/Applicant shall incorporate these food facility requirements into project design and depict on plans, including detail plans as needed.

Construction

44. A Storm Water Pollution Prevention Plan (SWPPP) (as required by the NPDES General Construction Permit) and compliance with the Green Building Code for sediment and erosion control are required for this project.
45. Prior to grading or building permit for construction or demolition and/or weed abatement activity, projects subject to coverage under the NPDES General Construction Permit shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer. A copy of the SWPPP shall be kept at the project site, updated, and be available for review upon request.
46. Erosion & Sediment Control – Prior to the issuance of any grading or building permit for construction or demolition, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water quality regulations for grading and construction activities. A copy of the plan shall be incorporated into the SWPPP, kept updated as needed to address changing circumstances of the project site, be kept at the project site, and available for review upon request.

Post-Construction

47. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
 - Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.

- Provide signed, notarized certification from the Engineer of Work that the structural BMPs identified in the project's WQMP are installed in conformance with approved plans and specifications and operational.
- Submit a copy of the fully executed, recorded City approved Operations and Maintenance (O&M) Plan and Agreement for all structural BMPs or a copy of the recorded City approved CC&R.
- The O&M Plan and Agreement and/or CC&R's shall: (1) describe the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identify the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; (3) describe the mechanism for funding the long-term operation and maintenance of the referenced BMPs; and (4) provide for annual certification for water quality facilities by a Registered Civil Engineer. The City format shall be used.
- Provide documentation of annexation into a CFD for funding facilities to be maintained by the City.
- Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan or CC&R's attached) are available for each of the initial occupants.
- Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the Engineer of Work dated 12 months after the Certificate of Occupancy will be considered in lieu of a Special Investigation by the City.
- Provide the City with a digital .pdf copy of the Final WQMP.

UTILITIES

48. All arrangements for relocation of utility company facilities (power poles, vaults, etc.) out of the roadway shall be the responsibility of the applicant, property owner, and/or his agent. Overhead utilities (34.5 kV or lower) shall be undergrounded (LEMC Section 16.64).
49. Underground water rights shall be dedicated to the City pursuant to the provisions of LEMC Section 16.52.030, and consistent with the City's agreement with the Elsinore Valley Municipal Water District.
50. Applicant shall apply for, obtain and submit to the City Engineering Department a letter from Southern California Edison (SCE) indicating that the construction activity will not interfere with existing SCE facilities. Non-Interference Letter (NIL) shall be provided prior to issuance of Grading Permit.
51. Submit a "Will Serve" letter to the City Engineering Department from the applicable water agency stating that water and sewer arrangements have been made for this project and specify the technical data for the water service at the location, such as water pressure, volume, etc. Will Serve letters shall be provided prior to issuance of Grading Permit.

IMPROVEMENTS

52. Applicant shall implement traffic mitigation measures identified in the Traffic Impact Analysis by Trames Solutions Inc. dated August 1, 2022, as specified in Section 6.0 of the study.
53. All street improvements shall be implemented as part of the first phase of the project.

Improvements include but are not limited to:

- Construction of ultimate half-width street improvements adjacent to project frontage on Central Avenue (Augmented Urban Arterial, 134-foot full-width right-of-way). Improvements include but are not limited to road widening (AC pavement and base material), curb and gutter, sidewalks, curb ramps, parkway landscaping, and streetlights. Widening shall include transition paving and striping to match existing conditions.
 - Construction of ultimate half-width street improvements adjacent to project frontage on N. Frontage Road (Local Road, 60-foot full-width right-of-way). Improvements include but are not limited to road widening plus 12 feet (AC pavement and base material), curb and gutter, sidewalks, curb ramps, parkway landscaping, and streetlights.
 - Construction of ultimate street improvements of El Toro Cut Off Road adjacent to project limits. Improvements include but are not limited to road widening (AC pavement and base material), curb and gutter, sidewalks, curb ramps, parkway landscaping.
 - Installation of traffic signals at the intersection of Central Ave (State Route 74) and El Toro Cut Off Road including modification of signing and striping and installation curb ramp to accommodate pedestrian crossing.
 - Modification of existing and installation of new signing and striping for required improvements. The project shall be responsible for any additional paving and/or striping removal caused by the striping plan.
54. Project shall coordinate with Riverside Transit Authority (RTA) for location and installation of bus transit facilities. Required bus stop improvements and/or relocation shall be shown on plans submitted for project grading and development. Improvements are subject to review and approval by the RTA. Improvements shall be installed prior to first occupancy.
55. Sight distance into and out at each project driveway shall comply with City or Caltrans standards. Project shall ensure facilities are installed in the line of sight of drivers.
56. If existing improvements are to be modified, the existing improvement plans on file shall be revised accordingly and approved by the City Engineer prior to issuance of a building permit.
57. Project will be responsible to design and install streetlights along the project frontage. Streetlight system shall be designed as LS-2B system. Streetlight plans shall include but not limited to details such as location, pole and luminaire type, and pull box design. Streetlight plans may be included as part of the Street Improvement Plans.
58. A registered Civil Engineer shall prepare the improvement, signing and striping, and traffic signal plans required for this project. Improvements shall be designed and constructed to City Standards and Codes (LEMC 12.04 and 16.34).
59. 10-year storm runoff shall be contained within the curb and the 100-year storm runoff shall be contained within the street right-of-way. When either of these criteria are exceeded, drainage facilities shall be provided.
60. All drainage facilities in this project shall be constructed to Riverside County Flood Control District Standards. All public storm drain improvements shall be constructed as part of the

first phase of the project.

61. A drainage study shall be provided. The study shall identify the following: identify storm water runoff from and upstream of the site; show existing and proposed off-site and on-site drainage facilities; and include a capacity analysis verifying the adequacy of the facilities. The drainage system shall be designed to ensure that runoff from a 10-year storm of 6 hours and 24 hours duration under developed condition is equal or less than the runoff under existing conditions of the same storm frequency. Both 6-hour and 24-hour storm duration shall be analyzed to determine the detention requirements to accomplish the desired results.
62. All natural drainage traversing the site shall be conveyed through the site, or shall be collected and conveyed by a method approved by the City Engineer. All off-site drainage, if different from historic flow, shall be conveyed to a public facility.
63. Roof drains shall not be allowed to outlet directly through coring in the street curb. Roofs should drain to a landscaped area.
64. The site shall be planned and developed to keep surface water from entering buildings (California Green Building Standards Code 4.106.3).
65. All existing storm drain inlet facilities adjacent to the subject properties shall be retrofitted with a storm drain filter; all new storm drain inlet facilities constructed by this project shall include a storm drain filter.

PERMITTING/CONSTRUCTION

66. An Encroachment Permit shall be obtained prior to any work on City right-of-way. The applicant shall submit the permit application, required fees and executed agreements, security and other required documentation prior to issuance.
67. All compaction reports, grade certification, monument certification (with tie notes delineated on 8 1/2 X 11" Mylar) shall be submitted to the Engineering Department before final inspection of public works improvements will be scheduled and approved.

PRIOR TO GRADING PERMIT

Design

68. A grading plan signed and stamped by a California Registered Civil Engineer shall be submitted for City review and approval for all addition and/or movement of soil (grading) on site. The plan shall include separate sheets for erosion control, haul route and traffic control. The grading plan submittal shall include all supporting documentation and be prepared using City standard title block, standard drawings and design manual.
69. All grading plan contours shall extend to minimum of 50 feet beyond property lines to indicate existing drainage pattern.
70. The grading plan shall show that no structures, landscaping, or equipment are located near the project entrances that could reduce sight distance.

71. If the grading plan identifies alterations in the existing drainage patterns as they exit the site, a Hydrology and Hydraulic Report for review and approval by City Engineer shall be required prior to issuance of grading permits. All grading that modifies the existing flow patterns and/or topography shall be in compliance with Federal, State and Local law and be approved by the City Engineer.
72. A seismic study shall be performed on the site to identify any hidden earthquake faults, liquefaction and/or subsidence zones present on-site. A certified letter from a registered geologist or geotechnical engineer shall be submitted confirming the absence of this hazard prior to grading permit. The location of faults, active or inactive shall be shown on the plan sets.
73. Applicant shall obtain all necessary off-site easements and/or permits for off-site grading and the applicant shall accept drainage from the adjacent property owners.
74. Applicant shall mitigate to prevent any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
75. All natural drainage traversing the site (historic flow) shall be conveyed through the site in a manner consistent with the historic flow or to one or a combination of the following: to a public facility; accepted by adjacent property owners by a letter of drainage acceptance; or conveyed to a drainage easement as approved by the City Engineer.

Permit/Construction

76. Applicant shall execute and submit grading and erosion control agreement, post grading security and pay permit fees as a condition of grading permit issuance.
77. No grading shall be performed without first having obtained a Grading Permit. A grading permit does not include the construction of retaining walls or other structures for which a Building Permit is required.
78. A preconstruction meeting with the City Engineering Inspector (Engineering Department) is required prior to commencement of any grading activity.
79. Prior to commencement of grading operations, applicant is to provide to the City a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to the review and approval of the City Engineer. Haul route shall be submitted prior to issuance of a grading permit. Hauling in excess of 5,000 cubic yards shall be approved by the City Council (LEMC 15.72.065).
80. All grading shall be done under the supervision of a geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City.
81. Review and approval of the project sediment and erosion control plan shall be completed. As warranted, a copy of the current SWPPP shall be kept at the project site and be available for review upon request.
82. Approval of the project Final Water Quality Management Plan (WQMP) for post construction shall be received prior to issuance of a grading permit.

83. Applicant shall obtain applicable environmental clearance from the Planning Department and submit applicable clearance document to the Engineering Department. This approval shall specify that the project complies with any and all required environmental mitigation triggered by the proposed grading activity.

PRIOR TO BUILDING PERMIT

84. Provide soils, geology and seismic report, including recommendations for parameters for seismic design of buildings, and walls prior to building permit.
85. All public improvement plans, traffic signal plans, signing and striping plans shall be completed and approved by the City Engineer.
86. Parcel merger for APN's 347-130-033 and 347-130-034 shall be recorded.
87. Any dedications, vacations, and easements shall be recorded with the recorded copy provided to the City prior to issuance of the building permit.
88. Applicant shall pay all Capital Improvement, TIF, TUMF, and any outstanding plan check and/or permit fees.

PRIOR TO OCCUPANCY / FINAL APPROVAL

89. All public improvements shall be completed in accordance with the approved plans or as condition of this development to the satisfaction of the City Engineer.
90. Proof of acceptance of maintenance responsibility of slopes, open spaces, landscape areas, and drainage facilities shall be provided.
91. Applicant shall provide a digital copy of the recorded Covenants, Conditions and Restrictions (CC&Rs) to the Engineering Department.
92. As-built plans for all approved plan sets shall be submitted for review and approval by the City. Applicant is responsible for revising the original mylar plans.
93. In the event of the damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
94. Final soil report showing compliance with recommendations, compaction reports, grade certifications, monument certification (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted in .tif format on a USB flash drive or electronically to the Engineering Department before final inspection will be scheduled.
95. All required public right-of-way dedications, vacations and easement shall be recorded with a recorded copy provided to the City prior to first occupancy.
96. Applicant shall pay all outstanding applicable processing and development fees prior to occupancy and/or final approval.
97. Applicant shall submit documentation pursuant to *City's Security Release* handout.

98. Applicant shall submit as-built all Engineering Department approved project plan sets. After City approval of paper copy, the developer/owner is responsible for revising the original mylar plans. Once the original mylars have been approved, the developer shall provide the City with a digital copy of the "as-built" plans in .tif format. 124
99. Applicant shall provide AutoCAD and GIS Shape files of all Street and Storm Drain plans. All data must be in projected coordinate system: NAD 83 State Plane California Zone VI U.S. Fleet. All parts and elements of the designed system shall be represented discretely. Include in the attribute table basic data for each feature, such as diameter and length, as applicable, and for pipes include material (PVC, RCP, etc.) and slope.

CITY OF LAKE ELSINORE FIRE MARSHAL

100. The applicant/operator shall comply with all requirements of the Riverside County Fire Department Lake Elsinore Office of the Fire Marshal. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Office of the Fire Marshal at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 671-3124 Ext. 225.
101. This project is in a Very High Fire Hazard Severity Zone of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed within this project shall comply with special construction provisions contained in the California Building Code.
102. The applicant or developer shall provide fire hydrants in accordance with the following:
 - i. Prior to placing any combustibles on site, provide an approved water source for firefighting purposes.
 - ii. Prior to building permit issuance, submit plans to the water district for a water system capable of delivering fire flow as required by the California Fire Code and Fire Department standards. Fire hydrants shall be spaced in accordance with the California Fire Code.
 - iii. Required fire flow is estimated to be 1,500 GPM at 20 PSI for a 2-hour duration based on 2019 California Fire Code and 2,668 square foot building area with Type V-B construction.
103. Prior to building permit issuance, install the approved water system and contact the Fire Department for a verification inspection.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

104. Prior to Building Permit issuance, the applicant shall annex into the Community Facilities District No. 2015-2 (Maintenance Services) or current Community Facilities District in place at the time of annexation to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, street maintenance, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the

project with respect to Maintenance Services. Applicant shall make a non-refundable deposit of \$15,000 or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

DRAFT

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the Planning Commission of the City of Lake Elsinore on _____. I also acknowledge that all Conditions shall be met as indicated.

Date: _____

Applicant's Signature: _____

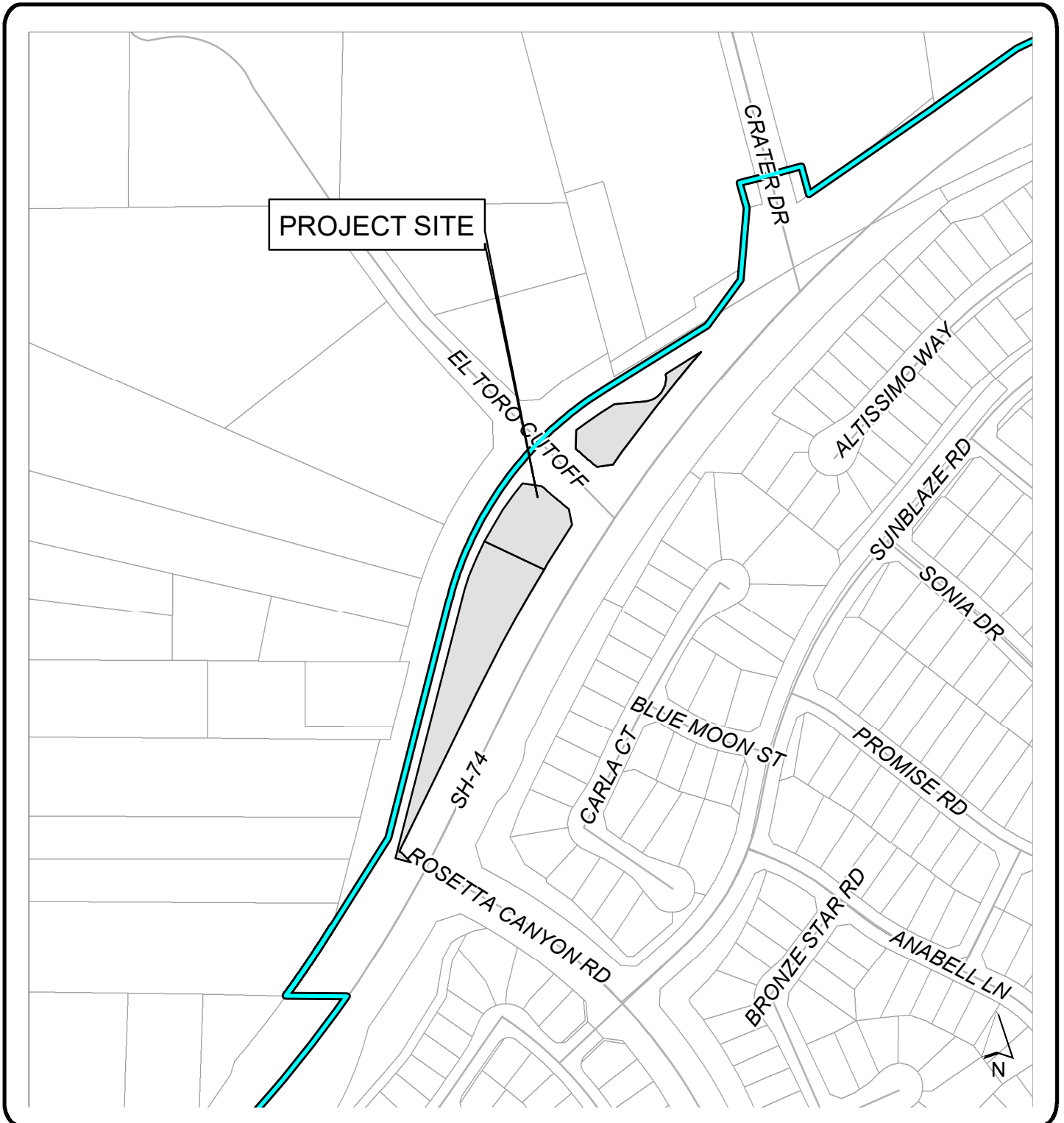
Print Name: _____

Address: _____

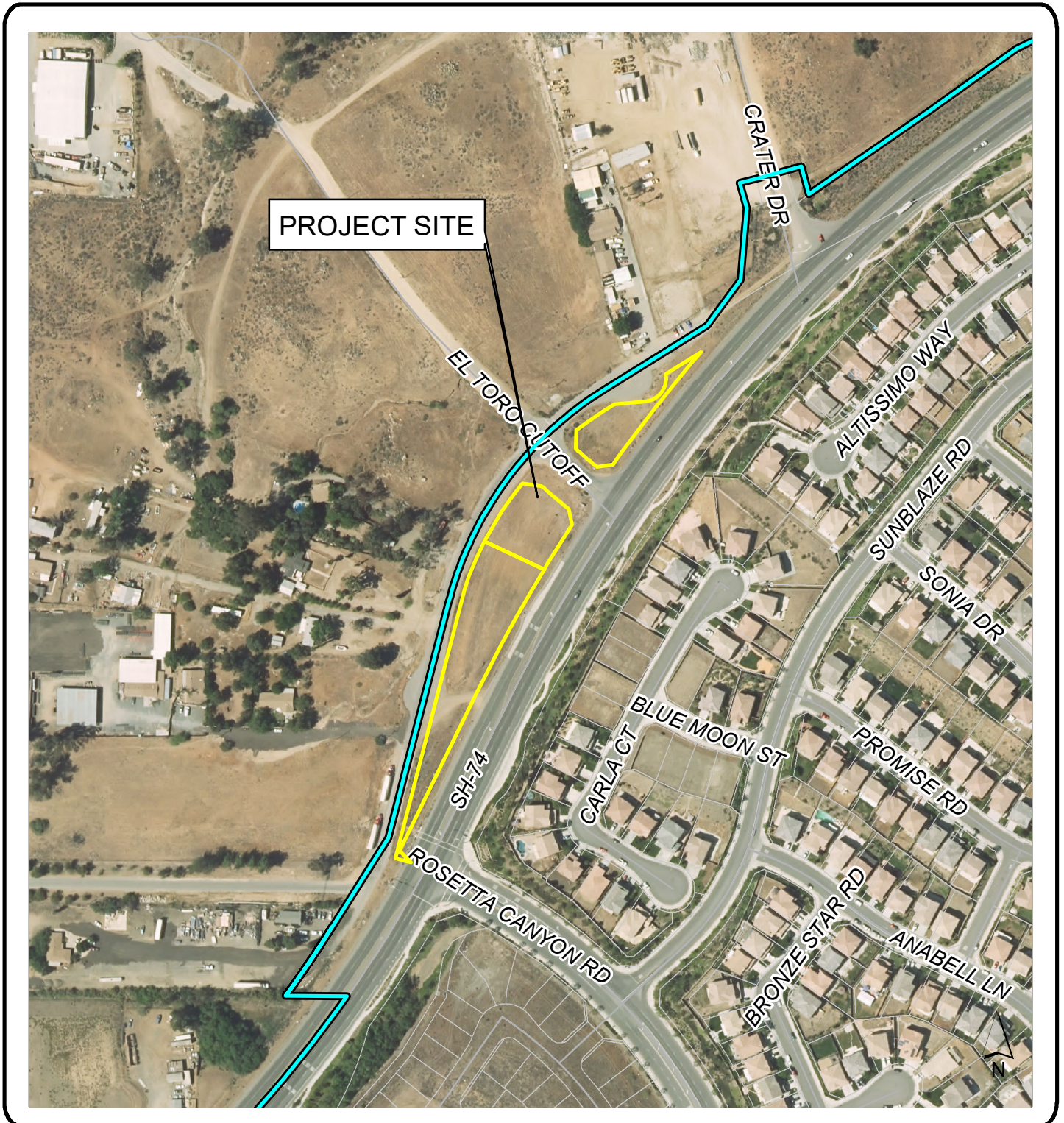
Phone Number: _____

DRAFT

Planning Application No. 2021-25
APNs: 347-130-033, 034 & 035
VICINITY MAP



Planning Application No. 2021-25
APNs: 347-130-033, 034 & 035
AERIAL MAP





EL TORO DEVELOPMENT

HWY 74 NS EL TORO CUT OFF, LAKE ELSINORE CA 92532

2 DRIVE THRU RESTAURANTS



architectural
interior design
total
restaurant
space planning
master planning
landscaped
scap

343 South
San Diego Ave
San Diego, CA 92108
619-702-9408



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PLANNING SUBMITTAL	01.14.22
PLANNING 1ST CORR.	06.28.22
PLANNING 2ND CORR.	10.31.22

MK TYPE: MK10B
JIB #: 5497
ADDRESS: HWY 74 NS
EL TORO CUT OFF,
LAKE ELSINORE CA,
92532



AS NOTED
TITLE
SHEET

TS1.0

LEGEND & ABBREVIATIONS		BUILDING DATA		GENERAL NOTES		SHEET INDEX	
ALSO REFER TO LEGEND & ABBREVIATIONS ON CIVIL, SITE, PLUMBING, MECHANICAL, ELECTRICAL & KITCHEN DRAWINGS.						(TOTAL OF 25 SHEETS)	
INDICATES SHEARWALL LOCATIONS WHERE NO CONDUIT OR PIPING WILL BE PERMITTED TO PENETRATE SILL OR TOP PLATE. SEE PLANS FOR ADDITIONAL NOTES.		OWNER: BESHAY FOODS		PROJECTS:		TS1.0 TITLE SHEET	
BATT INSULATION		BUILDING ADDRESS: HWY 74 NS, EL TORO CUT OFF LAKE ELSINORE CA, 92532		1. JACK IN THE BOX		SITE	
RIGID INSULATION		LEGAL JURISDICTION: CITY OF ELSINORE, COUNTY OF RIVERSIDE		2. THE HUMAN BEAN		SD1.0 OVERALL SITE PLAN	
GYPSUM BOARD		ASSESSOR'S PARCEL NO: 347-130-033, 347-130-034 AND 347-130-035		B. IT IS INTENDED THAT A COMPLETE OCCUPABLE BUILDING PROJECT IS PROVIDED.		SD1.1 JACK IN THE BOX SITE PLAN	
CERAMIC AND QUARRY TILE		TYPE OF CONSTRUCTION: VB, NON-SPRINKLED		C. DRAWINGS ARE BASED ON A SURVEY.		SD1.2 THE HUMAN BEAN SITE PLAN	
PLYWOOD		GROSS BUILDING AREA: 2,640 SQ. FT.		D. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.		SD2.0 SITE DETAILS	
CONCRETE		TOTAL SITE AREA: 1.09 ACRES (JACK IN THE BOX) 0.36 ACRES (THE HUMAN BEAN)		E. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT, IN WRITING, PRIOR TO INSTALLATION.		SD2.1 SITE DETAILS	
MASONRY		1. BUILDING HEIGHT: 23'-2"		F. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.		CIVIL	
ASPHALTIC CONCRETE PAVING		2. BUILDING HEIGHT: 19'-6"		G. ALL ABREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.		SHEET 1 ALTANSIPS LAND TITLE SURVEY	
EARTH GRADE		1. SEATING: 31 SEATS (INDOOR)		H. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED.		SHEET 2 ALTANSIPS LAND TITLE SURVEY	
SAND BASE		2. SEATING: 12 SEATS (OUTDOOR)		I. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.		CG.01 CONCEPTUAL GRADING	
KITCHEN		1. OCCUPANCY: A-2		K. "SUBMITTAL" DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL."		CG.02 CONCEPTUAL GRADING	
FINISHES & EQUIPMENT SEE ID DRAWINGS		2. OCCUPANCY: B		L. GC SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.		CG.03 CONCEPTUAL WET UTILITIES PLAN	
EQUIPMENT, SEE KITCHEN DRAWING		1. PARKING REQUIREMENTS: 26				CG.04 SECTIONS	
EXTERIOR MATERIAL / FINISH		2. PARKING PROVIDED: 06				CG.05 SECTIONS	
EXTERIOR COLOR		1. PARKING PROVIDED: 26				CG.06 SIGHT DISTANCE EXHIBIT	
INTERIOR ELEVATION		2. PARKING PROVIDED: 06				CG.07 MAINTENANCE EXHIBIT	
DOOR SYMBOL						LANDSCAPE	
KEY NOTES						L1.0 LANDSCAPE CONCEPT PLAN	
SHEARWALL / ANCHOR BOLT SYMBOL						L1.1 LANDSCAPE CONCEPT PLAN	
FOOTING SYMBOL						L1.2 PLANTING NOTES AND DETAILS	
DETAIL NUMBER						JACK IN THE BOX	
WALL SECTION NUMBER / ELEV. NUMBER SHEET NUMBER						A1.0 FLOOR PLAN	
BUILDING SECTION NUMBER SHEET NUMBER						A1.1 EXTERIOR ELEVATIONS	
REVISION SYMBOL						A1.2 EXTERIOR ELEVATIONS	
ELEVATION/DATUM MARK						A1.3 BUILDING SECTIONS	
DIMENSION TO EDGE / FACE OF OBJECT						THE HUMAN BEAN	
DIMENSION TO CENTER LINE OF OBJECT						A2.0 FLOOR PLAN	
						A2.1 EXTERIOR ELEVATIONS	
						A2.2 MATERIAL AND COLORS INFORMATION	

DEVELOPMENT SUMMARY	
JACK IN THE BOX PARCEL	
LANDSCAPE	21,978 S.F. (45.80%)
BUILDING	2,648 S.F. (5.59%)
ASPHALT	29,444 S.F. (62.59%)
WALKWAY	2,920 S.F. (6.10%)
SITE	47,990 S.F. (100%)
THE HUMAN BEAN PARCEL	
LANDSCAPE	3,963 S.F. (29%)
BUILDING	424 S.F. (4%)
ASPHALT	10,309 S.F. (80%)
WALKWAY	955 S.F. (8%)
SITE	15,651 S.F. (100%)

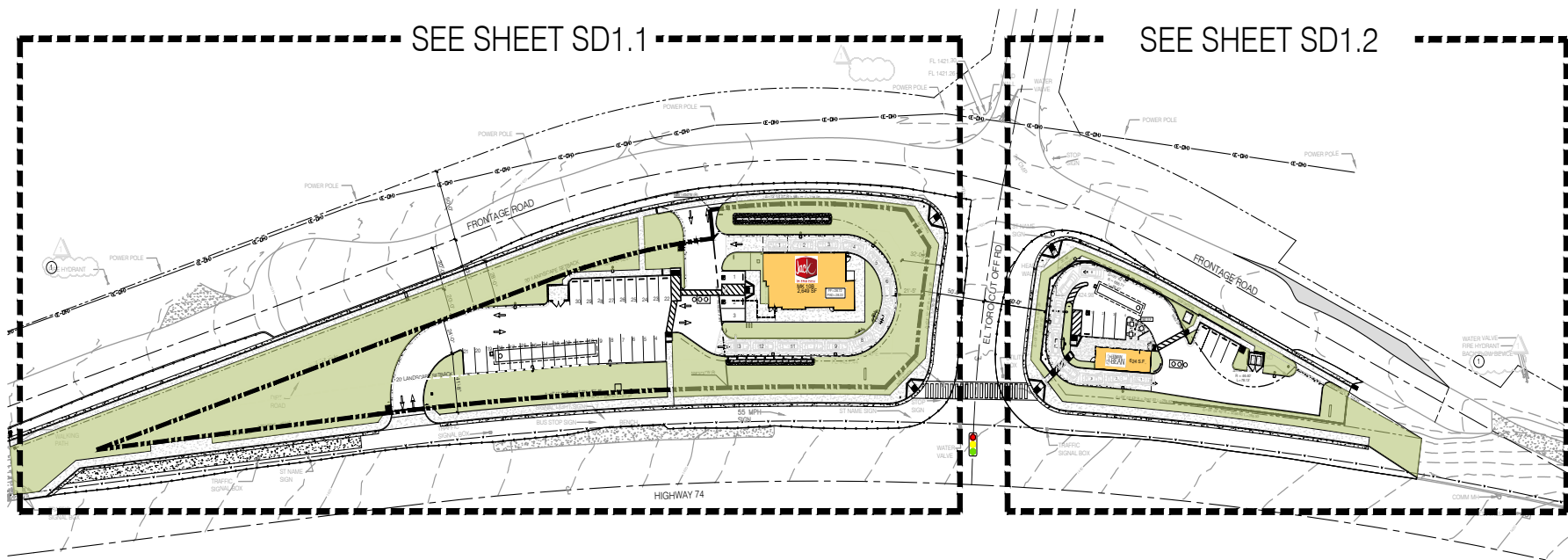
- ### SITE LEGEND
- PROPERTY BOUNDARY LINE
 - EXISTING SETBACK
 - PROPOSED ASPHALT PAVING
 - PROPOSED CONCRETE PAVING
 - PROPOSED SIDEWALK
 - CURB RAMPS
 - EXISTING STREET LIGHT
 - PROPOSED SITE LIGHTING
 - BUILDING ENTRANCE
 - ACCESSIBLE PARKING SPACES
 - PROPOSED TRANSFORMER LOCATION
 - PROPOSED WATER METER LOCATION
 - PROPOSED GREASE INTERCEPTOR LOCATION
 - NUMBER OF PARKING STALLS
 - PROPERTY LINE
 - VEHICLE STACKING
 - LIMITS OF WORK
 - TRAFFIC LIGHT

GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CASSIONS, WALLS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

- ### GENERAL NOTES
- GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, COMING SIGN SIGNAGE. SEE DETAIL 95021.
 - ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.
 - GENERAL CONTRACTOR SHALL PROVIDE 12"x12" LANDSCAPE PAVERS AT WINDOWS WHEN LANDSCAPE IS PROVIDED AROUND WINDOW AREAS.

- ### KEY NOTES
- ① EXISTING FIRE HYDRANT
 - ② PROPOSED FIRE HYDRANT



SITE PLAN SCALE: 1"=40'-0" A

marks architects

architect
interior design
landscape architecture
planning
urban design
historic preservation

3455 North Ave.
San Diego, CA 92108
619-702-9408



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PLANNING SUBMITTAL	DATE
PLANNING 1ST CORR.	05.28.22

MR. TYPE: MK10B
JOB #: 5497
ADDRESS: HWY 74 N5
EL TORO CUT OFF,
LAKE ELMORE CA,
92532



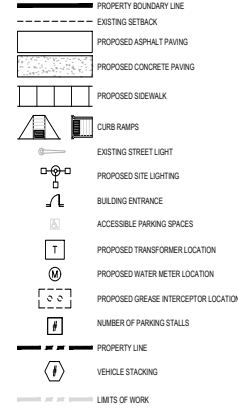
AS NOTED
OVERALL
SITE PLAN

SD1.0

KEY NOTES

1. INSTALL ASPHALT PAVING, REFER TO THE PAVING SECTION THICKNESS TABLE THIS SHEET AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
2. INSTALL CONCRETE PAVING, REFER TO THE PAVING SECTION THICKNESS TABLE THIS SHEET AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
3. PROVIDE THICKENED CONCRETE EDGE AT PAVING INTERFACE, SEE DETAIL 18502.0.
4. CONSTRUCT CONCRETE CURB AND GUTTER, SEE DETAIL 18502.0.
5. CONSTRUCT CONCRETE CURB AT ASPHALT PAVING, SEE DETAIL 21502.0.
6. CONSTRUCT CONCRETE CURB AT CONCRETE PAVING, SEE DETAIL 33502.0.
7. CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK, SEE DETAIL 45502.0.
8. CONSTRUCT MONOLITHIC CONCRETE CURB AND PAVING, SEE DETAIL 55502.0.
9. CONSTRUCT CONCRETE CURB AT BUILDING SIDE OF DRIVE-THRU LANE, SEE DETAIL 65502.0.
10. PROPOSED DRIVE-UP WASTE CHUTE.
11. INSTALL U-BAR BIKE RACK(S), SEE DETAIL 11502.1.
12. INSTALL CONCRETE CROSS PAV (DRIVE APPROACH) TO MUNICIPALITY STANDARDS.
13. PROPOSED GAS METER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS P1.0 AND P2.0.
14. EXISTING BUS STOP.
15. PROVIDE TRASH RECEPTACLE. LOCATE AS REQUIRED FOR SITE CONDITIONS.
16. CONSTRUCT FLARE SIDED (WINGED) CURB RAMP, SEE DETAIL 13502.0.
17. CONSTRUCT IN-LINE CURB RAMP, SEE DETAIL 14502.0.
18. PROVIDE RAMP AND LANDINGS AT HANDICAP ACCESSIBLE PARKING SPACES, SEE DETAIL 15502.0.
19. CONSTRUCT DELIVERY RAMP, SEE DETAIL 15502.0.
20. PROVIDE PUBLIC RIGHT-OF-WAY ACCESS RAMPS PER THE MUNICIPALITY STANDARDS.
21. INSTALL LIGHT POLE BASE, SEE DETAIL 16502.1. REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS.
22. INSTALL CONCRETE WHEEL STOP TYPICAL AT HANDICAP SPACES AND STANDARD SPACES FRONTING 6-FOOT OR LESSER WIDTH SIDEWALKS, SEE DETAIL 18502.0.
23. INSTALL BARRIER POSTS AT PREVIEW BOARD, MENU BOARD, AND PERIPHERAL TO BUILDING CORNERS, SEE DETAIL 18502.1. CONTRACTOR TO PROVIDE SLEEVES THROUGH CURB AND GUTTER WHERE APPROPRIATE. SEE ALSO SHEETS S21.1 AND A1.1 FOR DIMENSIONING CONTROL.
24. INSTALL DETECTOR LOOP FOR ORDER BOARD, SEE DETAIL 18502.1.
25. INSTALL DETECTOR LOOP AT PICK UP WINDOW, SEE DETAIL 18502.1.
26. PROPOSED SWITCHGEAR, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET P1.0.
27. PROPOSED SWITCHGEAR, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEET P1.0.
28. INSTALL ORDER BOARD, SEE DETAIL 18502.1.
29. CONSTRUCT MASONRY BLOCK TRASH ENCLOSURE, SEE DETAIL 18502.2.
30. SITE ENTRY SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
31. SITE DRIVE-THRU SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
32. SITE TRUCK CANNOT NOT ENTER SIGN UNDER SEPARATE COVER. GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
33. INSTALL HEIGHT CLEARANCE (8'0") AND WARNING POLE SIGN, SEE DETAIL 20502.1.
34. INSTALL ACCESSIBLE PARKING SIGN, SEE DETAIL 8502.1.
35. 80 S.F. MONUMENT SIGN, 8'-0" HIGH POLE SIGN.
36. APPLY INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL ON DOOR.
37. PAINT 4-INCH SOLID WHITE PARKING STRIPES TO MUNICIPALITY STANDARDS.
38. PAINT ACCESSIBLE PARKING SYMBOLS, TEXT, AND DIAGONALS, SEE DETAIL 6502.1.
39. PROPOSED TRANSFORMER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER. REFER TO SHEETS P1.0 AND ES1.0.
40. PAINT TRAFFIC DIRECTIONAL ARROWS, SOLID WHITE AND TYPICAL AS SHOWN.
41. PAINT 18-INCH WIDE SOLID WHITE CROSS WALK STRIPES AT 5-FEET (MAX) O.C.
42. PROPOSED GREASE INTERCEPTOR, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER.
43. TOW AWAY SIGN PER LOCAL CODES.
44. PROPOSED WATER METER, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER.
45. PROVIDE SCHEDULE 40 PVC SLEEVES AT 2X DIAMETER OF PROPOSED IRRIGATION PIPING, TYPICAL OF ALL LANDSCAPE AREAS. REFER TO SHEET I1.1.
46. ACCESSIBILITY PATH OF TRAVEL FROM ACCESSIBLE AISLE.
47. TRAFFIC LIGHT.
48. PATH OF TRAVEL.

SITE LEGEND



GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CHASES, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

GENERAL NOTES

1. REFER TO THE ACCESSIBILITY AND DIMENSIONING PLAN, SHEET SD1.1, FOR DIMENSIONAL CONTROL, INFORMATION AND JOINT DETAILING.
2. GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, COMING SOON SIGNAGE, SEE DETAIL 18502.1.
3. ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.
4. GENERAL CONTRACTOR SHALL PROVIDE 12'X12' LANDSCAPE PAVERS AT WINDOWS WHEN LANDSCAPE IS PROVIDED AROUND WINDOW AREAS.

JACK IN THE BOX PARKING REQUIREMENTS

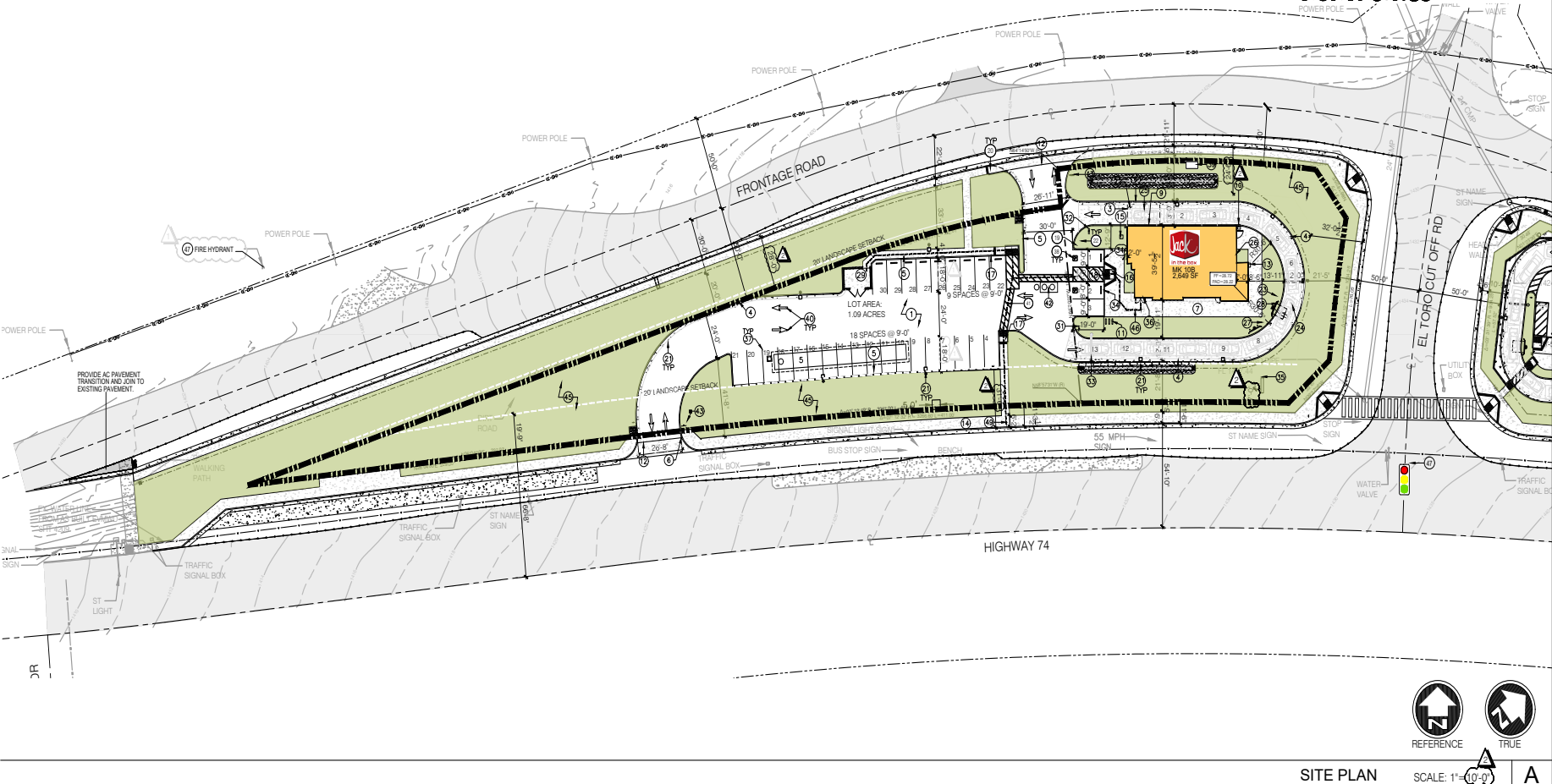
THE PARKING REQUIRED:	
33045 SQ FT OF DINING + 21	
1,719,000 SQ FT OF KITCHEN +	33 SPACES
PARKING PROVIDED:	
ACCESSIBLE PARKING +	2 SPACES
STANDARD PARKING +	24 SPACES
TOTAL PARKING PROVIDED +	26 SPACES

SIGNAGE CALCULATION

FREESTANDING SIGN AREA CALCULATIONS
 TOTAL SITE FRONTAGE: 673 S.F.
 ALLOWABLE AREA 20 S.F. PER 100 F.T. OF FRONTAGE, NOT EXCEED 60 S.F.
 GROUND SIGN PROVIDED:
 60 S.F. ABOVE PUBLIC SIDEWALK.

JACK IN THE BOX
GROSS LOT AREA: 47,480 S.F.
NET LOT AREA: 47,480 S.F.
FLOOR AREA RATIO FAR = $\frac{2,569 \text{ S.F.}}{47,480 \text{ S.F.}} = 0.05$

DEVELOPMENT SUMMARY
JACK IN THE BOX PARCEL
LANDSCAPE 21,976 S.F. (45.80%)
BUILDING 2,569 S.F. (5.39%)
ASPHALT 26,444 S.F. (42.60%)
WALKWAY 2,020 S.F. (4.10%)
SITE 47,569 S.F. (100%)



architecture
 interior design
 retail
 restaurants
 space planning
 master planning
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PLANNING SUBMITTAL	01.14.22
PLANNING 1ST CORR.	06.28.22
PLANNING 2ND CORR.	10.31.22

MK TYPE: MK10B
 JIB #: 5497
 ADDRESS: HWY 74 NS
 EL TORO CUT OFF
 LAKE EL TORO CA
 92532



SITE
 PLAN

SD1.1

SITE PLAN



SCALE: 1"=10'-0"

KEY NOTES

1. INSTALL ASPHALT PAVING, REFER TO THE PAVING SECTION THICKNESS TABLE THIS SHEET AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
2. INSTALL CONCRETE PAVING, REFER TO THE PAVING SECTION THICKNESS TABLE THIS SHEET AND GEOTECHNICAL RECOMMENDATIONS UNDER SEPARATE COVER.
3. CONSTRUCT CONCRETE CURB AT ASPHALT PAVING, SEE DETAIL 18502.0.
4. CONSTRUCT CONCRETE CURB AT CONCRETE PAVING, SEE DETAIL 18502.0.
5. CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK, SEE DETAIL 18502.0.
6. CONSTRUCT CONCRETE CURB AT BUILDING SIDE OF DRIVE-THRU LANE, SEE DETAIL 18502.0.
7. INSTALL U-BAR BIKE RACK(S), SEE DETAIL 18502.1.
8. INSTALL CONCRETE CROSS PAV (DRIVE APPROACH) TO MUNICIPALITY STANDARDS.
9. PROPOSED GAS METER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER, BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS PSI.0 AND PSI.1.
10. CONSTRUCT IN-UTILITY CURB RAMP, SEE DETAIL 18502.0.
11. PROVIDE RAMP AND LANDINGS AT HANDICAP ACCESSIBLE PARKING SPACES, SEE DETAIL 18502.0.
12. INSTALL LIGHT POLE BASE, SEE DETAIL 18502.1. REFER TO SHEET ES1.1 FOR POLE AND FIXTURE REQUIREMENTS.
13. INSTALL CONCRETE WHEEL STOP TYPICAL AT HANDICAP SPACES AND STANDARD SPACES FRONTING 6-FOOT OR LESSER WIDTH SIDEWALKS, SEE DETAIL 18502.0.
14. INSTALL BARRIER POSTS AT PREVIEW BOARD, MENU BOARD, AND PERIPHERAL TO BUILDING CORNERS, SEE DETAIL 18502.1. CONTRACTOR TO PROVIDE SLEEVES THROUGH CURB AND GUTTER WHERE APPROPRIATE. SEE ALSO SHEETS SD2.1 AND A1.0 FOR DIMENSIONING CONTROL.
15. INSTALL DETECTOR LOOP FOR ORDER BOARD, SEE DETAIL 18502.1.
16. INSTALL DETECTOR LOOP AT PICK UP WINDOW, SEE DETAIL 18502.1.
17. PROPOSED SWITCHGEAR, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER, REFER TO SHEET PSI.0.
18. INSTALL ORDER BOARD, SEE DETAIL 18502.1.
19. CONSTRUCT MASONRY BLOCK TRASH ENCLOSURE, SEE DETAIL 18502.2.
20. SITE DRIVE-THRU SIGN UNDER SEPARATE COVER, GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
21. SITE "THANK YOU DO NOT ENTER" SIGN UNDER SEPARATE COVER, GENERAL CONTRACTOR REFER TO SHEET ES1.0 FOR CONDUIT AND WIRING REQUIREMENTS.
22. INSTALL HEIGHT CLEARANCE (8'-0") AND WARNING POLE SIGN, SEE DETAIL 20502.1.
23. INSTALL ACCESSIBLE PARKING SIGN WITH VAN PLACARD, SEE DETAIL 18502.1.
24. 8'-0" HIGH POLE SIGN.
25. PAINT 4-INCH SOLID WHITE PARKING STRIPES TO MUNICIPALITY STANDARDS.
26. PAINT ACCESSIBLE PARKING SYMBOLS, TEXT, AND DIAGONALS, SEE DETAIL 18502.1.
27. PAINT TRAFFIC DIRECTIONAL ARROWS, SOLID WHITE AND TYPICAL AS SHOWN.
28. PAINT 18-INCH WIDE SOLID WHITE CROSS WALK STRIPES AT 5-FEET (MAX) O.C.
29. FIRE TRUCK TURNOUT.
30. TOW AWAY SIGN PER LOCAL CODES.
31. PROPOSED WATER METER, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER.
32. ACCESSIBILITY PATH OF TRAVEL FROM ACCESSIBLE ASLE.
33. PROPOSED TRANSFORMER LOCATION, CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY PROVIDER, BOLLARDS INSTALLED PER PROVIDER STANDARDS. REFER TO SHEETS PSI.0 AND ES1.0.
34. EXISTING FIRE HYDRANTS.
35. SCREEN WALL PROPOSED.
36. TRAFFIC LIGHT.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- EXISTING SETBACK
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED SIDEWALK
- CURB RAMP
- EXISTING STREET LIGHT
- PROPOSED SITE LIGHTING
- BUILDING ENTRANCE
- ACCESSIBLE PARKING SPACES
- PROPOSED TRANSFORMER LOCATION
- PROPOSED WATER METER LOCATION
- PROPOSED GREASE INTERCEPTOR LOCATION
- NUMBER OF PARKING STALLS
- PROPERTY LINE
- VEHICLE STACKING
- LIMITS OF WORK

GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CHASING WALLS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

GENERAL NOTES

1. REFER TO THE ACCESSIBILITY AND DIMENSIONING PLAN, SHEET SD1.1, FOR HORIZONTAL CONTROL INFORMATION AND JOINT DETAILING.
2. GENERAL CONTRACTOR SHALL PROVIDE, AS REQUESTED BY CONSTRUCTION MANAGER, COMING SOON SIGNAGE, SEE DETAIL 18502.1.
3. ALL SITE CONCRETE PAVING SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.
4. GENERAL CONTRACTOR SHALL PROVIDE 12"x12" LANDSCAPE PAVERS AT WINDOWS WHEN LANDSCAPE IS PROVIDED AROUND WINDOW AREAS.

THE HUMAN BEAN PARKING REQUIREMENTS

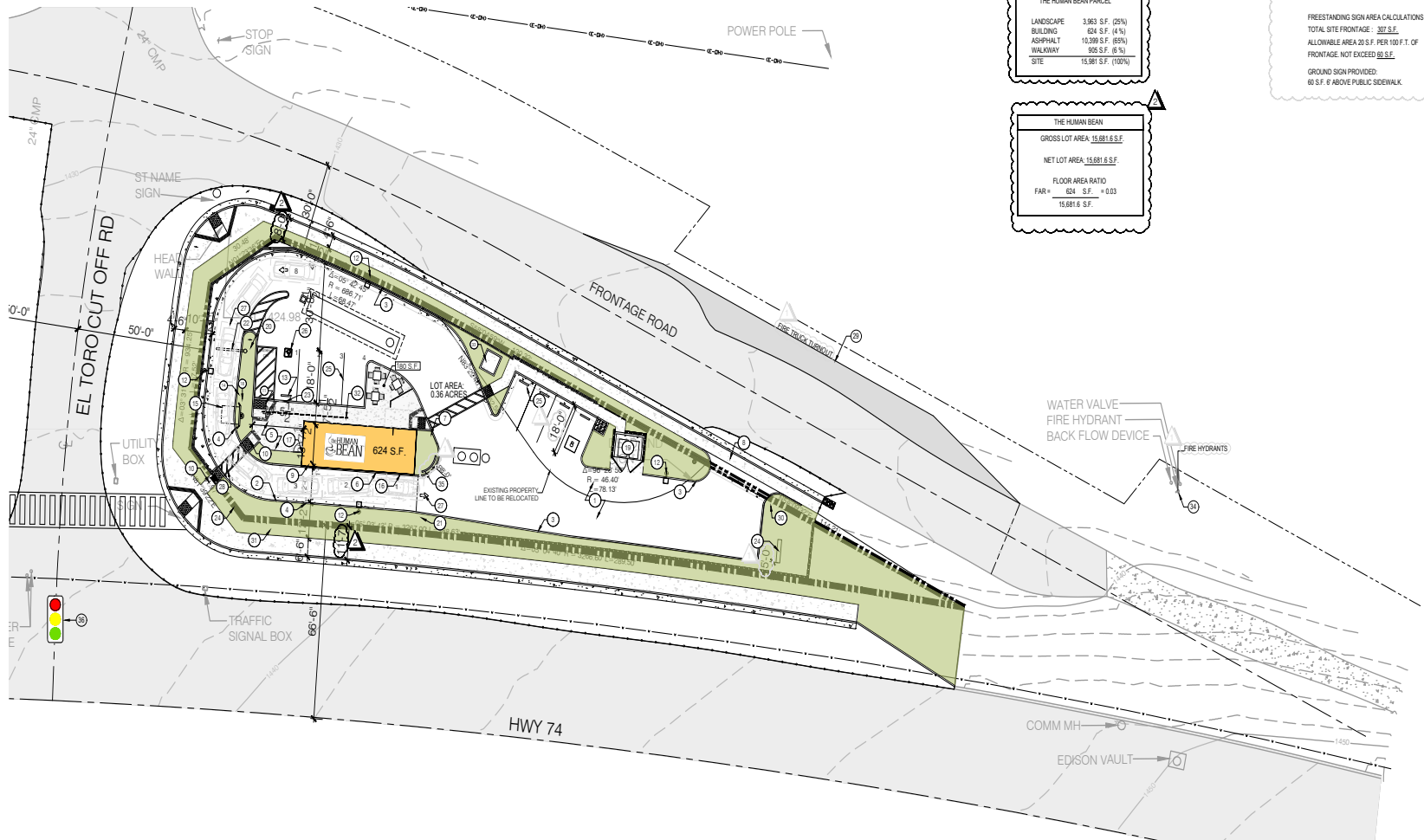
THE PARKING REQUIRED:	6
18045 S.F. OF OUTDOOR +	2 SPACES
624020 S.F. OF KITCHEN +	
PARKING PROVIDED:	1 SPACES
STANDARD PARKING +	7 SPACES
TOTAL PARKING PROVIDED +	8 SPACES

SIGNAGE CALCULATION

FREESTANDING SIGN AREA CALCULATIONS
 TOTAL SITE FRONTAGE: 302 S.F.
 ALLOWABLE AREA 20 S.F. PER 100 F.T. OF FRONTAGE, NOT EXCEED 60 S.F.
 GROUND SIGN PROVIDED:
 60 S.F. @ ABOVE PUBLIC SIDEWALK

DEVELOPMENT SUMMARY	
THE HUMAN BEAN PARCEL	
LANDSCAPE	3,963 S.F. (25%)
BUILDING	624 S.F. (4%)
ASPHALT	10,388 S.F. (65%)
WALKWAY	905 S.F. (6%)
SITE	15,881 S.F. (100%)

THE HUMAN BEAN	
GROSS LOT AREA	15,881 S.F.
NET LOT AREA	15,881 S.F.
FLOOR AREA RATIO	
FAR =	624 S.F. = 0.03
	15,881 S.F.



SITE PLAN

SCALE: 1"=20'-0"

A



architecture
interior design
retail
residential
space planning
master planning
food & beverage
comp.

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San Diego, CA 92103
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PLANNING SUBMITTAL	01.14.22
PLANNING 1ST CORR	06.28.22
PLANNING 2ND CORR	10.31.22

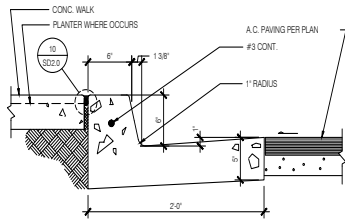
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 JIB #: 5497
 ADDRESS: HWY 74 NS
 EL TORO CUT OFF
 LAKE EL MONDE CA
 92532



1"=20'-0"

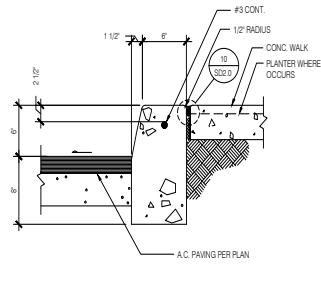
SITE
PLAN

SD1.2



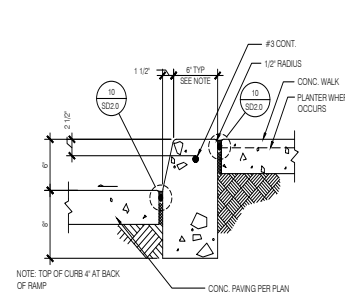
1 CONC. CURB AND GUTTER

1 1/2" = 1'-0"



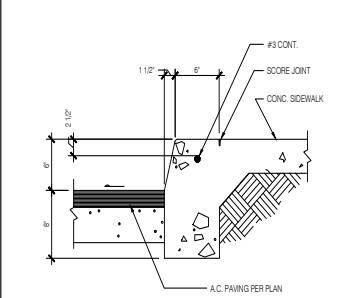
2 CONCRETE CURB AT ASPHALT DRIVE

1 1/2" = 1'-0"



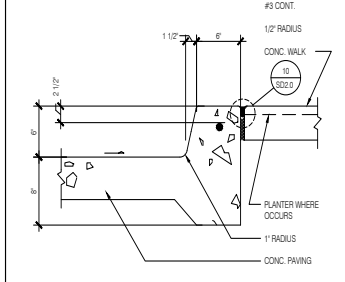
3 CONC. CURB AT CONCRETE DRIVE

1 1/2" = 1'-0"



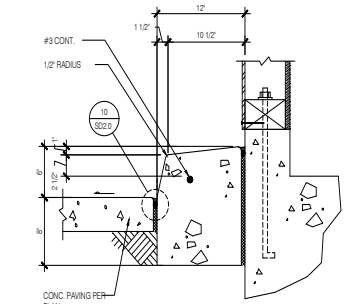
4 MONOLITHIC CONCRETE CURB & WALK

1 1/2" = 1'-0"

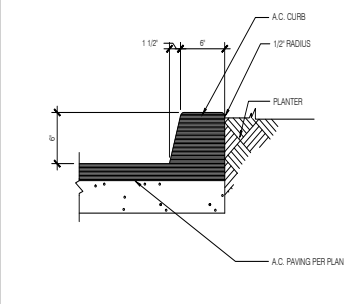


5 MONOLITHIC CONCRETE CURB AND PAVING

1 1/2" = 1'-0"

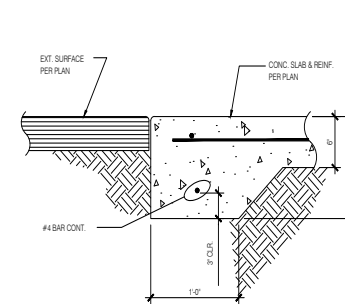


6 CONCRETE CURB AT DRIVE-THRU ALONG BUILDING 1/2" = 1'-0"



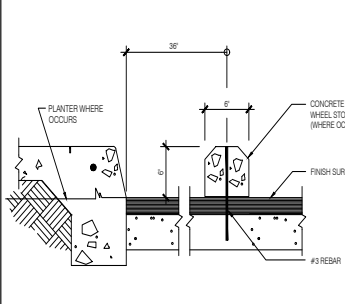
7 TYPICAL ASPHALT CURB

1 1/2" = 1'-0"



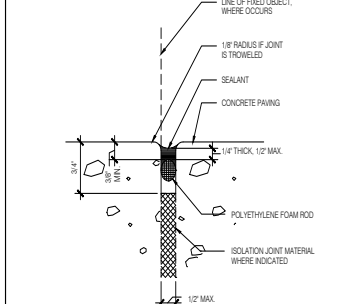
8 TYPICAL THICKENED SLAB DETAIL

1 1/2" = 1'-0"



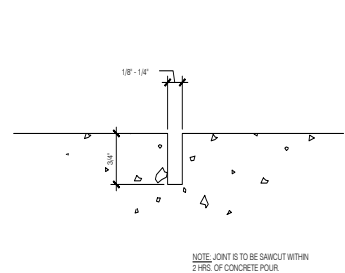
9 CONCRETE WHEEL STOP

1 1/2" = 1'-0"



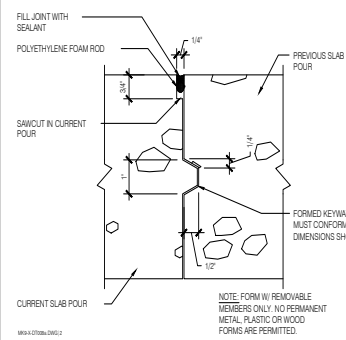
10 ISOLATION JOINT

1 1/2" = 1'-0"



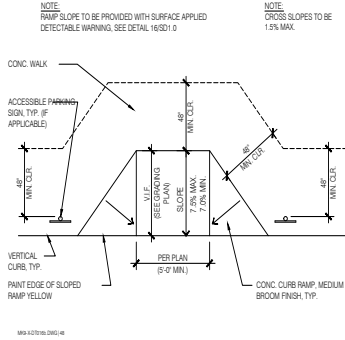
11 TYPICAL CONTROL JOINT (SAWCUT)

1 1/2" = 1'-0"



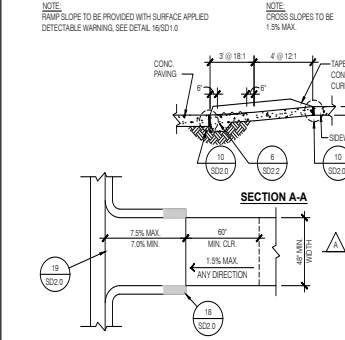
12 CONSTRUCTION JOINT

1 1/2" = 1'-0"



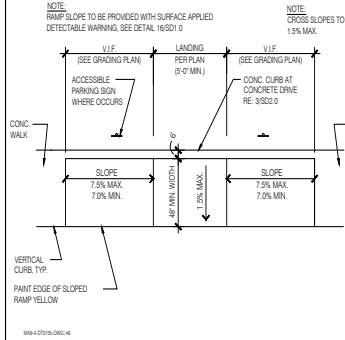
13 WINGED CURB RAMP

1 1/2" = 1'-0"



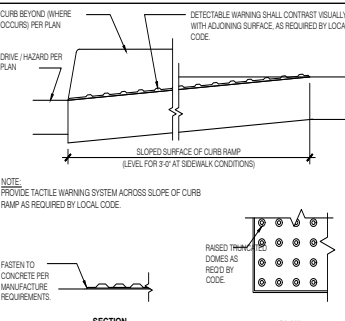
14 IN-LINE CURB RAMP

1 1/2" = 1'-0"



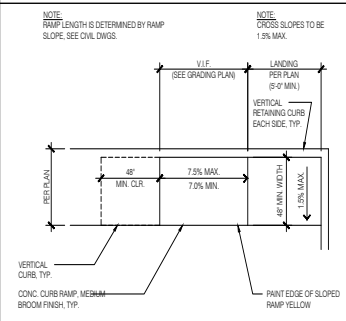
15 IN LINE CURB RAMP AT PARKING ACCESS

1 1/2" = 1'-0"



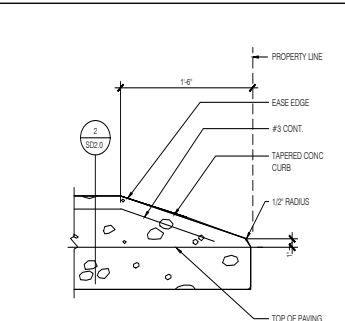
16 SURFACE APPLIED DETECTABLE WARNING

1 1/2" = 1'-0"



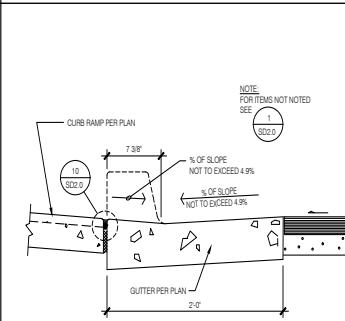
17 DELIVERY RAMP

1 1/2" = 1'-0"



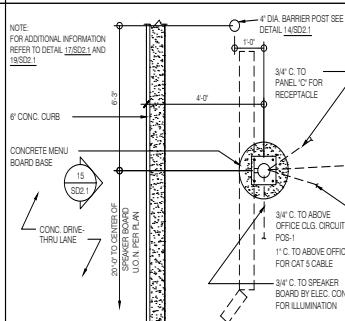
18 TAPERED CONC. CURB

1 1/2" = 1'-0"



19 CONCRETE CURB & GUTTER AT CURB RAMP

1 1/2" = 1'-0"



20 PREVIEW BOARD PLAN

1 1/2" = 1'-0"



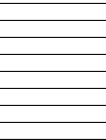
architecture
interior design
real estate
space planning
landscape architecture
and construction

343 South
San Diego Ave
San Diego, CA 92108
619-702-9438



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SPECIFIC PROJECT ONLY.

PLANNING SUBMITTAL 01.14.22



MK TYPE: MK10B

JOB #: 5497

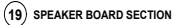
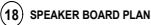
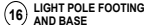
ADDRESS: HWY 74 N
EL TORO CUT OFF,
LAKE ELSINORE CA,
92532



AS NOTED

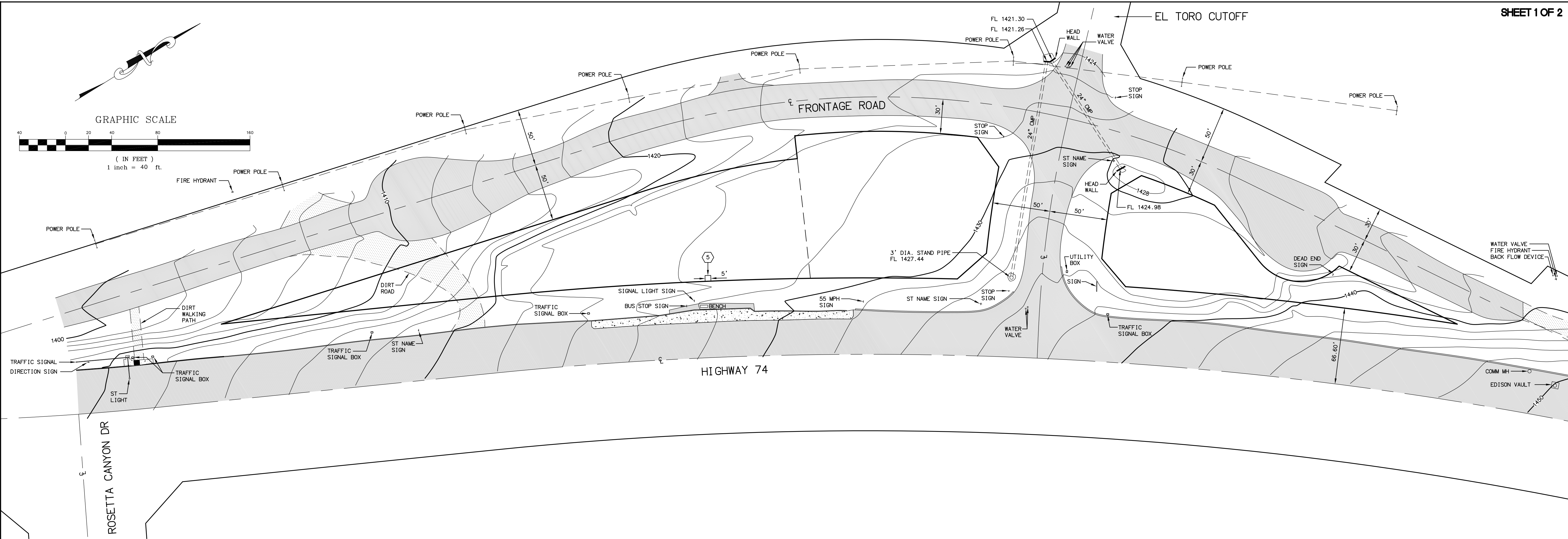
DETAILS

SD2.0



ALTA/NSPS LAND TITLE SURVEY

SHEET 1 OF 2



TITLE REPORT INFORMATION

- FIRST AMERICAN TITLE COMPANY, PRELIMINARY REPORT ORDER NO. DTR-6624604 (1c), DATED JUNE 14, 2021.
- AT THE DATE HEREOF EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:
- GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2021-2022, A LIEN NOT YET DUE OR PAYABLE.
 - ASSESSMENT LIENS, IF APPLICABLE, COLLECTED WITH THE GENERAL AND SPECIAL TAXES, INCLUDING BUT NOT LIMITED TO THOSE DISCLOSED BY THE REFLECTION OF THE FOLLOWING ON THE TAX ROLL:
COMMUNITY FACILITIES DISTRICT EVMWD OFD 98-1 TEMESCAL.
 - THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
 - THE EFFECT OF A NOTICE OF EXISTENCE OF SANTA ANA WATERSHED BENEFIT ASSESSMENT AREA WHICH PROVIDES FOR THE ISSUING OF BONDS AND THE LEVYING OF A SPECIAL TAX TO PAY THE INTEREST AND PRINCIPAL PAYMENTS ON SUCH BONDS UPON THE HEREIN DESCRIBED PROPERTY, RECORDED JUNE 10, 1991 AS INSTRUMENT NO. 193749 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, REFERENCE HEREBY BEING MADE TO THE RECORD FOR FULL PARTICULARS.
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 18, 2010 AS INSTRUMENT NO. 2010-0556115 OF OFFICIAL RECORDS.
IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, THEIR SUCCESSORS AND ASSIGNS
AFFECTS: AS DESCRIBED THEREIN
 - RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.
 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
 - RIGHTS OF PARTIES IN POSSESSION.
 - PRIOR TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE, THE COMPANY WILL REQUIRE:
 - WITH RESPECT TO USCA PROPERTIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY:
A) A COPY OF ITS OPERATING AGREEMENT AND ANY AMENDMENTS THERETO;
B) IF IT IS A CALIFORNIA LIMITED LIABILITY COMPANY, THAT A CERTIFIED COPY OF ITS ARTICLES OF ORGANIZATION (LLC-1) AND ANY CERTIFICATE OF CORRECTION (LLC-11), CERTIFICATE OF AMENDMENT (LLC-2), OR RESTATEMENT OF ARTICLES OF ORGANIZATION (LLC-10) BE RECORDED IN THE PUBLIC RECORDS;
C) IF IT IS A FOREIGN LIMITED LIABILITY COMPANY, THAT A CERTIFIED COPY OF ITS APPLICATION FOR REGISTRATION (LLC-5) BE RECORDED IN THE PUBLIC RECORDS;
D) WITH RESPECT TO ANY DEED, DEED OF TRUST, LEASE, SUBORDINATION AGREEMENT OR OTHER DOCUMENT OR INSTRUMENT EXECUTED BY SUCH LIMITED LIABILITY COMPANY AND PRESENTED FOR RECORDATION BY THE COMPANY OR UPON WHICH THE COMPANY IS ASKED TO RELY, THAT SUCH DOCUMENT OR INSTRUMENT BE EXECUTED IN ACCORDANCE WITH ONE OF THE FOLLOWING, AS APPROPRIATE:
IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH OFFICERS APPOINTED OR ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT MUST BE EXECUTED BY AT LEAST TWO DULY ELECTED OR APPOINTED OFFICERS, AS FOLLOWS: THE CHAIRMAN OF THE BOARD, THE PRESIDENT OR ANY VICE PRESIDENT, AND ANY SECRETARY, ASSISTANT SECRETARY, THE CHIEF FINANCIAL OFFICER OR ANY ASSISTANT TREASURER;
IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES THROUGH A MANAGER OR MANAGERS IDENTIFIED IN THE ARTICLES OF ORGANIZATION AND/OR DULY ELECTED PURSUANT TO THE TERMS OF A WRITTEN OPERATING AGREEMENT, SUCH DOCUMENT MUST BE EXECUTED BY AT LEAST TWO SUCH MANAGERS OR BY ONE MANAGER IF THE LIMITED LIABILITY COMPANY PROPERLY OPERATES WITH THE EXISTENCE OF ONLY ONE MANAGER.
 - OTHER REQUIREMENTS WHICH THE COMPANY MAY IMPOSE FOLLOWING ITS REVIEW OF THE MATERIAL REQUIRED HEREIN AND OTHER INFORMATION WHICH THE COMPANY MAY REQUIRE.

INFORMATIONAL NOTES:

NOTE: THE POLICY TO BE ISSUED MAY CONTAIN AN ARBITRATION CLAUSE. WHEN THE AMOUNT OF INSURANCE IS LESS THAN THE CERTAIN DOLLAR AMOUNT SET FORTH IN ANY APPLICABLE ARBITRATION CLAUSE, ALL ARBITRABLE MATTERS SHALL BE ARBITRATED AT THE OPTION OF EITHER THE COMPANY OR THE INSURED AS THE EXCLUSIVE REMEDY OF THE PARTIES. IF YOU DESIRE TO REVIEW THE TERMS OF THE POLICY, INCLUDING ANY ARBITRATION CLAUSE THAT MAY BE INCLUDED, CONTACT THE OFFICE THAT ISSUED THIS COMMITMENT OR REPORT TO OBTAIN A SAMPLE OF THE POLICY JACKET FOR THE POLICY THAT IS TO BE ISSUED IN CONNECTION WITH YOUR TRANSACTION.

GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.

FIRST INSTALLMENT: \$330.48, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$330.48, PAID
PENALTY: \$0.00
TAX RATE AREA: 005-033
APN: 347-130-033

AFFECTS: PORTION OF THE LAND

GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.

FIRST INSTALLMENT: \$146.38, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$146.38, PAID
PENALTY: \$0.00
TAX RATE AREA: 005-025
APN: 347-130-034

AFFECTS: PORTION OF THE LAND

GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2020-2021.

FIRST INSTALLMENT: \$124.36, PAID
PENALTY: \$0.00
SECOND INSTALLMENT: \$124.36, PAID
PENALTY: \$0.00
TAX RATE AREA: 005-025
APN: 347-130-035

AFFECTS: PORTION OF THE LAND

THE PROPERTY COVERED BY THIS REPORT IS VACANT LAND.

ACCORDING TO THE PUBLIC RECORDS, THERE HAS BEEN NO CONVEYANCE OF THE LAND WITHIN A PERIOD OF TWENTY FOUR MONTHS PRIOR TO THE DATE OF THIS REPORT, EXCEPT AS FOLLOWS:

A DOCUMENT RECORDED APRIL 30, 2020 AS INSTRUMENT NO. 2020-0186411 OF OFFICIAL RECORDS
FROM: SPT - LAKE ELSINORE HOLDING CO., LLC, A DELAWARE LIMITED LIABILITY COMPANY
TO: USCA PROPERTIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. DISCLOSURE SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY POSSIBLE SECURITY INTEREST IN THE SUBJECT PROPERTY.

THE MAP ATTACHED, IF ANY, MAY OR MAY NOT BE A SURVEY OF THE LAND DEPICTED HEREON. FIRST AMERICAN EXPRESSLY DISCLAIMS ANY LIABILITY FOR LOSS OR DAMAGE WHICH MAY RESULT FROM RELIANCE ON THIS MAP EXCEPT TO THE EXTENT COVERAGE FOR SUCH LOSS OR DAMAGE IS EXPRESSLY PROVIDED BY THE TERMS AND PROVISIONS OF THE TITLE INSURANCE POLICY, IF ANY, TO WHICH THIS MAP IS ATTACHED.

PROPERTY INFORMATION

OWNER: USCA PROPERTIES, LLC, A LIMITED LIABILITY COMPANY

ADDRESS: (VACANT), LAKE ELSINORE, CA 92532

APN: APN: 347-130-033, 034 AND 035

AREA: 1.415 ACRES (61,637.56 SQ. FT.)

PARKING: NONE

FLOOD ZONE:

ZONE X (UNSHADED), AREA DETERMINED BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM PANEL 06065C20299 EFFECTIVE AUGUST 28, 2028.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON ROS 123/94-108, I.E. N 26°04'00" E.

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS USGS BENCHMARK DESIGNATION "0 307," LOCATED AT THE WESTERLY CORNER OF EL TORO CUTOFF AND THE NORTHERLY FRONTAGE ROAD.

ELEVATION = 1425.75 FEET (NAVD 88)

SURVEYOR'S CERTIFICATE

TO USCA PROPERTIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 6A, 7A, 7B1, 7C, 8, 9, 11, 13, 14, 16, 17 AND 18. THE FIELD WORK WAS COMPLETED ON AUGUST 11, 2021.

DATE OF PLAT: AUGUST 13, 2021.

PER THE STATE OF CALIFORNIA BUSINESS AND PROFESSIONS CODE SECTION 8770.6 AS RECITED IN THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT, STATE BOARD RULES, THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

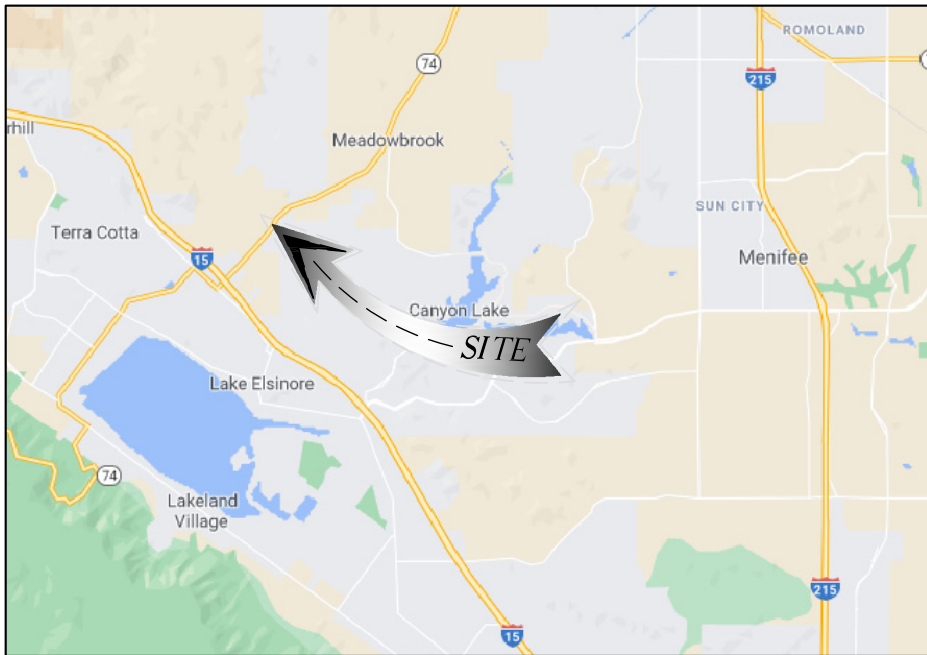
PARCEL 3 OF PARCEL MAP NO. 19924, AS SHOWN BY PARCEL MAP ON FILE IN BOOK 122, PAGES 44 THROUGH 48, INCLUSIVE, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND REFERRED TO IN EXHIBIT J-1, DESCRIBED IN DOCUMENT ENTITLED "AGREEMENT REGARDING IRREVOCABLE OFFER OF DEDICATION" RECORDED JUNE 20, 2003 AS INSTRUMENT NO. 2003-454141 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND LYING WITHIN TRACT NO. 25479, AS SHOWN ON THE MAP RECORDED IN BOOK 367, PAGES 93 THROUGH 113, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY.

ALSO EXCEPTING THEREFROM ALL SUBSURFACE WATER RIGHTS AS DEDICATED TO THE CITY OF LAKE ELSINORE, OR ITS ASSIGNEES, AS DEDICATED AND ACCEPTED ON THE OWNERS CERTIFICATE OF SAID PARCEL MAP.

VICINITY MAP



Today's Ideas. Tomorrow's Reality.
4121 Westerly Place #112 Newport Beach CA 92660
T 949-640-8997 www.CDRwest.com

ROBERT J. RUSSELL, PLS

08/13/21

DATE



SHEET 2 OF 2



OWNER

BESHAY FOODS
47160 MY ST #201
MURRIETA, CA 92562
CONTACT: DAVID BESHAY
P: 951.816.9189

CIVIL ENGINEER

COMMERCIAL DEVELOPMENT RESOURCES
685 TOWN CENTER DRIVE, #110
COSTA MESA, CA 92626
P: 949.610.8997

ARCHITECT

MARKS ARCHITECTS
2643 4TH AVE
SAN DIEGO, CA 92103
P: 619.702.9448

SOILS ENGINEER

CV SOILS
MURRIETA, CA 92562
P: 951.304.3095

SURVEYOR

COMMERCIAL DEVELOPMENT RESOURCES
685 TOWN CENTER DRIVE, #110
COSTA MESA, CA 92626

CONCEPTUAL GRADING

CUT: 601 CY
FILL: 3847 CY
NET FILL: 3346 CY

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 3 OF PARCEL MAP NO. 18924, AS SHOWN BY PARCEL MAP ON FILE IN BOOK 122, PAGES 84 THROUGH 88, INCLUSIVE, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND REFERRED TO IN EXHIBIT J-1, DESCRIBED IN DOCUMENT ENTITLED 'AGREEMENT REGARDING IRREVOCABLE OFFER OF DEDICATION' RECORDED JUNE 20, 2003 AS INSTRUMENT NO. 2003-454141 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND LYING WITHIN TRACT NO. 25479, AS SHOWN ON THE MAP RECORDED IN BOOK 357, PAGES 90 THROUGH 113, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY.

ALSO EXCEPTING THEREFROM ALL SUBSURFACE WATER RIGHTS AS DEDICATED TO THE CITY OF LAKE ELSINORE, OR ITS ASSIGNEES, AS DEDICATED AND ACCEPTED ON THE OWNERS CERTIFICATE OF SAID PARCEL MAP.

EXISTING EASEMENTS:

AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 18, 2010 AS INSTRUMENT IN NO. 2010-0556115 OF OFFICIAL RECORDS.

IN FAVOR OF:

SOUTHERN CALIFORNIA
EDISON COMPANY, A
CORPORATION, THEIR
SUCCESSORS
AND ASSIGNS
AS DESCRIBED THEREIN

AFFECTS:

- RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.
- WATER RIGHTS, CLAIMS FOR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- RIGHTS OF PARTIES IN POSSESSION.

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS USGS BENCHMARK DESIGNATION 'D 307', LOCATED AT THE WESTERLY CORNER OF EL TORO CUT OFF AND THE NORTHERLY FRONTAGE ROAD. ELEVATION = 1425.75 FEET (NAVD 88)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 12304-108, N 26°04'00" E.

SITE ADDRESS

HWY 74 NB
EL TORO CUT OFF
LAKE ELSINORE, CA
92532

APN #: 347-130-033 & 347-130-034

FLOOD ZONE

ZONE X (UNSHADED), AREA DETERMINED BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM PANEL 06065C0209G EFFECTIVE AUGUST 28, 2008.

SIGHT DISTANCE NOTE

* RESTRICTED USE AREAS SHOWN PER 25 MPH & 55 MPH COUNTY OF RIVERSIDE STANDARD NO. 821.

TITLE REPORT INFORMATION

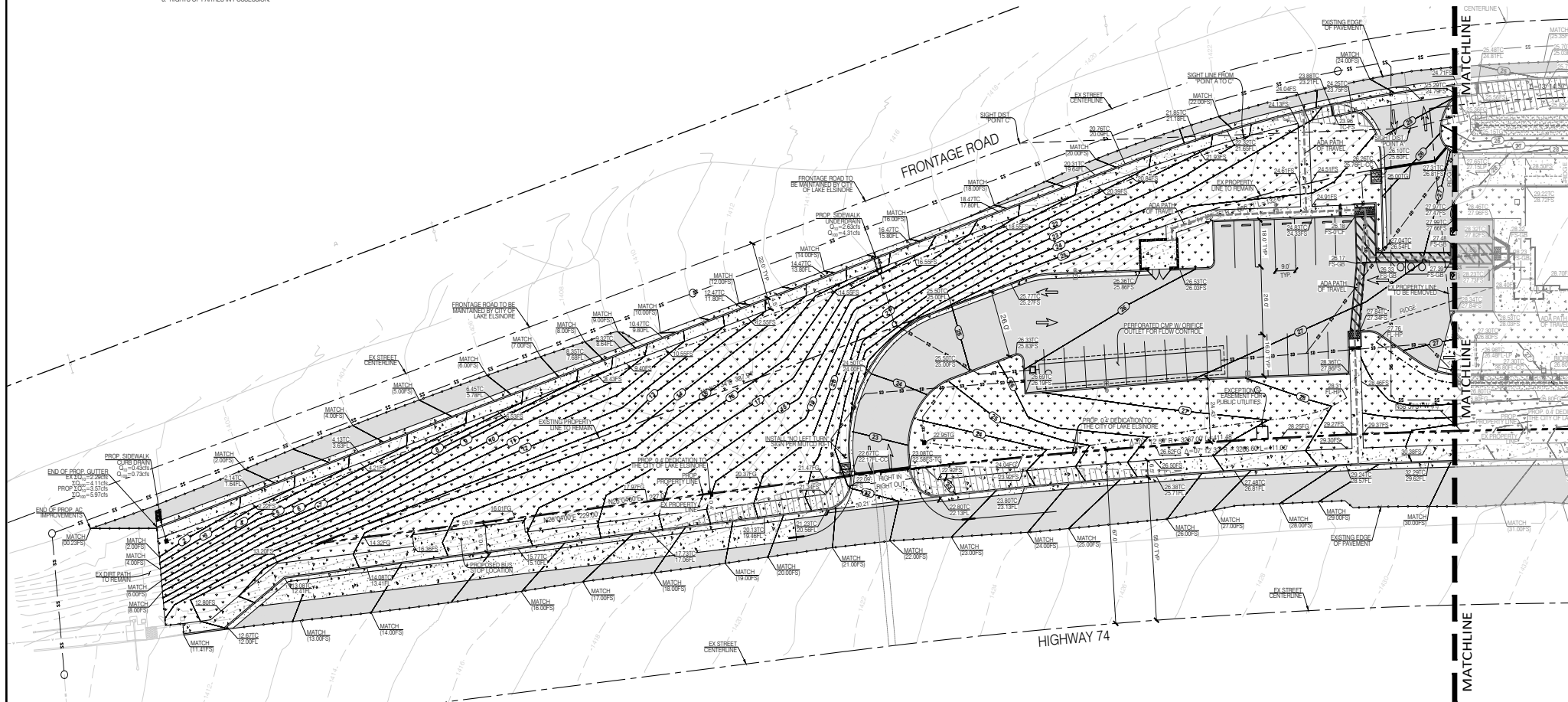
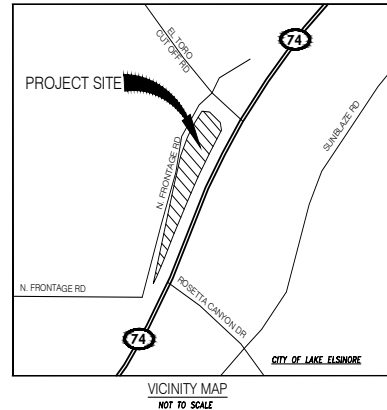
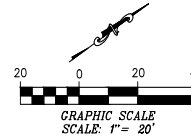
AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 18, 2010 AS INSTRUMENT NO. 2010-0556115 OF OFFICIAL RECORDS.

LEGEND

- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- LANDSCAPING
- PROPERTY LINE
- CENTERLINE
- GRADING LIMITS
- SIGHT DISTANCE
- PROPOSED SEWER LINE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED IRRIGATION LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SEWER LINE
- EXISTING WATER LINE

ABBREVIATIONS:

- EXISTING ELEVATION
- ASSESSOR'S PARCEL NO.
- CENTER LINE
- EXISTING
- FINISH GROUND
- FLOWLINE
- FINISH SURFACE
- GRADE BREAK
- INVERT
- LINEAR FEET
- LANDSCAPE AREA
- PROPERTY LINE
- RIGHT OF WAY
- STORM DRAIN
- TOP OF CURB
- TOP OF GRATE
- TYPICAL



REVISIONS

NUMBER	DATE	DESCRIPTION

DESIGNED BY: HL	CHECKED BY: HL
DATE: 01/11/2023	DATE: 01/11/2023
APPROVED BY: [Signature]	DATE: 01/11/23
BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS USGS BENCHMARK DESIGNATION 'D 307', LOCATED AT THE WESTERLY CORNER OF EL TORO CUT OFF AND THE NORTHERLY FRONTAGE ROAD.	
ELEVATION = 1425.75 FEET (NAVD 88)	

PLANS PREPARED BY:

AARON M. ALBERTSON
R.C.E. 85513, EXP. 09/30/23



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 12304-108, I.E. N 26°04'00" E.

EXIST. APN:

347-130-033
347-130-034
347-130-035

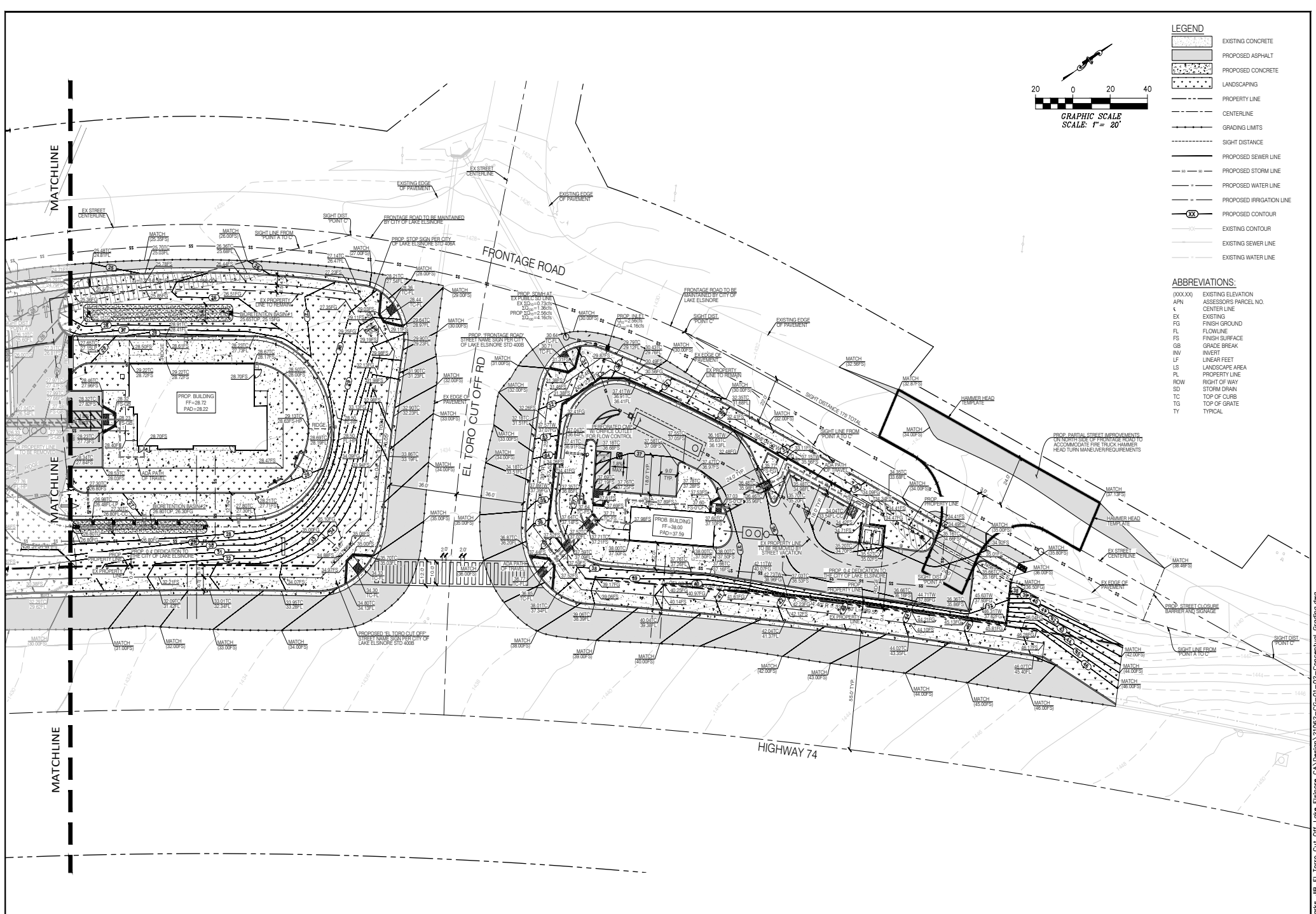
CONCEPTUAL GRADING

EL TORO DEVELOPMENT
EL TORO CUT OFF
LAKE ELSINORE, CA 92532

SHEET

CG-01

01 OF 07



LEGEND

- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- LANDSCAPING
- PROPERTY LINE
- CENTERLINE
- GRADING LIMITS
- SIGHT DISTANCE
- PROPOSED SEWER LINE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED IRRIGATION LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SEWER LINE
- EXISTING WATER LINE

ABBREVIATIONS:

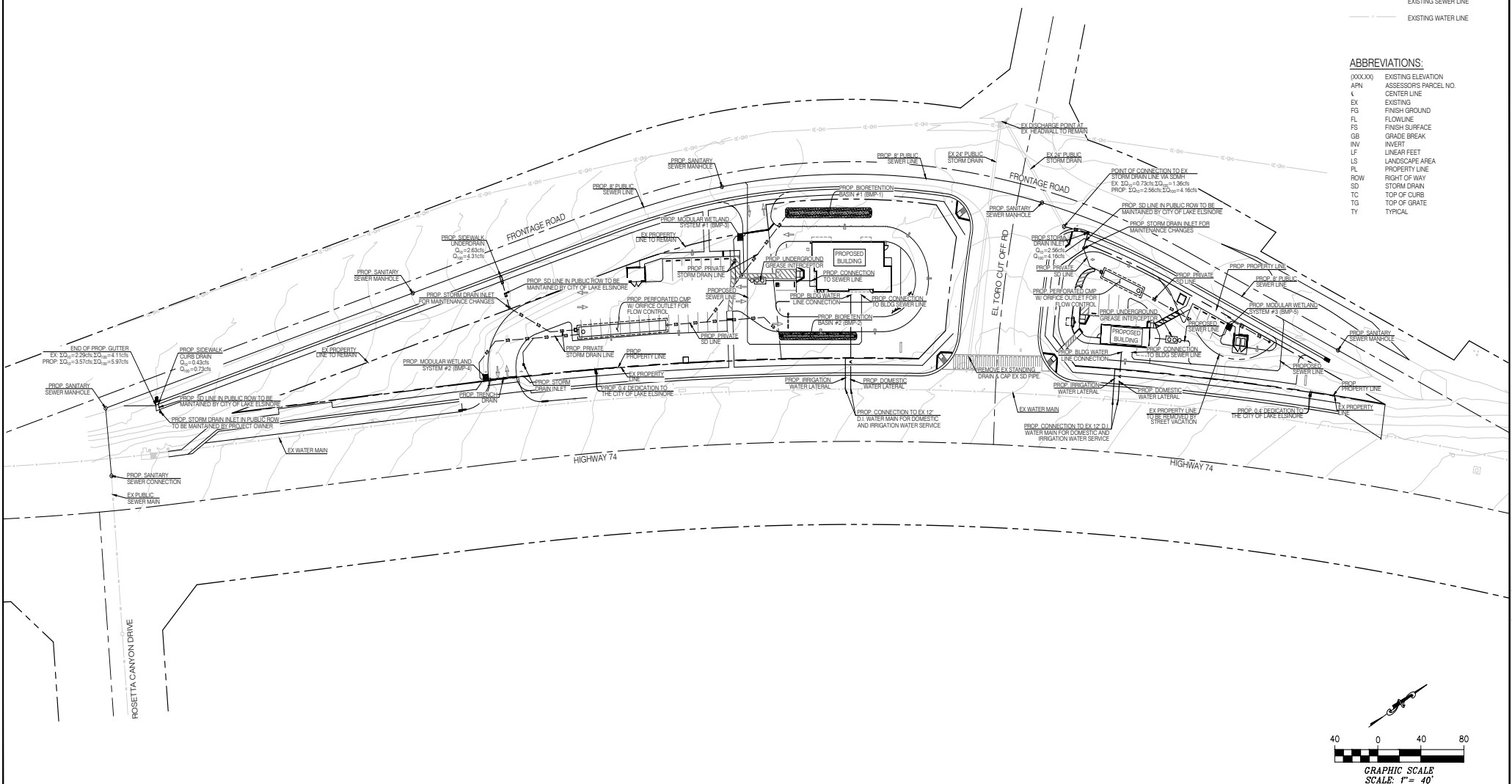
- EXISTING ELEVATION
- ASSESSORS PARCEL NO.
- CENTERLINE
- EXISTING
- FINISH GROUND
- FLOWLINE
- FINISH SURFACE
- GRADE BREAK
- INVERT
- LINEAR FEET
- LANDSCAPE AREA
- PROPERTY LINE
- RIGHT OF WAY
- STORM DRAIN
- TOP OF CURB
- TOP OF GRATE
- TYPICAL

REVISIONS		DESIGNED BY: AL	PLANS PREPARED BY: 01/11/23		 Today's Ideas. Tomorrow's Reality. 180 West Coast Drive, #110, Costa Mesa, CA 92626 714-441-9887 www.cdrresources.com	BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 12304-108, I.E. N 26°04'00" E.	EXIST. APN: 347-130-033 347-130-034 347-130-035	CONCEPTUAL GRADING EL TORO DEVELOPMENT EL TORO CUT OFF LAKE ELSINORE, CA 92532	SHEET CG-02 02 OF 07
DATE: 01/11/2023	APPROVED: BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS USGS BENCHMARK DESIGNATION "D 307," LOCATED AT THE WESTERLY CORNER OF EL TORO CUT/OFF AND THE NORTHERLY FRONTAGE ROAD. ELEVATION = 1425.75 FEET (NAVD 88)	DATE:							

S:\Projects\2021\1062_Markings\JLB_El Toro Cut Off_Lake Elsinore CA\Design\1062-CG-01-02-Conceptual Grading.dwg

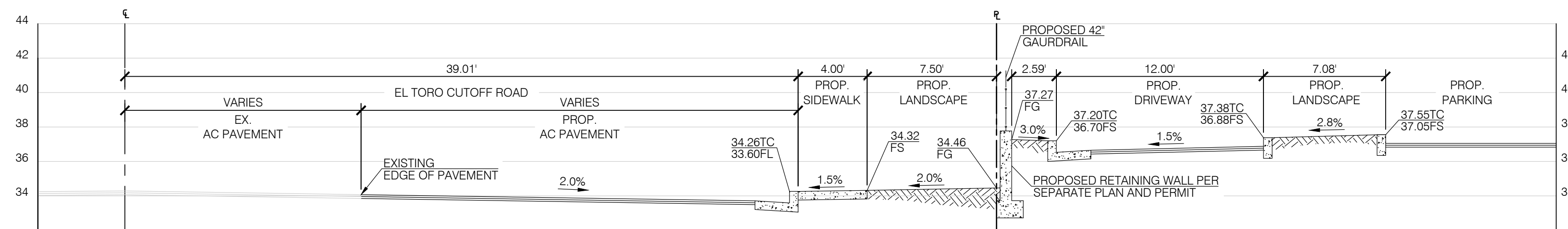
- LEGEND**
- EXISTING CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - LANDSCAPING
 - PROPERTY LINE
 - CENTERLINE
 - GRADING LIMITS
 - SIGHT DISTANCE
 - PROPOSED SEWER LINE
 - PROPOSED STORM LINE
 - PROPOSED WATER LINE
 - PROPOSED IRRIGATION LINE
 - EXISTING CONTOUR
 - EXISTING SEWER LINE
 - EXISTING WATER LINE

- ABBREVIATIONS:**
- (XXXXX) EXISTING ELEVATION
 - APN ASSESSOR'S PARCEL NO.
 - CL CENTER LINE
 - EX EXISTING
 - FG FINISH GROUND
 - FL FLOWLINE
 - FS FINISH SURFACE
 - GB GRADE BREAK
 - INV INVERT
 - LF LINEAR FEET
 - LS LANDSCAPE AREA
 - PL PROPERTY LINE
 - ROW RIGHT OF WAY
 - SD STORM DRAIN
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TY TYPICAL

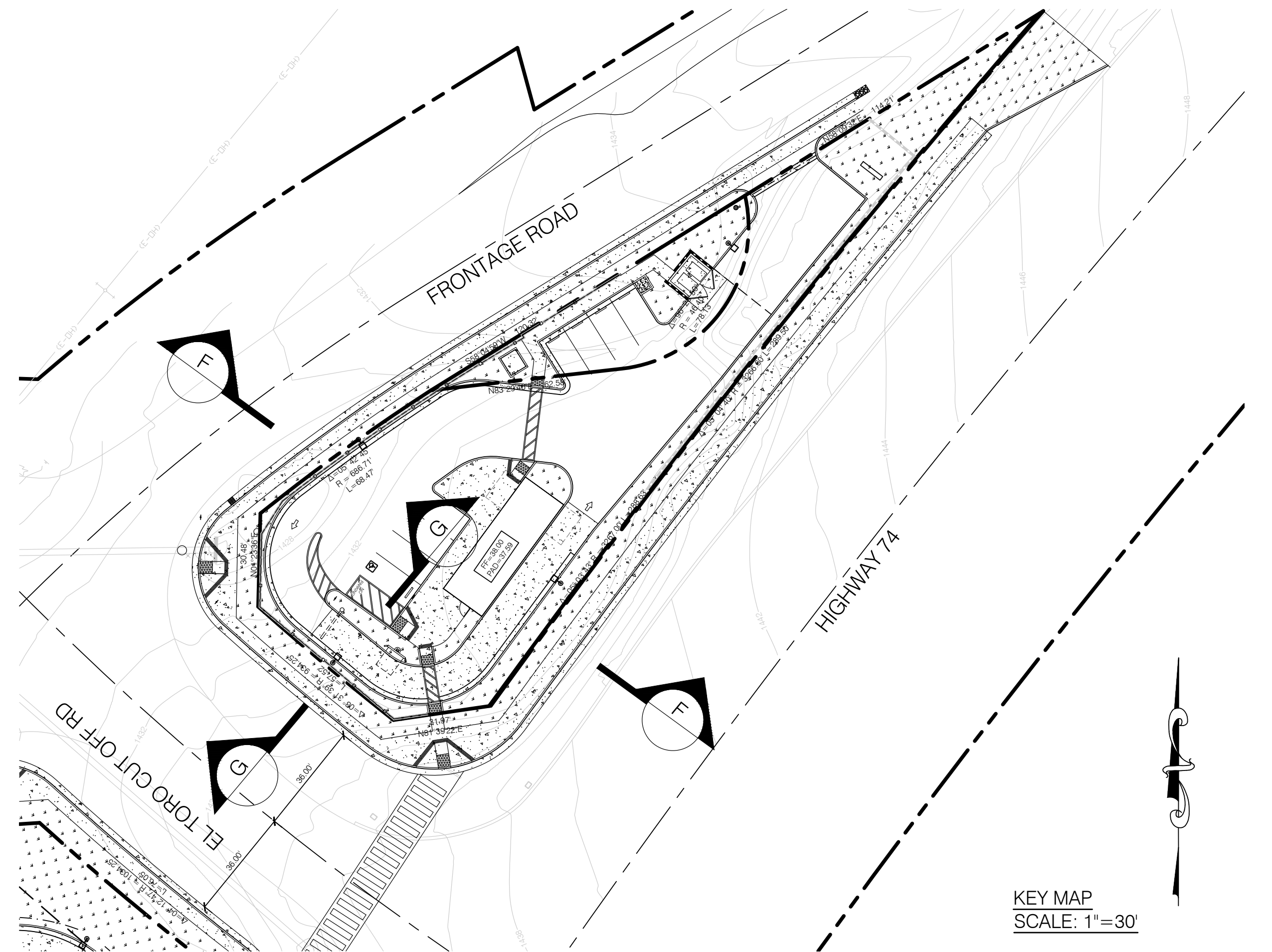


REVISIONS				DRAWN BY: HL CHECKED BY: ML DATE: 01/11/2023		PLANS PREPARED BY:		BASIS OF BEARINGS:		EXIST. APN:		CONCEPTUAL WET UTILITY PLAN		SHEET	
NUMBER	DATE		APPROVAL	BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS USGS BENCHMARK DESIGNATION 'D 307', LOCATED AT THE WESTERLY CORNER OF EL TORO CUT-OFF AND THE NORTHERLY FRONTAGE ROAD. ELEVATION = 1425.75 FEET (NAVD 88)		 AARON M. ALBERTSON R.C.E. 65513, EXP. 09/30/23		THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 12304-108, I.E. N 26°04'00" E.		347-130-033 347-130-034 347-130-035		EL TORO DEVELOPMENT EL TORO CUT OFF LAKE ELSINORE, CA 92532		CG-03 03 OF 07	

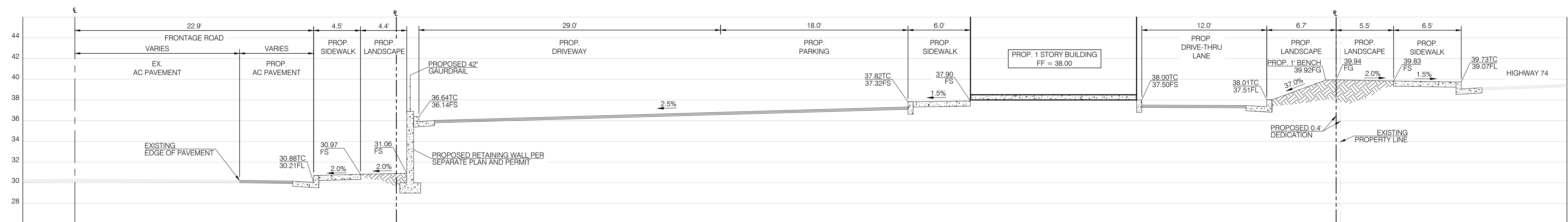




SECTION "G-G"
SCALE: 1"=5'

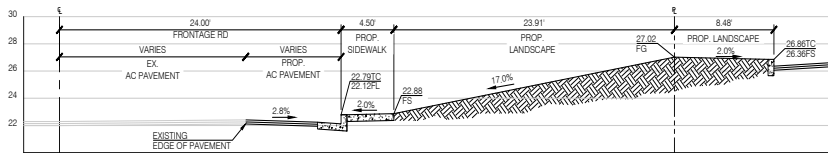


KEY MAP
SCALE: 1"=30'

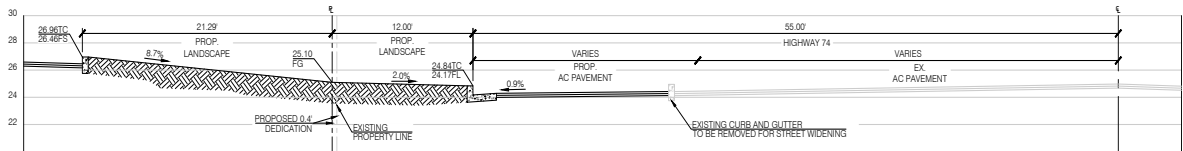


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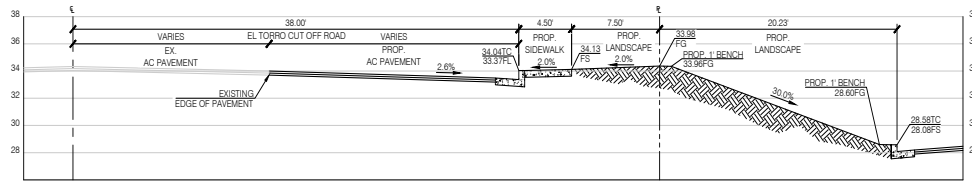
REVISIONS				DRAWN BY: HL CHECKED BY: ML DATE: 01/11/2023		PLANS PREPARED BY:		BASIS OF BEARINGS:		EXIST. APN:		SECTIONS		SHEET	
NUMBER	DATE		APPVD	BENCHMARK:		AARON M. ALBERTSON		THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT		347-130-033		EL TORO DEVELOPMENT		CG-05	
				THE BENCHMARK FOR THIS SURVEY IS USGS		NO. 65513		THE PORTION OF THE CENTERLINE OF STATE HIGHWAY 74,		347-130-034		EL TORO CUT OFF		05 OF 07	
				BENCHMARK DESIGNATION "D 307," LOCATED AT THE		EXP. 9/30/23		AS SHOWN ON SHEET 8 OF 15 ON ROS 123/94-108,		347-130035		LAKE ELSINORE, CA 92532			
				WESTERLY CORNER OF EL TORO CUTOFF AND THE		CIVIL		I.E. N 26°04'00" E.							
				NORTHERLY FRONTAGE ROAD.		STATE OF CALIFORNIA									
				ELEVATION = 1425.75 FEET (NAVD 88)		AARON M. ALBERTSON		695 Town Center Drive #110 Costa Mesa CA 92626							
						R.C.E. 65513, EXP. 09/30/23		T 949-610-9897 www.CDRest.com							
						DATE									
						01/11/23									



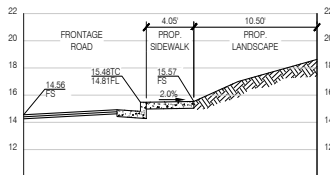
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SCALE: 1"=5'



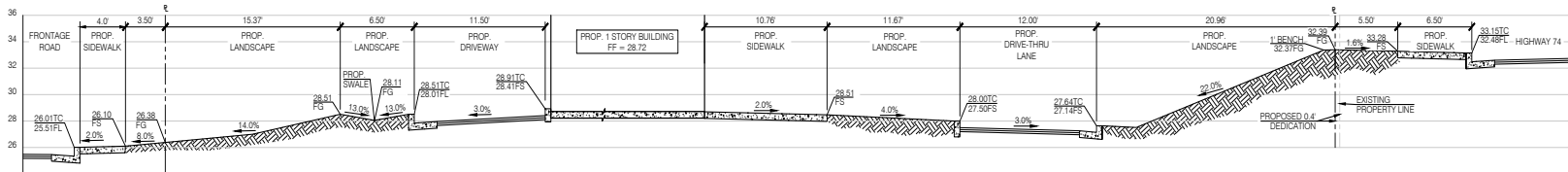
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SCALE: 1"=5'



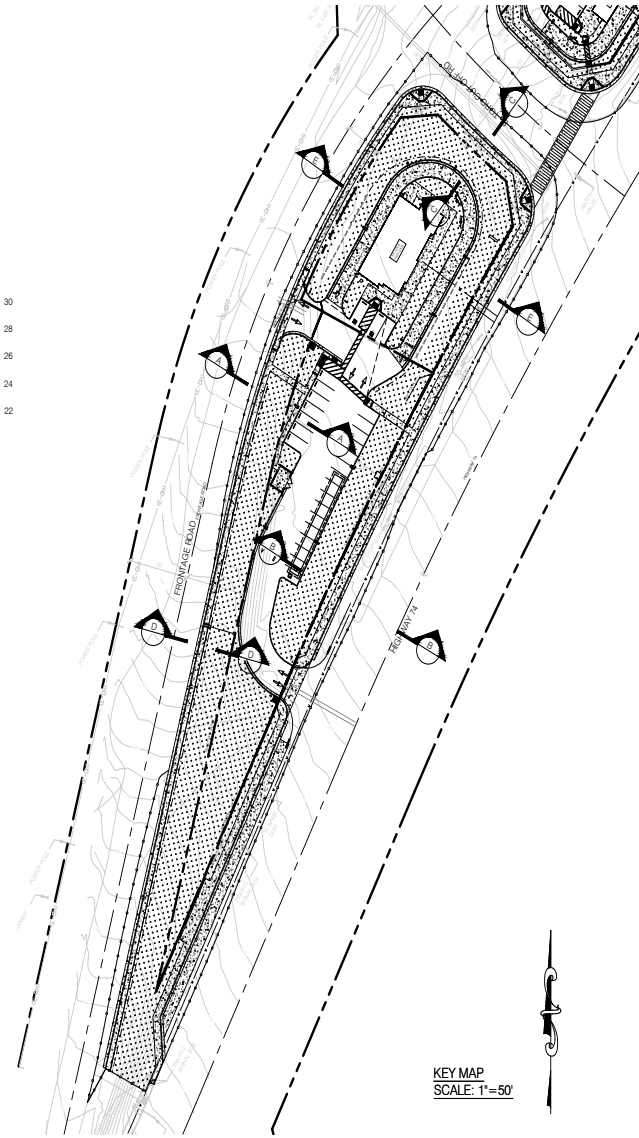
SECTION 'C-C'
SCALE: 1"=5'



SECTION 'D-D'
SCALE: 1"=5'



SECTION 'E-E'
SCALE: 1"=5'



KEY MAP
SCALE: 1"=50'

REVISIONS			
NUMBER	DATE	DESCRIPTION	APPROVED

DESIGNED BY: HL
CHECKED BY: HL
DATE: 01/11/2023

PREPARED BY:
AARON M. ALBERTSON
R.C.E. 65513, EXP. 09/30/23

DATE: 01/11/23

SEAL OF AARON M. ALBERTSON
REGISTERED PROFESSIONAL ENGINEER
NO. 40013
EXPIRATION DATE 09/30/23
CIVIL
STATE OF CALIFORNIA



BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 12304-108, I.E. N 26°04'00" E.

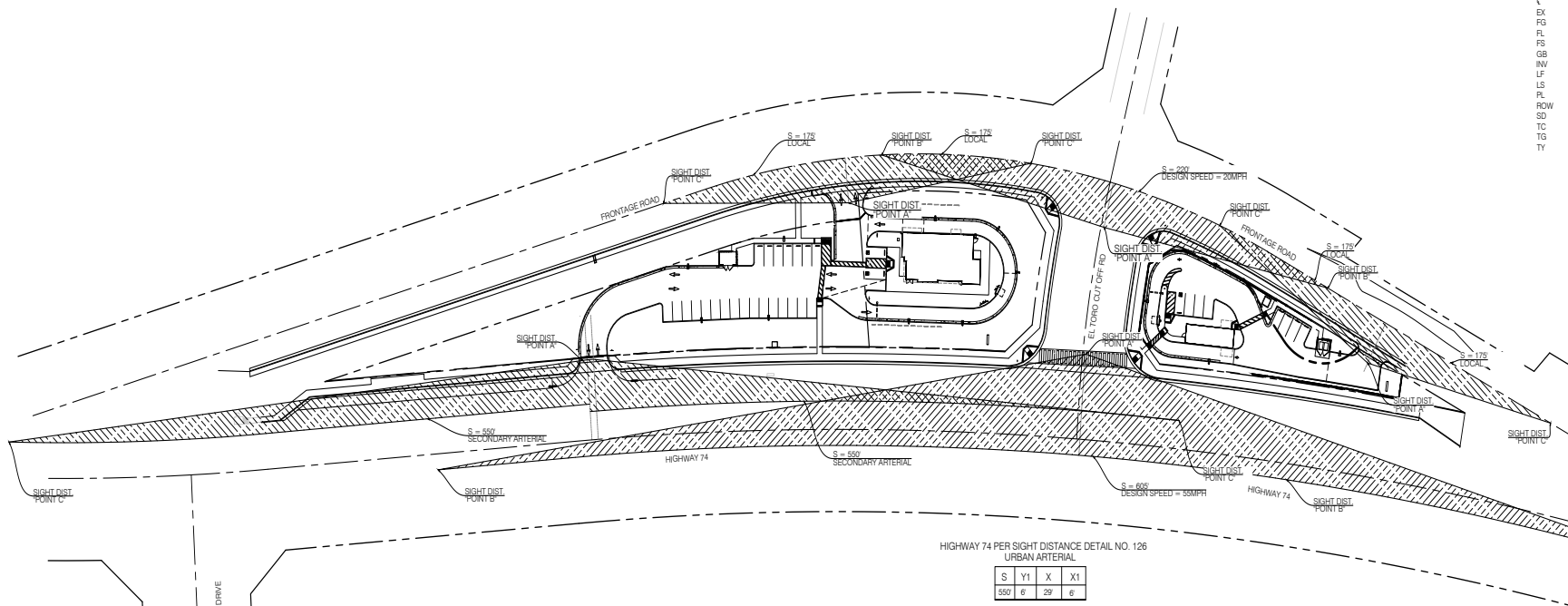
EXIST. APN:
347-130-033
347-130-034
347-130-035

SECTIONS		SHEET
EL TORO DEVELOPMENT EL TORO CUT OFF LAKE ELSINORE, CA 92532		CG-04
		04 OF 07

S:\Projects\2021\1062_Marketing\JLB_El Torro Cut Off_Lake Elsinore CA\Design\1062_CG-04-05-Cross Sections.dwg

- LEGEND**
- EXISTING CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - LANDSCAPING
 - PROPERTY LINE
 - CENTERLINE
 - GRADING LIMITS
 - SIGHT DISTANCE

- ABBREVIATIONS:**
- XXXXXX EXISTING ELEVATION
 - APN ASSESSOR'S PARCEL NO.
 - CL CENTER LINE
 - EX EXISTING
 - FG FINISH GROUND
 - FL FLOWLINE
 - FS FINISH SURFACE
 - GB GRADE BREAK
 - INV INVERT
 - LF LINEAR FEET
 - LS LANDSCAPE AREA
 - PL PROPERTY LINE
 - ROW RIGHT OF WAY
 - SD STORM DRAIN
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TY TYPICAL



HIGHWAY 74 PER SIGHT DISTANCE DETAIL NO. 126
URBAN ARTERIAL

S	Y1	X	X1
550	0	29	0

FRONTAGE ROAD PER SIGHT DISTANCE DETAIL NO. 126
LOCAL

S	Y1	X	X1
175	0	0	0

EL TORO CUTOFF ROAD PER INTERSECTION SIGHT DISTANCE STD. NO. 821
LOCAL

SPEED	S
25 MPH	275
55 MPH	600



REVISIONS

NUMBER	DATE	DESCRIPTION

DRAWN BY: HL
CHECKED BY: HL
DATE: 01/11/2023
BENCHMARK: THE BENCHMARK FOR THIS SURVEY IS USGS BENCHMARK DESIGNATION 'D 307', LOCATED AT THE WESTERLY CORNER OF EL TORO CUTOFF AND THE NORTHERLY FRONTAGE ROAD.
ELEVATION = 1425.75 FEET (NAVD 88)

PLANS PREPARED BY:

AARON M. ALBERTSON
R.C.E. 65513, EXP. 09/30/23
DATE: 01/11/23



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 123/94-108, I.E. N 26°04'00" E.

EXIST. APN:

347-130-033
347-130-034
347-130-035

SIGHT DISTANCE EXHIBIT

EL TORO DEVELOPMENT
EL TORO CUT OFF
LAKE ELSINORE, CA 92532

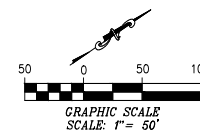
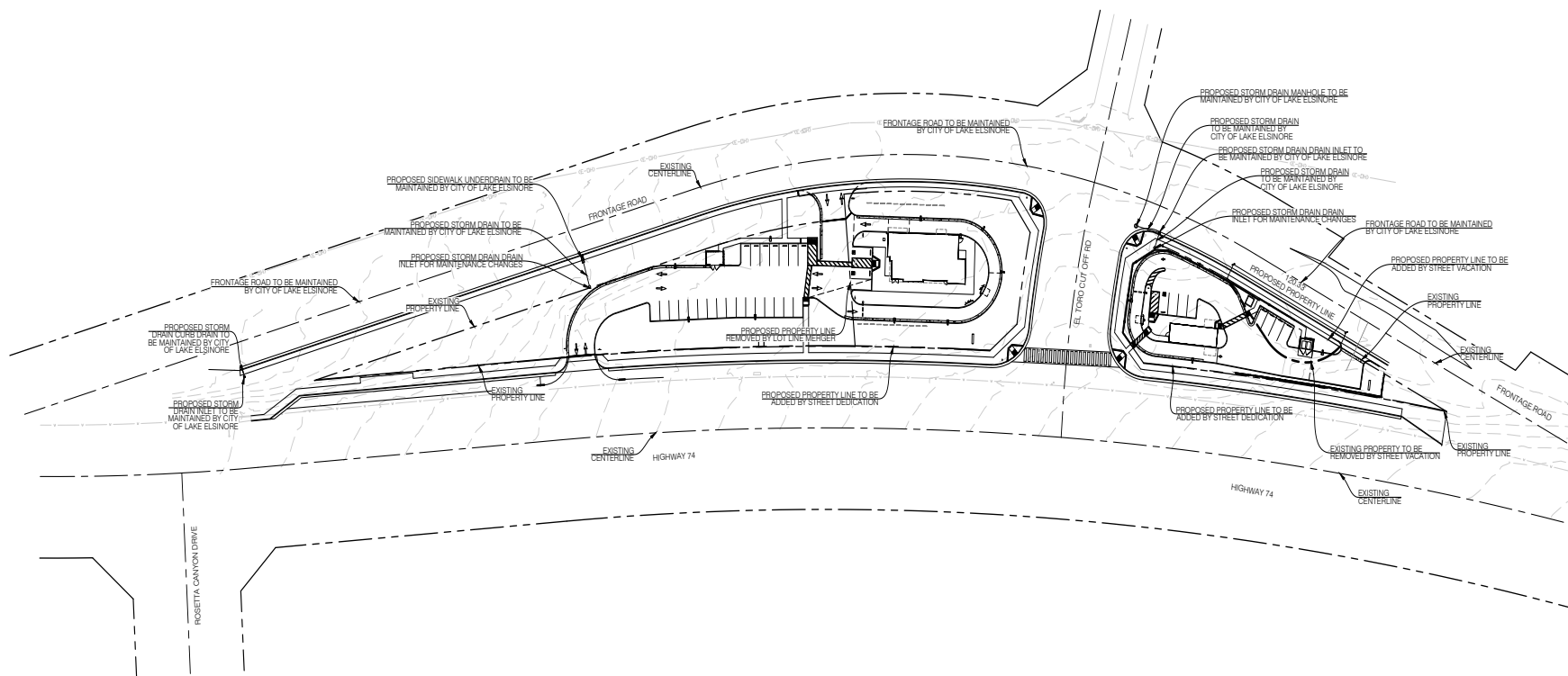
SHEET

CG-06

06 OF 07

LEGEND	
	EXISTING CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	LANDSCAPING
	PROPERTY LINE
	CENTERLINE

ABBREVIATIONS:	
(XXX.XX)	EXISTING ELEVATION
APN	ASSESSOR'S PARCEL NO.
CL	CENTER LINE
EX	EXISTING
FG	FINISH GROUND
FL	FLOWLINE
FS	FINISH SURFACE
GB	GRADE BREAK
INV	INVERT
LF	LINEAR FEET
LS	LANDSCAPE AREA
PL	PROPERTY LINE
ROW	RIGHT OF WAY
SD	STORM DRAIN
TO	TOP OF CURB
TG	TOP OF GRATE
TY	TYPICAL



REVISIONS		
NUMBER	DATE	DESCRIPTION

DRAWN BY: HL CHECKED BY: HL DATE: 01/11/2023	PLANS PREPARED BY: AARON M. ALBERTSON R.C.E. 65513, EXP. 09/30/23
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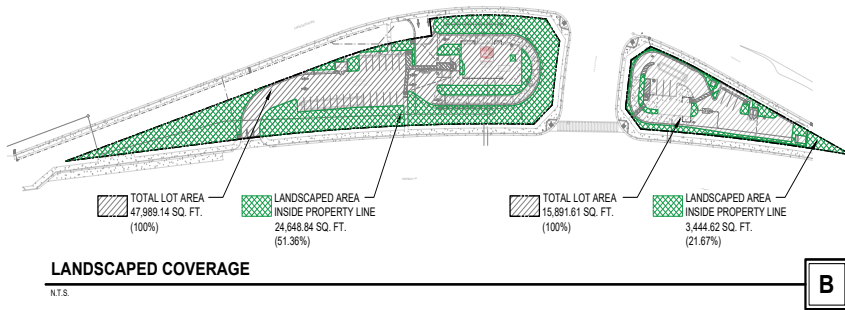
BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THAT PORTION OF THE CENTERLINE OF STATE HIGHWAY 74, AS SHOWN ON SHEET 8 OF 15 ON RDS 12304-108, I.E. N 26°04'00" E.

EXIST. APN: 347-130-033 347-130-034 347-130-035

MAINTENANCE EXHIBIT EL TORO DEVELOPMENT EL TORO CUT OFF LAKE ELSINORE, CA 92532	SHEET CG-07 07 OF 07
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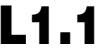


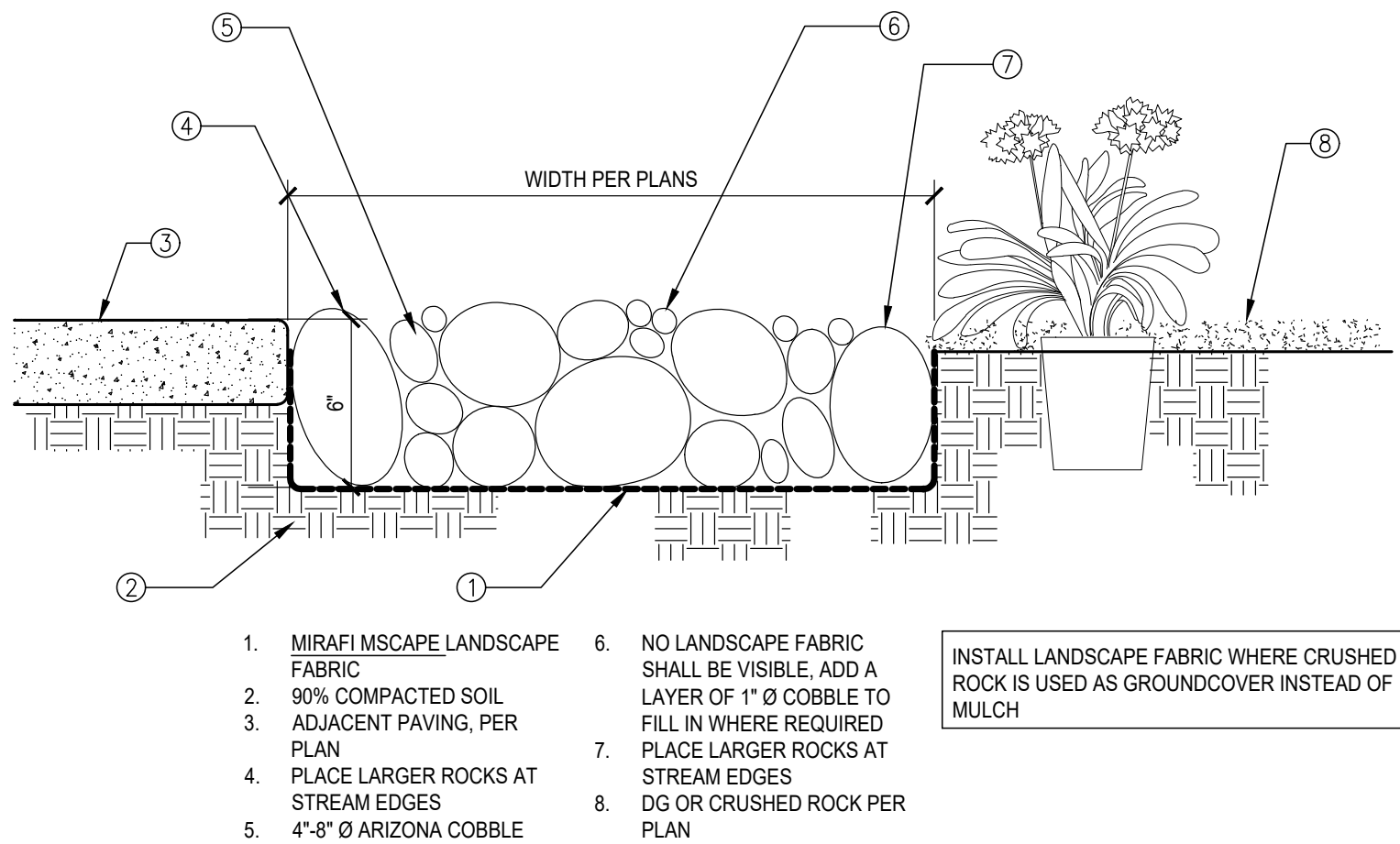
2623 Fourth Ave.
San Diego, CA 92103
619-702-9448



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EL TORO ROAD AND HWY 74
LAKE ELSINORE, CA 92532





COBBLE STREAM

NOT SCALED

D

PLANTING NOTES

A SOIL TEST SHALL BE MADE BY LANDSCAPE CONTRACTOR PRIOR TO THE BEGINNING OF WORK AND THE RECOMMENDATIONS MUST BE USED FOR INSTALLATION. SEE PLANTING NOTE 12.

AN IRRIGATION AUDIT REPORT MAY BE REQUIRED BY THE CITY PRIOR TO CERTIFICATE OF OCCUPANCY. IF A CERTIFICATE OF COMPLETION IS REQUIRED BY THE CITY, PLEASE NOTIFY LANDSCAPE ARCHITECT 48 HOURS BEFORE INSPECTION.

THE CONTRACTOR SHALL ENSURE THAT ALL PLANTS RECEIVE **SUPERTHRIVE** VITAMIN SOLUTION AT TIME OF INSTALLATION

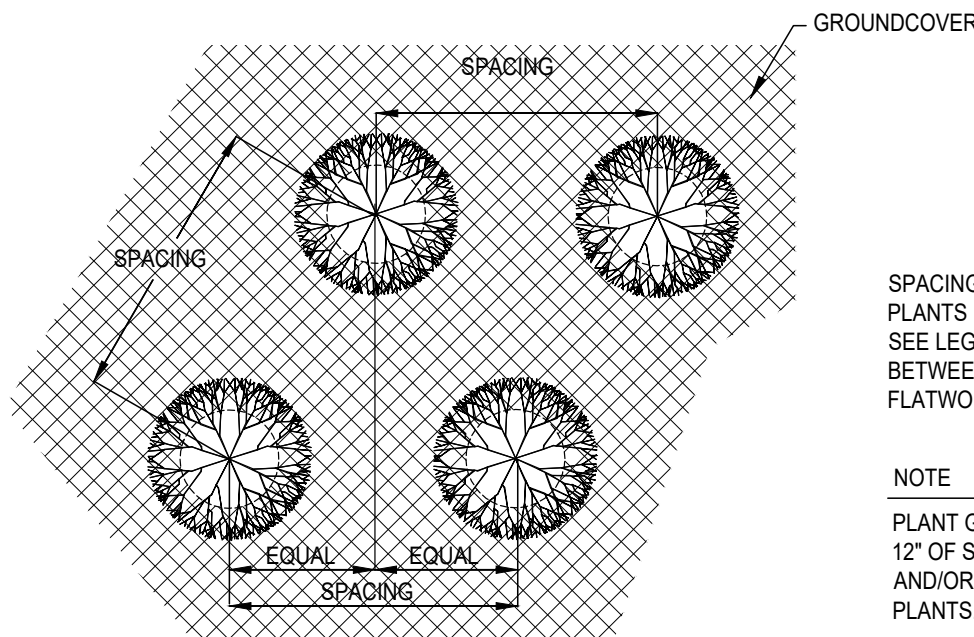
- LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE WITHIN PLUS OR MINUS .10 FEET OF FINISH GRADE.
- THE PLANTING PLANS ARE DIAGRAMMATIC. MINOR ADJUSTMENTS IN PLANT LOCATIONS AND TYPE MAY BE MADE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO BE ADVISED THAT CERTAIN CULTIVARS OR SPECIES OF PLANTS FOR THIS PROJECT MAY ONLY BE AVAILABLE THROUGH RETAIL SOURCES (IE.: PATENED MONROVIA SELECTIONS). CONTRACTOR IS FURTHER ADVISED THAT ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE "PREMIUM" NURSERY STOCK.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND REPLACED UPON REQUEST BEFORE OR AFTER THE PLANTING.
- THE LANDSCAPE CONTRACTOR WILL COORDINATE HIS WORK WITH THE OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
- PLANT QUANTITIES AND AREAS SHOWN ON LEGENDS ARE FOR CONTRACTORS' CONVENIENCE IN ESTIMATING ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS TO COVER ALL AREAS AS SHOWN ON PLANS.
- SLOPE ALL PLANTING AREAS AWAY FROM BUILDING AT 2% MINIMUM FOR 5 FEET MINIMUM, WHERE APPLICABLE.
- LANDSCAPE ARCHITECT SHALL APPROVE FINAL PLACEMENT OF ALL SHRUBS, AND VINES PRIOR TO PLANTING.
- SHRUB PITS 5 GALLONS AND SMALLER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1-1/2 TIMES CONTAINER DEPTH.
- SHRUB PITS 15 GALLONS AND LARGER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1" LESS THAN CONTAINER DEPTH.
- DO NOT DAMAGE PLANT ROOTBALL DURING TRANSPORTATION OR PLANTING.
- CONTRACTOR SHALL USE THE FOLLOWING AMENDMENT SCHEDULE FOR BIDDING PURPOSES ONLY. A SOIL TEST SHALL BE MADE BY THE CONTRACTOR AND THE RESULTS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR INCLUSION IN THE LANDSCAPE PLANS, AND THE RECOMMENDED AMENDMENTS SHALL BE USED FOR ACTUAL INSTALLATION.

100 LBS. OF GYPSUM PER 1000 SQ. FT.
70 LBS. OF TRI-C (6-24 W/ 5% SULFUR) PER 1000 SQ. FT.
6 LBS. OF IRON SULFATE PER 1000 SQ. FT.
25 LBS. OF SOIL SULFUR PER 1000 SQ. FT.
5 CUBIC YARDS OF NITROLIZED ORGANIC AMENDMENT PER 1000 SQ. FT. (SEE NOTE 16)

- AMENDED SOIL SHALL BE ROTOTILLED TO A DEPTH OF 8".
- NO IRON SULFATE SHALL COME IN CONTACT WITH ANY MASONRY SURFACE.
- NITROLIZED ORGANIC AMENDMENT SHALL BE HUMIC COMPOST FROM AGRI-SERVICE, LOAMEX™, OR APPROVED EQUAL.
- A. PLANTING BACKFILL MIX FOR ALL CONTAINER PLANTS SHALL CONSIST OF 1/3 NITROLIZED ORGANIC AMENDMENT AND 2/3 EXISTING SOIL, PLUS 2-1/2 LBS. OF SOIL SULFUR, 2 LBS. IRON SULFATE PER CU. YD., 4 LBS. GYPSUM, AND 6 LBS. OF TRI-C (6-24 W/ 5% SULFUR) PER CUBIC YARD.
- B. ALL PLANTED AREAS SHALL BE WATERED IN THOROUGHLY WITH SARVON™, PER MANUFACTURERS SPECIFICATIONS IN ADVANCE OF PLANTING.

C. ALL PLANTS SHALL BE WATERED THOROUGHLY WITH SUPERTHRIVE™ WITHIN 1 HOUR OF PLANTING.

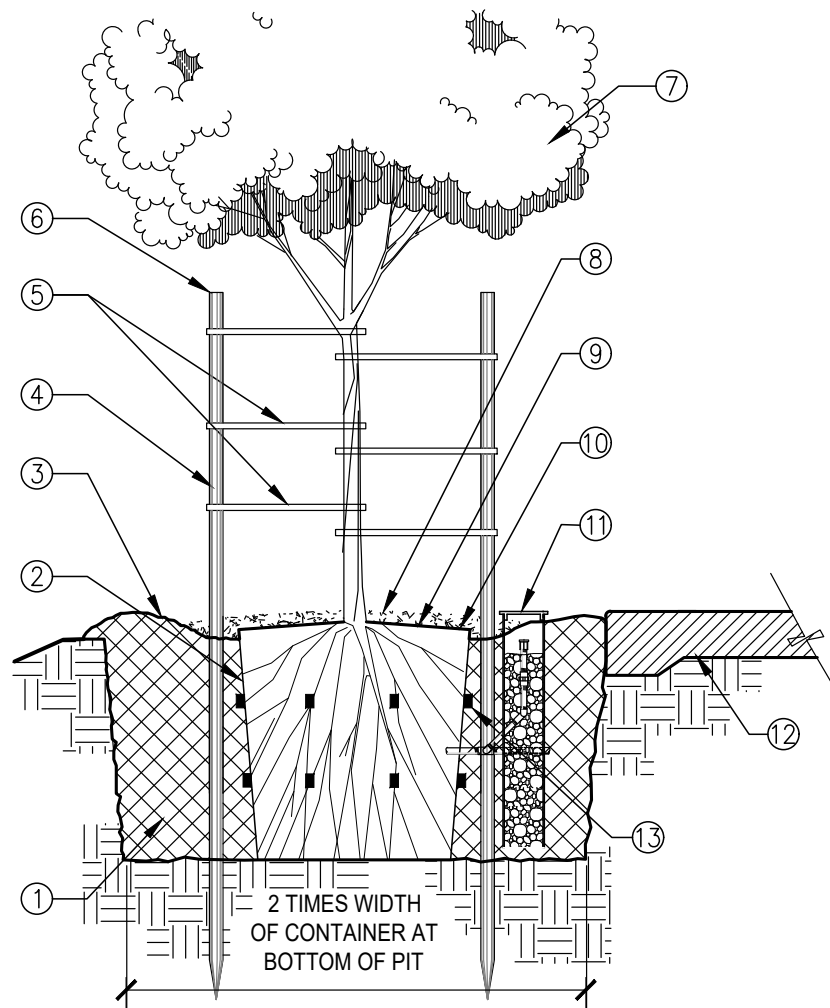
- ALL PLANTS 1-GALLON SIZE OR LARGER SHALL RECEIVE AGRIFORM 21-GRAM 20-10-5 FERTILIZER TABLETS AT THE FOLLOWING RATES:
ONE PER 1-GALLON; TWO PER 5-GALLON; FIVE PER 15-GALLON; 12 PER 24" BOXED TREES; 18 PER 36" BOXED TREES (SEE L.A. FOR RATES FOR LARGER STOCK). PLACE TABLETS AT HALF THE DEPTH OF THE PLANTING PIT AND 1" FROM ROOTBALL. (BOXED TREES SHALL BE IN 2 LAYERS GOING UP ALONG SIDES OF THE ROOTBALL).
- ALL PLANTS INSTALLED FROM FLATS SHALL RECEIVE ONE AGRIFORM 5-GRAM 20-10-5 TABLET EACH, AND ALL 4" POTS SHALL RECEIVE TWO 5-GRAM TABLETS EACH, MIXED WITH A HANDFUL OF PREPARED BACKFILL PER NOTE 17.
- ALL PLANTS PLANTED FROM CONTAINERS SHALL HAVE THEIR ROOTBALLS SCORED WITH A SHARP TOOL TO A DEPTH OF 1" IN THREE LONGITUDINAL INCISIONS AT LOCATIONS SPACED AROUND THE ROOTBALL BEFORE PLACING PLANT IN PLANTING HOLE.
- ALL TYING MATERIALS AND MARKING TAPES SHALL BE REMOVED AT THE TIME OF PLANTING.
- STAKES SHALL BE REMOVED FROM VINES AND VINES SHALL BE PROVIDED WITH AN APPROVED MEANS OF SUPPORT.
- ALL SHRUB PLANTING AREAS SHALL BE COVERED WITH A 3" DEEP LAYER OF SHREDDED FIR BARK, OR APPROVED EQUAL. ALL BARK TO BE NITROLIZED WITH 5% NITROGEN. WHEN GRAVEL OR COBBLE GROUND COVER IS USED, A LANDSCAPE FILTER FABRIC MUST BE INSTALLED, WITH AN OVERLAP OF 12" MIN. BETWEEN ROLLS AND FASTENED WITH STAPLES FLUSH TO THE FABRIC TO PREVENT MOVEMENT.
- IF THE SOIL TEST PREVIOUSLY MENTIONED SHOWS THAT PERMEABILITY RATES ARE LESS THAN .5" PER HOUR, LANDSCAPE ARCHITECT MAY REQUIRE A TREE DRAIN SYSTEM.
- A LANDSCAPE MAINTENANCE PERIOD OF 90 DAYS SHALL BE CONSIDERED PART OF THIS CONTRACT. REFER TO THE PROJECT SPECIFICATIONS FOR DETAILS.



TRIANGULAR SPACING GROUNDCOVERS & SHRUBS

NOT TO SCALE

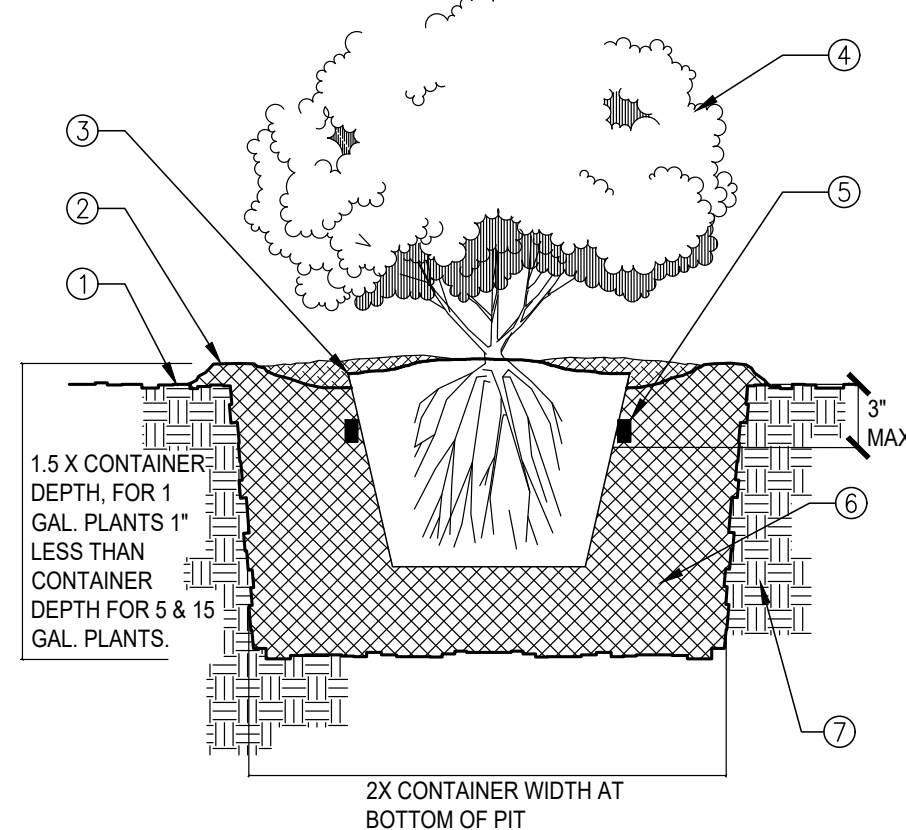
A



TREE PLANTING

NOT TO SCALE

B



SHRUB PLANTING

NOT TO SCALE

C



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san diego ca 92103
619-702-9448



2643 4th Avenue
San Diego CA 92103
phone 619.544.1977
angelina@asotelo.com
www.asotelo.com

PLANNING SUBMITTAL 11.08.2021

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MK TYPE: MK11_SM

JIB #: 5497

ADDRESS:

EL TORO ROAD AND HWY 74
LAKE ELSINORE, CA 92532




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
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
PLANTING
NOTES &
DETAILS

L1.2


GENERAL NOTES


- ALL DIMENSIONS SHOWN TO FACE OF EXTERIOR WALLS ARE FACE OF STUD. ALL DIMENSIONS SHOWN TO INTERIOR WALLS ARE TO CENTERLINE OF STUD. OR FACE OF FINISH GYPSUM BOARD OR FINISH WOOD.
- ALL EXTERIOR WALLS SHALL BE 24" WOOD STUDS AT 16" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON THE INTERIOR FACE. U.O.N.
- A.  INDICATES WALLS THAT SHALL BE 5 1/2" STL. STUDS AT 16" O.C. PER STRUCTURAL DRAWINGS. U.O.N. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION.


B.  INDICATES INTERIOR WALL FACE W/ 5/8" PLYWOOD IN LIEU OF 5/8" WATER RESISTANT GYPSUM BOARD.

C.  INDICATES INTERIOR WALLS THAT SHALL BE 24" WOOD STUDS AT 16" O.C. U.O.N. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION. (WALL OCCURS ON SPLIT COORDINATE ONLY)


D. TYPICAL INTERIOR WALLS.


E. PROVIDE TILE BACKER BOARD AT ALL WALL TILE.
- A.  INDICATES WALLS THAT SHALL BE 20 ga 5 1/2" STL. STUDS AT 16" O.C. U.O.N. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION. (WALL OCCURS ON SPLIT COORDINATE ONLY)


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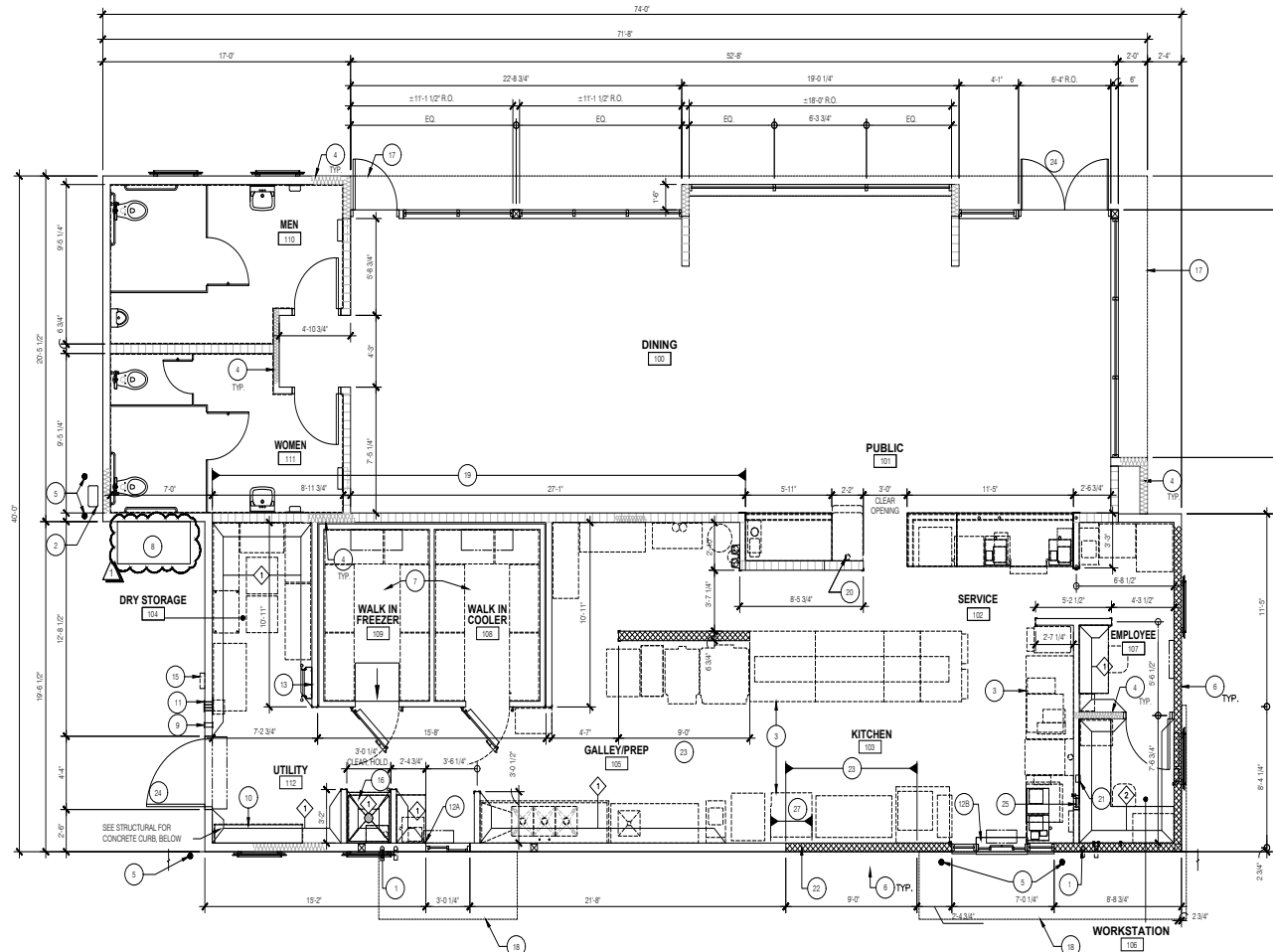
D. TYPICAL INTERIOR WALLS.

E. PROVIDE TILE BACKER BOARD AT ALL WALL TILE.

- FOR EXTERIOR WALL TREATMENT, SEE EXTERIOR ELEVATIONS.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT OR THE USE OF A KEY.
- ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL EXTERIOR JOINTS AROUND DOOR FRAMES & WINDOWS & AT ALL PENETRATIONS THROUGH BUILDING ENVELOPE SHALL BE SEALED USING SEALANT & CAULKING. ADDITIONALLY, FOAM INSULATION SHALL BE PROVIDED IN & AROUND ALL WINDOW AND/OR DOOR FRAMES WHERE METAL MEETS WOOD. FRAMING PLUS ALL EXTERIOR WALL OPENINGS/PENETRATIONS.
- ALL GLAZING WITHIN DOORS AND OPERABLE WINDOW, AND ALL GLAZING ADJACENT TO DOORS SHALL BE TEMPERED AS REQUIRED BY CURRENT BUILDING CODE.
- POST MAX. SIZE OCCUPANCY LOAD SIGN IN CONSPICUOUS PLACE NEAR MAIN EXITS AT 8'-0" & 8'-0" CAULK AROUND ALL SIDES. MAXIMUM SEATING CAPACITY - 46 FOR SEAT COUNT. SEE 'BUILDING DATA' ON SHEET 101.0.
- ALL FINISH SURFACES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS C OR HIGHER FLAME SPREAD INDEX 75 THROUGH 200 & A SMOKE DENSITY RATING OF 450.
- ALL DRAPES, CURTAINS & DECORATIVE MATERIAL PROVIDED AND/OR INSTALLED BY THE GENERAL CONTRACTOR SHALL BE MADE FROM NON-FLAMMABLE MATERIALS OR TREATED WITH FLAME RETARDANT AS REQUIRED BY THE LOCAL FIRE MARSHAL.
- OWNER SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL. GENERAL CONTRACTOR TO INSTALL.
- BUILDING ADDRESS NUMBERS SHALL BE A MINIMUM 12" HIGH AND BE OF CONTRASTING COLORS.
- ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL. SEE ELECTRICAL DRAWINGS.
- PROVIDE EXIT SIGNS FOR EGRESS IDENTIFICATION. SEE ELECTRICAL DRAWINGS.
- PROVIDE APPROVED EGRESS ILLUMINATION AND ILLUMINATED EXIT SIGNS. SEE ELECTRICAL DRAWINGS.
- PROVIDE APPROVED PANIC HARDWARE ON EXIT DOORS.
- CONTRACTOR TO PROVIDE BORIC ACID TERMITE PROTECTION IN ALL WALLS.
- GENERAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF THE FOOD SERVICE EQUIPMENT CONTRACTOR.
- FOR ITEMS FURNISHED BY OTHERS & INSTALLED BY GENERAL CONTRACTOR SEE KITCHEN AND INTERIOR DRAWINGS.
- CONSULT CONSTRUCTION MANAGER FOR REQUIREMENTS FOR AIR CURTAINS AT DRIVE THRU AND CASHIER WINDOWS AND AT DINING ENTRIES. PROVIDE DOOR SWITCHES AS NECESSARY.
- EXIT AISLES SHALL MEET ALL APPLICABLE CODES.

KEY NOTES

- ROOF DRAINS. SEE SITE PLAN FOR CONTINUATION.
- GAS METER. SEE PLUMBING DRAWINGS.
- LINE OF FOOD SERVICE EQUIPMENT. SEE KITCHEN DRAWINGS.
- R-19 BATT INSULATION IN ALL EX. WALLS AND SOUND INSULATION IN ALL RESTROOM AND WORKSTATION WALLS.
- BARRIER POST. TYP. SEE SITE DETAILS.
- LINE OF CONCRETE CURB. TYP.
- WALK-IN FREEZER AND COOLER. SEE KITCHEN DRAWINGS.
- ELECTRICAL METER. SEE EXTERIOR ELEV. AND ELECTRICAL DRAWINGS.
- CO2 FILL BOX. SEE EXTERIOR ELEVATIONS.
- ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS.
- GREASE TANK / BULK OIL SYSTEM BOX. SEE KITCHEN & PLUMBING DRAWINGS.
- COUNTER AT DRIVE-THRU CASHIER WINDOW. SEE GENERAL NOTE 8 THIS SHEET.
- LADDER TO ROOF.
- IRRIGATION CONTROLLER IN TAMPERPROOF ENCLOSURE. SEE LANDSCAPE AND ELECTRICAL DRAWINGS.
- MOP SINK.
- LINE OF BRANDING PANELS. ABOVE.
- LINE OF CANOPY. TYP.
- FOAM SEAL TOP OF CHASE AFTER ALL SERVICES ARE COMPLETED.
- 8" BLOCK OUT AT THIS LOCATION FOR LIGHTING TIME CLOCK. SEE ELECTRICAL DRAWINGS.
- INSTALL 5/8" GYPSUM BOARD OVER STEEL STUDS. DO NOT INSTALL F.R.P. BEHIND HOODS. SEE KITCHEN DRAWINGS FOR STAINLESS STEEL FINISH.
- LANDING BEGINNING ELEV. 0'-0" TO SLOPE MAX 2% AWAY FROM BUILDING. SEE SITE PLANS.
- PROVIDE NON-COMBUSTIBLE BLOCKING IN WALL FOR KITCHEN EQUIPMENT. SEE GENERAL NOTE 4 THIS SHEET FOR ADDITIONAL INFORMATION.
- INTERIOR STOREFRONT WINDOW. SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- BATT INSULATION IN NON-COMBUSTIBLE WALL AREA SHALL BE UN-FACED NON-COMBUSTIBLE INSULATION.



HIGH MOISTURE REGIONS

- ☐ PROVIDE THE FOLLOWING MOISTURE RESISTANT MATERIALS. SEE SPECIFICATIONS FOR OTHER DETAILS.
- JOHN MANVILLE MR FACED INSULATION AT EXTERIOR STUD WALLS IN LIEU OF KRAFT FACED INSULATION. POSITION INSULATION WITH THE MR FACED SIDE LOCATED ON THE EXTERIOR FACE OF STUD (ADJACENT TO THE EXTERIOR PLYWOOD SHEATHING).
 - GEORGIA PACIFIC DENSARMOR PLUS INTERIOR FIREGUARD TYPE X GLASS MAT GYPSUM BOARD IN LIEU OF PAPER FACED GYPSUM BOARD.
 - GEORGIA PACIFIC DENS SHIELD FIREGUARD TILE GUARD TYPE X ACRYLIC COATED GLASS MAT GYPSUM BOARD IN LIEU OF CEMENTITIOUS BACKER BOARD (C.B.B.)

FLOOR PLAN - JACK IN THE BOX

1/4" = 1'-0"



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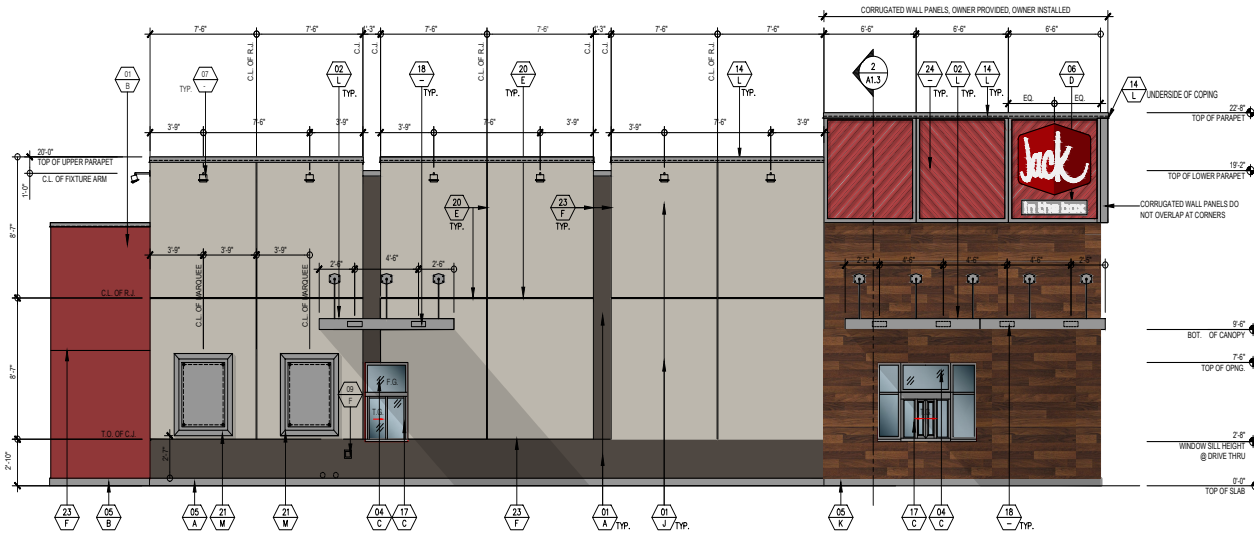
MK TYPE: MK10B
 JIB #: 5497
 ADDRESS: HWY 74 NS
 EL TORO CUT OFF,
 LAKE ELSINORE CA,
 92532



1/4" = 1'-0"

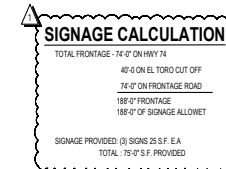
FLOOR PLAN

A1.0



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE

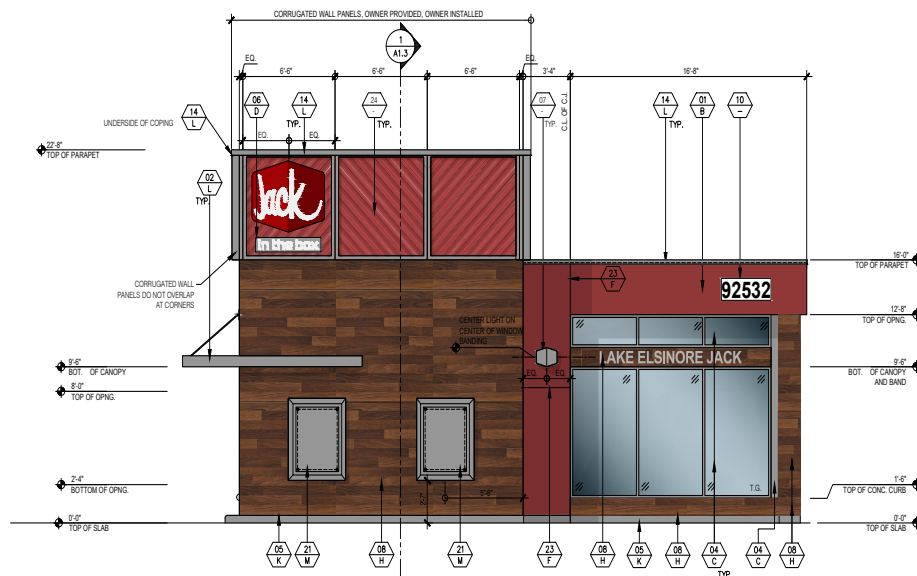
MATERIAL FINISH	COLOR
01	EXTERIOR CEMENT PLASTER SAND FLOAT FINISH (SEE SPECIFICATIONS)
02	INTEGRAL COLOR
03	SHERWIN WILLIAMS ACRYLIC COATING
04	EXTERIOR INSULATION FINISHING SYSTEM (EIFS)
05	AS ALTERNATE, CONTRACTOR TO SUBSTITUTE EIFS IN LIEU OF EXTERIOR CEMENT PLASTER
06	AWNING/CANOPY & SUPPORTS (C.F.D.)
07	GREASE TRAP / BULK OIL SYSTEM BOX
08	ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
09	1" CLEAR INSULATED GLASS
10	1" SOLARBAN 60 COATING
11	1" CLEAR INSULATED GLASS
12	1" SOLARBAN 60 COATING
13	WITH GRAPHTIFILM
14	ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
15	INTERIALLY ILLUMINATED SIGNAGE (C.F.D.) (NOT A PART OF THIS PERMIT)
16	WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16A.3 FOR FIXTURE ATTACHMENT.
17	MAIN ELECTRICAL SERVICE
18	LOCKABLE PRIVACY CONTROL PANEL
19	STONE VENEER
20	ALUMINUM COPING COLOR TO BE FACTORY APPLIED TO BE COLOR LISTED OR BE EQUIVALENT MATCH
21	COPING/BOX METAL COVER
22	DRIVE THRU CASHIER WINDOW
23	MOUNT LIGHTING FIXTURE WITHIN CANOPY
24	FEASURE WINDOW POP OUT W/ ALUMINUM BREAK METAL PANELS
25	SEWERING GRAY
26	PLASTER CONTROL JOINT

COLOR:

A	SHERWIN WILLIAMS: SW 2827
B	SHERWIN WILLIAMS: SW 6891
C	STANDARD STONEFRONT, CLEAR ANODIZED
D	WHITE TEXT ON WHITE BACKGROUND
E	PALM TRIP QUARTZ GREY
F	COLOR FINISH TO MATCH ADJACENT SURFACE

GENERAL NOTES:

- ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
- C.J. = PLASTER CONTROL JOINT
- ALL PLASTER ACCESSORIES: FLASHING ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N.)
- ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED; SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- R.J. = 3/4" PLASTER REINFORCING JOINT
- ALL OUTSIDE CORNERS WITH CROSSVILLE SPEARHEAD TO GET



WEST ELEVATION

SCALE: 1/4" = 1'-0"



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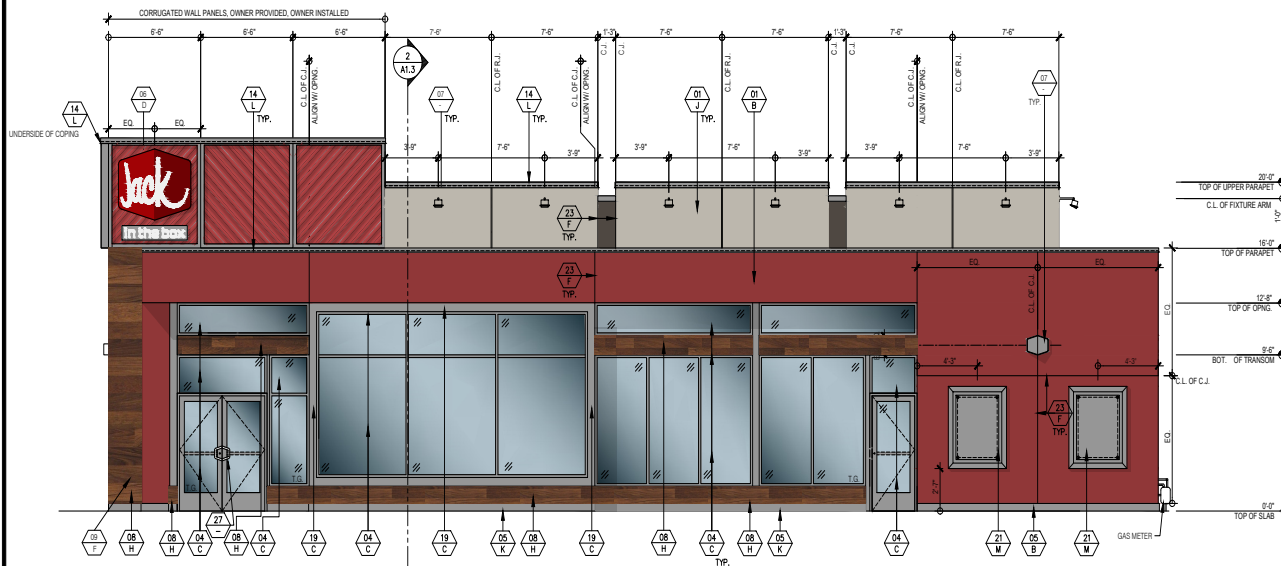
Jack
in the box
MK10B



1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A1.2



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SIGNAGE CALCULATION

TOTAL FRONTAGE: 74'-0" ON HWY 74
40'-0" ON EL TORO CUT OFF
74'-0" ON FRONTAGE ROAD
188'-0" FRONTAGE
188'-0" OF SIGNAGE ALLOWED
SIGNAGE PROVIDED: (3) SIGNS 25 S.F. E.A.
TOTAL: 75'-0" S.F. PROVIDED

EXTERIOR FINISH SCHEDULE

01 MATERIAL/FINISH
COLOR

MATERIAL/FINISH:

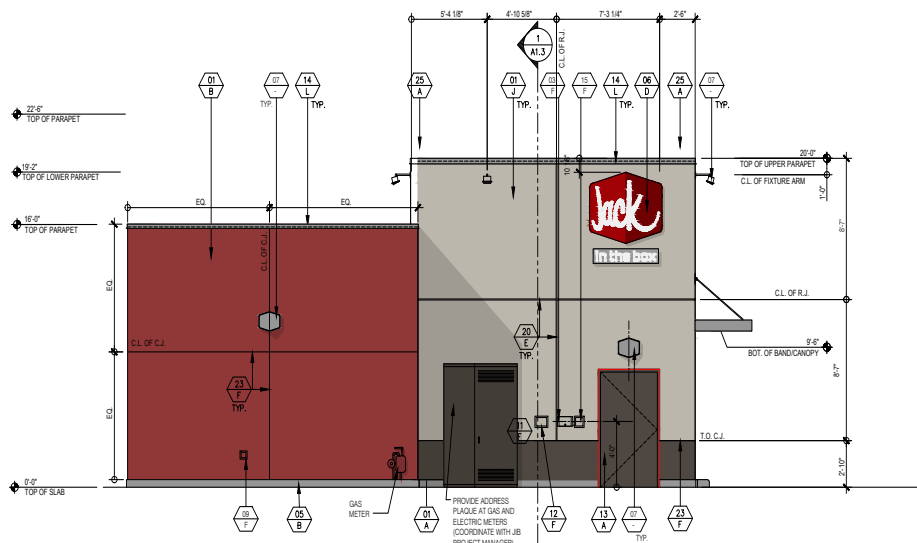
- 01 EXTERIOR CEMENT PLASTER, SAND FLOAT FINISH (SEE SPECIFICATIONS)
 - ☒ INTEGRAL COLOR
 - ☒ SHERWIN WILLIAMS ACRYLIC COATING
 - ☐ EXTERIOR INSULATION FINISHING SYSTEM (EIFS)
AS ALTERNATE, CONTRACTOR TO SUBSTITUTE EIFS IN LIEU OF EXTERIOR CEMENT PLASTER
- 02 AWNING/CANOPY & SUPPORTS (O.F.O.) (CF-E202) (CF-E204) (CF-E205)
- 03 GREASE TANK / BULK OIL SYSTEM BOX
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - ☒ 1" CLEAR INSULATED GLASS
 - ☐ 1" CLEAR INSULATED GLASS W/ SOLARBAN 70XL COATING
 - ☐ 1" SOLARBAN 60 COATING
 - ☐ ANTI-GRAFFITI FILM
- 05 ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.), NOT A PART OF THIS PERMIT
- 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16169.3 FOR FIXTURE ATTACHMENT.
- 08 MAIN ELECTRICAL SERVICE
- 09 LOCKABLE, IRRIGATION CONTROL PANEL
- 10 STONE VENEER
- 11 ALUMINUM COPING, COLOR TO BE FACTORY APPLIED TO BE COLOR LISTED OR BE EQUIVALENT MATCH.
- 12 CO2 FILL BOX METAL COVER
- 13 DRIVE THRU CASHIER WINDOW
- 14 MOUNT LIGHTING FIXTURE WITHIN CANOPY
- 15 FEATURE WINDOW POP OUT W/ ALUMINUM BREAK METAL PANELS
- 16 SERVING GRAY
- 17 PLASTER CONTROL JOINT

COLOR:

- A SHERWIN WILLIAMS: SW 2827
B SHERWIN WILLIAMS: SW 6991
C STANDARD STOREFRONT, CLEAR ANODIZED
D WHITE TEXT ON WHITE BACKGROUND
E RAL-7030 QUARTZ GREY
F COLOR FINISH TO MATCH ADJACENT SURFACE

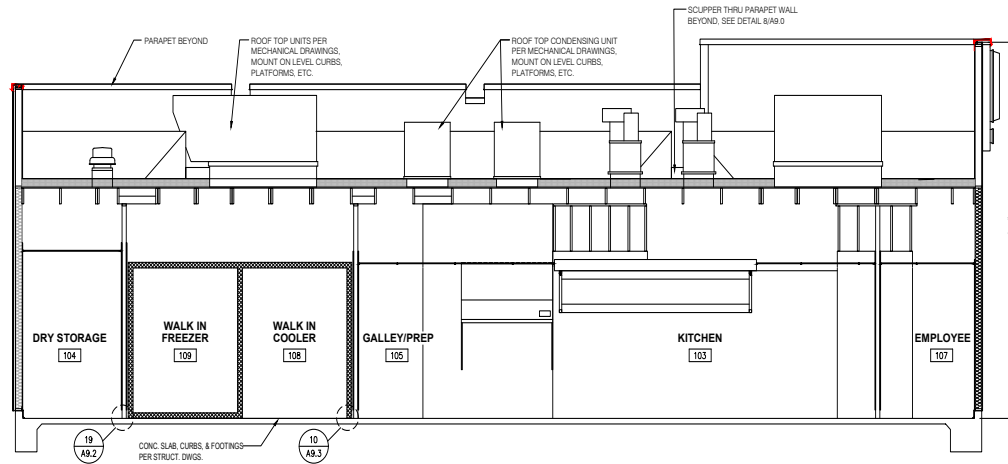
GENERAL NOTES:

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.L.C.).
2. C.J. = PLASTER CONTROL JOINT.
3. ALL PLASTER ACCESSORIES, FLASHING ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N.).
4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
5. R.J. = 3/4" PLASTER REVEAL JOINT
6. ALL OUTSIDE CORNERS WITH CROSSVILLE SPEAKEASY TO GET



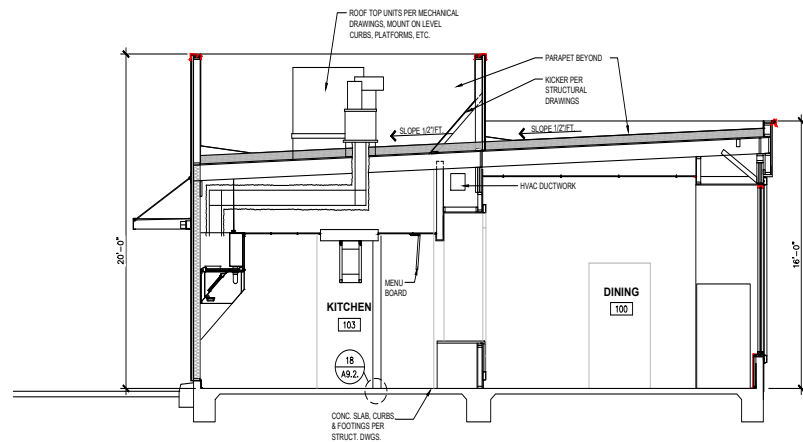
EAST ELEVATION

SCALE: 1/4" = 1'-0"



1 BUILDING LONGITUDINAL SECTION

1/4" = 1'-0"



2 BUILDING CROSS SECTION

1/4" = 1'-0"



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JB #: 5497
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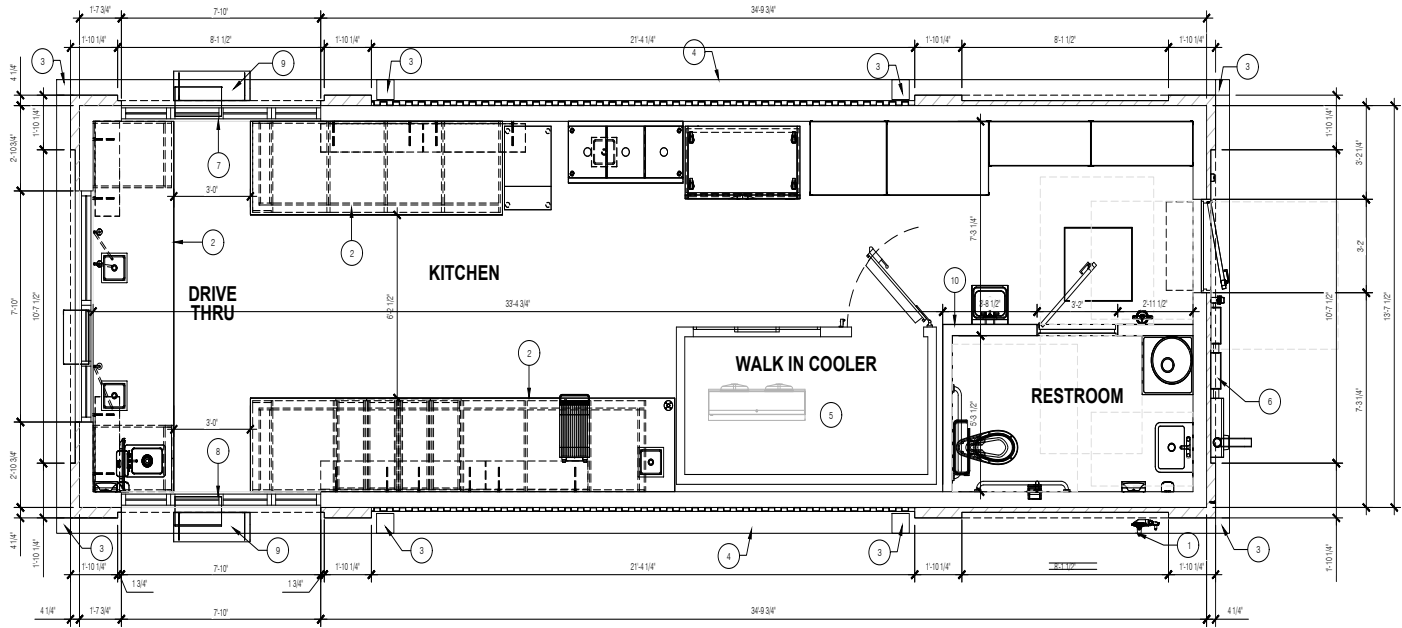
A1.3

GENERAL NOTES

1. ALL DIMENSIONS SHOWN TO FACE OF EXTERIOR WALLS ARE FACE OF STUD. ALL DIMENSIONS SHOWN TO INTERIOR WALLS ARE TO CENTERLINE OF STUD. OR FACE OF FINISH GYPSUM BOARD OR PLYWOOD.
2. ALL EXTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 16" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON THE INTERIOR FACE. U.O.N.
- A.  INDICATES WALLS THAT SHALL BE 5 1/2" STL. STUDS AT 16" O.C. PER STRUCTURAL DRAWINGS. U.O.N. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION.
3. ALL INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 24" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON BOTH SIDES. U.O.N.
- A.  INDICATES WALLS THAT SHALL BE 20 ga 5 1/2" STL. STUDS AT 16" O.C. U.O.N. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION. (WALL OCCURS ON SPLIT COOKLINE ONLY)
- B.

KEY NOTES

1. GAS METER. SEE PLUMBING DRAWINGS.
2. LINE OF FOOD SERVICE EQUIPMENT. SEE KITCHEN DRAWINGS.
3. BARRIER POST, TYP. SEE SITE DETAILS.
4. LINE OF CONCRETE CURB, TYP.
5. WALK-IN FREEZER AND COOLER. SEE KITCHEN DRAWINGS.
6. ELECTRICAL METER. SEE EXTERIOR ELEV. AND ELECTRICAL DRAWINGS.
7. COUNTER AT DRIVE-THRU CASHIER WINDOW. SEE GENERAL NOTE 8 THIS SHEET.
8. COUNTER AT DRIVE-THRU PICK-UP WINDOW. SEE GENERAL NOTE 8 THIS SHEET.
9. LINE OF CANOPY, TYP.
10. R-19 BATT INSULATION IN ALL EXT. WALLS AND SOUND INSULATION IN ALL RESTROOM AND WORKSTATION WALLS.



HIGH MOISTURE REGIONS

- ☐ PROVIDE THE FOLLOWING MOISTURE RESISTANT MATERIALS. SEE SPECIFICATIONS FOR OTHER DETAILS.
1. JOHNS MANVILLE MR FACED INSULATION AT EXTERIOR STUD WALLS IN LIEU OF KRAFT FACED INSULATION. POSITION INSULATION WITH THE MR FACED SIDE LOCATED ON THE EXTERIOR FACE OF STUD ADJACENT TO THE EXTERIOR PLYWOOD SHEATHING.
2. GEORGIA PACIFIC DENSARMOR PLUS INTERIOR FIREGUARD TYPE X GLASS MAT GYPSUM BOARD IN LIEU OF PAPER FACED GYPSUM BOARD.
3. GEORGIA PACIFIC DENS SHIELD FIREGUARD TILE GUARD TYPE X ACRYLIC COATED GLASS MAT GYPSUM BOARD IN LIEU OF CEMENTITIOUS BACKER BOARD (C.B.B.)

FLOOR PLAN - THE HUMAN BEAN

1/4" = 1'-0"



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3/8" = 1'-0"
FLOOR PLAN

A2.0



NORTH ELEVATION

SCALE: 1/4"=1'-0"



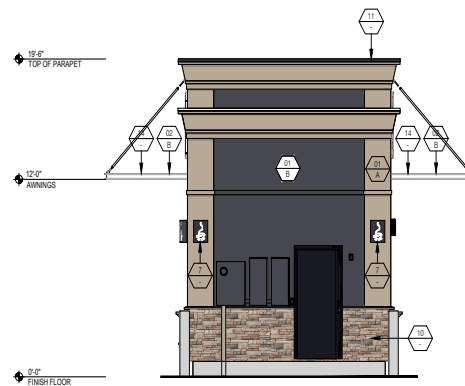
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

11 MATERIAL FINISH
12 COLOR

MATERIAL FINISH:

- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH (SEE SPECIFICATIONS)
 - 11 INTEGRAL COLOR
 - 12 SHERWIN WILLIAMS ACRYLIC COATING
 - 13 EXTERIOR INSULATION FINISHING SYSTEM (EIFS) AS ALTERNATE, CONTRACTOR TO SUBSTITUTE EIFS IN LIEU OF EXTERIOR CEMENT PLASTER
- 02 AWNING/CANOPY & SUPPORTS (C.F.O.I.) (OF-020) (OF-020) (OF-020)
- 03 GREASE TANK / BULK OIL SYSTEM BOX
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 11 1" CLEAR INSULATED GLASS
 - 12 1" CLEAR INSULATED GLASS W/ SOLARBAN TOLL COATING
 - 13 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
 - 14 ANTI-GRAFFITI FILM
- 05 ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 06 INTERNALLY ILLUMINATED SIGNAGE (C.F.O.I.) NOT A PART OF THIS PERMIT
- 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16A-B-3 FOR FIXTURE ATTACHMENT
- 08 MAIN ELECTRICAL SERVICE
- 09 LOOKABLE, IRRIGATION CONTROL PANEL
- 10 STONE VENER
- 11 ALUMINUM COPING, COLOR TO BE FACTORY APPLIED TO BE COLOR LISTED OR BE EQUIVALENT MATCH
- 12 CO2 FILL BOX METAL COVER
- 13 DRIVE THRU CASHIER WINDOW
- 14 MOUNT LIGHTING FIXTURE WITHIN CANOPY
- 15 FEATURE WINDOW POP OUT W/ ALUMINUM BREAK METAL PANELS
- 16 SERVING GRAY
- 17 PLASTER CONTROL JOINT

COLOR:

- A SHERWIN WILLIAMS: SW 2827
- B SHERWIN WILLIAMS: SW 6091
- C STANDARD STOREFRONT: CLEAR ANODOX
- D WHITE TEXT ON WHITE BACKGROUND
- E RAL 7039 QUARTZ GREY
- F COLOR FINISH TO MATCH ADJACENT SURFACE

GENERAL NOTES:

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.L.C.).
2. C.J. = PLASTER CONTROL JOINT
3. ALL PLASTER ACCESSORIES, FLASHING ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N.)
4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN.
5. GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL NOTES.
6. R.J. = 3/4" PLASTER REVEAL JOINT
7. ALL OUTSIDE CORNERS WITH CROSSVILLE SPEAKEASY TO GET

SIGNAGE CALCULATION

TOTAL FRONTAGE - 34'-0" ON HWY 74
13'-0" ON EL TORO CUT OFF
34'-0" ON FRONTAGE ROAD
81'-0" FRONTAGE
81'-0" OF SIGNAGE ALLOWET

SIGNAGE PROVIDED: (3) SIGNS 27 S.F. EA
TOTAL: 81'-0" S.F. PROVIDED



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the HUMAN
BEAN
1/4" = 1'-0"
EXTERIOR
ELEVATIONS

A2.1



JACK IN THE BOX ELEVATION

SCALE: 1/4"=1'-0"

- | | | |
|---|---|---|
| 1 | 2 | 3 |
| | | |
| MFR-SHERWIN WILLIAMS
COLOR: SW 7016
MINDFUL GRAY | MFR-SHERWIN WILLIAMS
COLOR: SW 6321
RED BAY
(D.T. TOWER) | MFR-SHERWIN WILLIAMS
COLOR: SW 7020
BLACK FOX |
| 4 | 5 | |
| | | |
| 8" PORCELAIN WALL TILE
CROSSVILLE SPEAKEASY
AV283, SWEET GEORGIA
BROWN WITH SAND
BEIGE H148 GROUT | CORRUGATED METAL
PANEL | |



THE HUMAN BEAN ELEVATION

SCALE: 1/4"=1'-0"

- | | | |
|--|---|--|
| 1 | 2 | 3 |
| | | |
| MFR-SHERWIN WILLIAMS
COLOR: SW 7016
MINDFUL GRAY | MFR-SHERWIN WILLIAMS
COLOR: SW 6991
BLACK MAGIC | MFR-SHERWIN WILLIAMS
COLOR: SW 7662
EVENING SHADOW |
| 4 | | |
| | | |
| STONE VANNER | | |