



REPORT TO PLANNING COMMISSION

To: Honorable Chair and Members of the Planning Commission

From: Damaris Abraham, Interim Assistant Community Development Director

Prepared by: Kevin Beery, Associate Planner

Date: April 18, 2023

Subject: **Planning Application No. 2018-64 – Request for Design Review Approval to Construct 344 Detached Single-Family Residences and Related Improvements in Tract No. 28214-9 of the Murdock Alberhill Ranch Specific Plan**

Applicant: Matthew Matson, Pulte Group

Recommendation

1. Find and determine that pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, the project would not have a significant effect on the environment and no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in a previously certified Addendum No. 2 to the Alberhill Ranch Specific Plan Final Environmental Impact Report; and
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING RESIDENTIAL DESIGN REVIEW NO. 2022-06 PROVIDING BUILDING DESIGNS AND RELATED IMPROVEMENTS FOR 344 DETACHED SINGLE-FAMILY RESIDENTIAL UNITS IN TRACT 28214-9 OF THE MURDOCK ALBERHILL RANCH SPECIFIC PLAN (APNS: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054).

Background

The Alberhill Ranch Specific Plan (ARSP) and the corresponding Environmental Impact Report (EIR) (SCH # 88090517) were adopted and certified by the City Council on August 28, 1989. The

ARSP allowed for 3,705 dwelling units, 254 acres of commercial uses, 531 acres of open space, 30 acres of park land, and 50 acres of school sites.

Amendment No. 1 to the ARSP and EIR Addendum No. 1 were adopted in June 1992. The amendment established the Murdock Alberhill Ranch Specific Plan (MARSP) document applying to 511 acres of land and made various revisions to the ARSP. The amendment permitted a maximum of 1,819 dwelling units and included commercial land, two public park sites, a school site, open space, and private park sites.

On January 13, 2004, the City Council certified Addendum No. 2 to the Alberhill Ranch Specific Plan EIR and approved Vesting Tentative Tract Map (VTTM) No. 28214 allowing the subdivision of approximately 163 acres into 913 single family residential lots, one (1) multi-family residential lot, and six (6) public and institutional lots. The expiration of VTTM No. 28214 was extended through a series of automatic and discretionary extensions, the most recent of which was a three-year extension of time granted by the City Council on December 8, 2020.

On November 9, 2021, the City Council approved Final Map No. 28214-9 and on November 21, 2021, Tract Map No. 28214-9 was filed with the County Recorder thereby subdividing the approximately 134-acre site into 344 residential lots and 55 lettered lots with streets dedicated to the public for street and utility purposes. The average lot size is 9,600 square feet, with the minimum being 6,039 square feet.

Project Location

The project site consists of Tract No. 28214-9 located on the south side of Nichols Road between Alberhill Ranch Road and Terra Cotta Road in Planning Area 1 of the Murdock Alberhill Ranch Specific Plan (APNs: 389-090-032 thru 035, 389-790-001 thru 048, 389-800-001 thru 024, 389-801-001 thru 031; 389-802-001 thru 020; 389-810-001 thru 035; 389-811-001 thru 011; 389-812-001 thru 017, 389-820-001 thru 007, 389-821-001 thru 007, 389-822-001 thru 037, 389-830-001 thru 022, 389-831-001 thru 019, 389-832-001 thru 011, 389-840-001 thru 024, and 389-841-001 thru 054).

Environmental Setting

	EXISTING USE	ZONING	GENERAL PLAN
Project Site	Vacant	RSF; R-M	MARSP
North	Vacant	Suburban Village; HDMFR	Alberhill Ranch SP
South (westerly)	Vacant	OS	Cape of Good Hope SP
South (easterly)	Vacant	LMDR	Terracina SP
East (southerly)	Vacant	OS	MARSP
East (northerly)	Vacant	C-1	MARSP
West	Residential	RSF; R-M; ES	MARSP

Project Description

Planning Application No. 2018-64 (Residential Design Review No. 2022-06) proposes the design and construction of 344 single-family detached residential units, preliminary plotting, conceptual landscaping, conceptual wall and fence plan, and related improvements in Tract No. 28214-9. The proposed development is configured into four community groups each containing a total of three floor plans (one- and two-story units). The floor plans overall range in size from 1,959 to 3,337 square feet. The proposed development features three architectural styles (Spanish, Prairie, and Craftsman).

Below is a description of the project design aspects and features, including floor plans, architectural design, conceptual wall and fence plans and landscaping.

Floor Plans

Each unit will be roughly rectangular in plan and contain a two-car garage with a two-car driveway. The development will feature separate community group areas each featuring three different floor plans as described below:

Crestly

Plan 1: One-story, 1,959 sq. ft. unit with 4 bedrooms, 2 bathrooms

Plan 2: Two-story, 2,404 sq. ft. unit with 5 bedrooms, 2.5 bathrooms

Plan 3: Two-story, 2,824 sq. ft. unit with 5 bedrooms, 3 bathrooms

Fairfield

Plan 1: One-story, 2,191 sq. ft. unit with 3 bedrooms, 2 bathrooms

Plan 2: Two-story, 2,655 sq. ft. unit with 4 bedrooms, 2.5 bathrooms

Plan 3: Two-story, 2,824 sq. ft. unit with 5 bedrooms, 3 bathrooms

Linden

Plan 1: Two-story, 2,792 sq. ft. unit with 4 bedrooms, 2.5 bathrooms

Plan 2: Two-story, 2,988 sq. ft. unit with 4 bedrooms, 3.5 bathrooms

Plan 3: Two-story, 3,337 sq. ft. unit with 5 bedrooms, 4 bathrooms

Ridgeline

Plan 1: One-story, 2,070 sq. ft. unit with 3 bedrooms, 2 bathrooms

Plan 2: One-story, 2,304 sq. ft. unit with 3 bedrooms, 2 bathrooms

Plan 3: One-story, 2,641 sq. ft. unit with 4 bedrooms, 3 bathrooms

For the Crestly group, Plan 1 accounts for 28 units (36%), Plan 2 accounts for 23 units (30%) and Plan 3 accounts for 26 units (34%); for the Fairfield Group, Plan 1 accounts for 28 units (32%), Plan 2 accounts for 29 units (33%) and Plan 3 accounts for 30 units (34%); for the Linden group, Plan 1 accounts for 33 units (34%), Plan 2 accounts for 31 units (32%) and Plan 3 accounts for 32 units (33%); for the Ridgeline group, Plans 1 and 2 each account for 29 units (35%) and Plan 3 accounts for 26 units (31%). Therefore, a sufficient mix and variation of floor plans will be provided through the development as depicted in the site plan.

Architectural Design

Three distinct architectural styles and a variety of neutral, earth-tone color schemes are proposed. The architectural styles are generally characterized as follows:

- *Spanish* elevations feature stucco siding, concrete curved-tile roofing, stucco window trim, decorative shutters, and decorative gable accents.
- *Prairie* elevations feature stucco siding, stucco roof bands, concrete flat-tile roofing, stucco window trim and decorative shutters.
- *Craftsman* elevations feature stucco sidings, stucco hip bands, concrete flat-tile roofing, decorative corbels, stone veneer wainscoting and decorative shutters.

Spanish accounts for 110 units (31%), Prairie accounts for 120 units (35%), and Craftsman accounts for 114 units (34%). Therefore, the architectural styles will be evenly distributed throughout the development.

In addition, enhanced architectural treatments will be provided on all elevations including those visible from common areas and the public right-of-way.

Conceptual Wall and Fence Plan

Proposed walls and fencing consist of a 6'-0" tall, tan slump block wall with sand finish and block pilasters along the tract perimeter, tan vinyl fencing with maximum 6'-0" height along interior lot lines and 6'-0" tall tubular steel fencing adjacent to wide slopes. Block wall returns will be provided along areas facing the street. Tract entry monument signs finished with brick veneer will be constructed at various entry points in accordance with MARSP requirements.

Landscaping

The conceptual landscaping plan has been designed to complement the different architectural styles and to conform to the water efficiency standards under Chapter 19.08 of the LEMC. Final planting and irrigation plans are to be approved by the Planning Division.

Analysis

The project site is located in the Murdock Alberhill Ranch Specific Plan (MARSP) and encompasses two land use designations, R-M Medium Density Single-Family Residential (Lots 1 through 168) and R-SF Single-Family Residential (Lots 169 through 344). The purpose of the R-SF district is to accommodate low density projects comprised of single-family residences subject to maximum density of four dwelling units per acre; the purpose of the R-M district is to accommodate medium density projects comprised of single-family residences subject to a maximum density of four dwelling units per acre. The application proposes to construct a single detached single-family dwelling on each residential lot in Tract Map No. 28214-9. Therefore, the proposed residential development is consistent with the land use goals and policies of the MARSP. Furthermore, the project is also consistent with the General Plan because the MARSP was found to be consistent with the General Plan at adoption.

Staff has reviewed the submitted development plans for compliance with the R-M and R-SF development standards and regulations of Sections 8.1 and 8.2 of the MARSP. The proposed development conforms to applicable standards as shown in the below table.

MARSP Development Standards	Required	Proposed
<i>R-M (Lots 1 through 168)</i>		
<i>Setbacks:</i>		
Front	10'-0"	19'-4"min.
Front – Garage	20'-0"	20'-0"min.
Interior Side	5'-0"	5'-0" min.
Street Side	10'-0"	16'-0" min.
Rear	10'-0"	12'-2" min.
Lot Coverage (%) Maximum	60	43.8 max.
Building Height Maximum	30'-0"	26'-8" max.
Dwelling Unit Size Minimum (sq. ft.)	1,000 to 1,150	1,959 min.
Parking/Unit	2 (min. 1 covered)	2 garage plus 2 driveway
<i>R-SF (Lots 169 through 344)</i>		
<i>Setbacks:</i>		
Front	20'-0"	20'-0" min.
Front – Garage	20'-0"	20'-0" min.
Interior Side	5'-0"	5'-0" min.
Street Side	10'-0"	12'-0" min.
Rear	Min. 10'-0"; Avg. 20'-0"	16'-1" min.; > 20'-0" avg.
Lot Coverage (%) Maximum	50	42.2 max.
Building Height Maximum	30'-0"	28'-7" max.
Dwelling Unit Size Minimum (sq. ft.)	1,000 to 1,150	2,070 min.
Parking/Unit	2 garage plus 2 driveway	2 garage plus 2 driveway

Architecture and Site Design

The architecture of the proposed buildings conforms to the design guidelines of the MARSP, the Residential Development Standards (Chapter 17.112) of the LEMC and the City Single-Family Residential Design Guidelines. The three proposed architectural styles will create a distinctive street scene within the project site and serve to avoid excessive repetition. A majority of the corner lots are plotted for one-story units in order to reduce massing and all units will feature varied rooflines to minimize visual impacts.

Environmental Determination

California Environmental Quality Act

Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, the project would not have a significant effect on the environment and no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in an earlier Environmental Impact Report (EIR). All potentially significant impacts have

been avoided or mitigated pursuant to the earlier EIR and none of the conditions described in Section 15162 exist.

Addendum No. 2 to the Alberhill Ranch Specific Plan Final Environmental Impact Report (EIR) (SCH # 88090517), prepared for VTTM 28214, was certified by the City Council on January 13, 2004, that evaluated environmental impacts that would result from maximum build-out of the Specific Plan. Approval of this design review application will not change density or intensity of use. It simply establishes standards for color palettes, articulation, orientation, and design of single-family residential development. No substantial changes which require major revisions to the EIR exist and no new information of substantial importance which require revisions to the earlier EIR exist. Therefore, no further environmental documentation is necessary.

MSHCP Consistency

On February 24, 2004, Castle & Cooke properties throughout Riverside County were removed from coverage under the MSHCP pursuant to a lawsuit settlement agreement with Riverside County. The subject property was part of this settlement agreement and is not subject to the provisions of the MSHCP. Therefore, the project is exempt from the requirements of the MSHCP.

Public Outreach

In March 2023, the applicant emailed advance notice of the development proposal to the neighboring homeowner association (Alberhill Ranch Community Association).

Public Notice

Notice of the hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 300 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

Attachments

- Attachment 1 – RDR Resolution
- Attachment 2 – Conditions of Approval
- Attachment 3 – Vicinity Map
- Attachment 4 – Aerial Map
- Attachment 5 – Design Review Package
- Attachment 6 – Public Notice Materials

RESOLUTION NO. 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING RESIDENTIAL DESIGN REVIEW NO. 2022-06 PROVIDING BUILDING DESIGNS AND RELATED IMPROVEMENTS FOR 344 DETACHED SINGLE-FAMILY RESIDENTIAL UNITS IN TRACT 28214-9 OF THE MURDOCK ALBERHILL RANCH SPECIFIC PLAN (APNS: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054)

Whereas, Matthew Matson, Pulte Group, has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2018-64 (Residential Design Review No. 2022-06) which proposes the design and construction of 344 single-family detached residential units, preliminary plotting, conceptual landscaping, conceptual wall and fence plan, and related improvements in Tract No. 28214-9. The proposed development is configured into four community groups each containing three one- to two-story floor plans overall ranging in size from 1,959 to 3,337 square feet and features three architectural styles (Spanish, Prairie and Craftsman). The project site consists of Tract No. 28214-9 on the south side of Nichols Road between Alberhill Ranch Road and Terra Cotta Road in Planning Area 1 of the Murdock Alberhill Ranch Specific Plan (APNs: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054); and,

Whereas, pursuant to Section 10.1 of the Murdock Alberhill Ranch Specific Plan (MARSP), the Planning Commission (Commission) has been delegated with the responsibility of approving, conditionally approving or denying design review requests for developments in the MARSP area; and,

Whereas, pursuant to the California Environmental Quality Act (Cal. Pub. Res. Code §§ 21000 *et seq.*: “CEQA”) and the CEQA Guidelines (14 C.C.R. §§ 15000 *et seq.*), public agencies are expressly encouraged to reduce delay and paperwork associated with the implementation of CEQA by using previously prepared environmental documents when those previously prepared documents adequately address the potential impacts of the proposed project (CEQA Guidelines Section 15006); and,

Whereas, CEQA Guidelines Section 15162 establishes the standard to be used when determining whether subsequent environmental documentation is necessary and provides that when an environmental document has already been adopted for a project, no subsequent environmental documentation is needed for subsequent entitlements which comprise the whole of the action unless substantial changes or new information are presented by the project; and,

Whereas, Addendum No. 2 to the Alberhill Ranch Specific Plan Final Environmental Impact Report, prepared for VTTM 28214, evaluates the potential environmental impacts resulting from build-out of the specific plan; and,

Whereas, Pacific Clay Products, Inc., Castle & Cooke Lake Elsinore Outlet Centers, Inc., Castle & Cooke Corona, Inc., Gateway Business Park, LLC, and Murdock Alberhill Ranch Limited Partnership, (collectively “Owner”) entered into that certain settlement agreement and

memorandum of understanding (the "Settlement Agreement") with the County of Riverside on February 24, 2004, which exempts and excludes all of the Owner's properties (including present and future uses and development of Owner's properties) from the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) for all purposes; and,

Whereas, the subject property is owned by Pulte Group and is in the Murdock Alberhill Ranch Specific Plan area, is covered by the terms of the Settlement Agreement, and is therefore exempt from the requirements of the MSHCP; and,

Whereas, on April 18, 2023 at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has reviewed and analyzed the proposed project pursuant to the California Planning and Land Use Laws (Cal. Gov. Code §§ 65000 et seq.), the Lake Elsinore General Plan (GP), the MARSP and the LEMC and finds and determines that the proposed project is consistent with the requirements of California Planning and Land Use Laws and with the goals and policies of the GP, MARSP and the Lake Elsinore Municipal Code (LEMC).

Section 2: The Commission finds and determines that no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in an earlier Environmental Impact Report (EIR). All potentially significant impacts have been avoided or mitigated pursuant to the earlier EIR and none of the conditions described in Section 15162 exist. Addendum No. 2 to the Alberhill Ranch Specific Plan Final EIR, prepared for VTTM 28214 was approved by the City Council in 2004.

Section 3: The Commission acknowledges the Settlement Agreement which exempts and excludes the project from the requirements of the MSHCP. Therefore, the Commission finds that the project is exempt from the MSHCP and that no further MSHCP action is required.

Section 4: That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Planning Application No. 2018-64 (Residential Design Review No. 2022-06):

1. The project, as approved, will comply with the goals and objectives of the General Plan and the zoning district in which the project is located.

The project site is located in the Murdock Alberhill Ranch Specific Plan (MARSP) and encompasses the land use designations of R-M Medium Density Single-Family Residential (Lots 1 through 168) and R-SF Single-Family Residential (Lots 169 through 344). The purpose of the R-SF district is to accommodate low density projects comprised of single-family residences subject to maximum density of four dwelling units per acre; the purposes of the R-M district is to accommodate medium density projects comprised of single-family residences subject to a maximum density of four dwelling units per acre. The application proposes to construct a single detached single-family dwelling on each residential lot in Tract Map No. 28214-9. Therefore, the proposed residential development is consistent with the land use goals and policies of the MARSP. Furthermore, the project is also consistent

with the General Plan because the MARSP was found to be consistent with the General Plan at adoption.

2. The project complies with the design directives contained in the Murdock Alberhill Ranch Specific Plan and all applicable provisions of the LEMC.

The project is appropriate to the site and surrounding developments. The three architectural styles proposed will create a distinctive street scene within the project site. Sufficient setbacks and onsite landscaping have been provided thereby creating interest and varying vistas. In addition, safe and efficient on-site circulation would be achieved.

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the project was considered by the Planning Commission at a duly noticed public hearing held on April 18, 2023. The project, as reviewed and conditioned by all applicable City divisions, departments, and agencies, will provide a high-quality residential development within the surrounding community.

Section 4: Based upon the evidence presented and the above findings, the Commission hereby approves Planning Application No. 2018-64 (Residential Design Review No. 2022-06).

Section 5: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 18th day of April, 2023.

Matthew Dobler, Chairman

Attest:

Damaris Abraham,
Interim Assistant Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held April 18, 2023 and that the same was adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Interim Assistant Community Development Director

CONDITIONS OF APPROVAL

PROJECT: PA 2018-64/RDR 2022-06
PROJECT NAME: VTTM 28214
PROJECT LOCATION: APNs: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054
APPROVAL DATE:
EFFECTIVE DATE:
EXPIRATION DATE:

GENERAL

1. Planning Application No. 2018-64 (Residential Design Review No. 2022-06) proposes the design and construction of 344 single-family detached residential units, preliminary plotting, conceptual landscaping, conceptual wall and fence plan and related improvements in Tract No. 28214-9. The proposed development is to be configured into four community groups each containing three one-story and two-story floor plans overall ranging in size from 1,959 to 3,337 square feet and features three architectural styles (Spanish, Prairie and Craftsman). The average lot size for Tract No. 28214-9 is 9,600 square feet, with the minimum lot size being 6,039 square feet. The project site consists of Tract No. 28214-9 on the south side of Nichols Road between Alberhill Ranch Road and Terra Cotta Road in Planning Area 1 of the Murdock Alberhill Ranch Specific Plan (APNs: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning approval, implementation and construction of RDR 2022-06, which action is brought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension or modification of RDR 2022-06 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of project approval, the applicant shall sign and complete an "Acknowledgment of Conditions" and shall return the executed original to the Community

Development Department for inclusion in the case records.

PLANNING DIVISION

4. Residential Design Review No. 2022-06 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
5. The applicant shall adhere to the Conditions of Approval related to Tract Map No. 28214 and implement the Mitigation Measures identified in the 1989 Final Alberhill Ranch Specific Plan EIR, 1992 Addendum No. 1 to the Final Alberhill Ranch Specific Plan EIR, and the 2003 Addendum No. 2 to the Final Alberhill Ranch Specific Plan.
6. Future development shall comply with those requirements and provisions contained in the Murdock Alberhill Ranch Development Agreement dated January 4, 1992.
7. The applicant shall participate in the City of Lake Elsinore Citywide Landscaping and Street Lighting District, as appropriate.
8. The applicant shall provide all project-related on-site and off-site improvements as required by these Conditions of Approval.
9. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of a Certificate of Occupancy.
10. All future development proposals shall be reviewed by the City on a project-by-project basis. If determined necessary by the Community Development Director or designee, additional environmental analysis will be required.
11. Any proposed minor revisions to approved plans shall be reviewed and approved by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application.
12. Six-foot decorative block walls shall be constructed along the project perimeter. If a double wall condition would result, the developer shall make a good faith effort work with the adjoining property owners to provide a single wall. Developer shall notify, by mail, all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project perimeter.
13. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so

implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation.

Prior to Issuance of Grading Permits/Building Permits

14. The following architectural details shall be provided:
 - All front fence returns shall be decorative masonry walls. Wood fences will not be allowed along the front elevation. Wood, vinyl or steel (wrought iron or aluminum) gates are allowed in order to allow access to rear yards.
 - The applicant shall provide four-sided articulation. Architectural enhancements and treatments shall be provided on all residential elevations (front, rear and side) visible from streets and other public views.
 - All fireplaces shall be natural gas fireplaces only. No wood burning fireplaces shall be allowed.
15. Prior to the issuance of a grading permit, the project applicant shall obtain all necessary State and Federal permits, approvals, or other entitlements, including obtaining the necessary authorizations from the regulatory agencies for proposed impacts to jurisdictional waters. Authorizations may include a Section 404 Permit from the U.S. Army Corps of Engineers, a Section 1602 Streambed Alteration Agreement from the California Department of Fish and Wildlife, and a Section 401 Water Quality Certification/Waste Discharge Requirement from the Regional Water Quality Control Board.
16. Prior to issuance of building permit, the applicant shall prepare a Final Wall and Fence Plan addressing the following:
 - Show that a masonry or decorative block wall will be constructed along the entire tract boundary.
 - Show materials, colors, and heights of rear, side and front walls/fences for proposed lots.
 - Show the location of all wood, vinyl or steel (wrought iron or aluminum) gates placed within the front return walls.
 - Show that side walls for corner lots shall be decorative masonry block walls.
 - Show that those materials provided along the front elevations (i.e. brick, stone, etc.) will wrap around the side elevation and be flush with the front return walls.
17. Signs are not part of this project approval. All signage shall be subject to Planning Division or Planning Commission review and approval prior to installation.
18. Prior to issuance of a building permit, the applicant shall initiate and complete the formation of a Homeowner's Association (HOA) which shall be approved by the City. All Association documents shall be submitted for review and approval by City Planning, Engineering and the City Attorney and upon City approval shall be recorded. Such documents shall include the Articles of Incorporation for the Association and Covenants, Conditions and Restrictions (CC&Rs).

- a. At a minimum, all recreation and park areas (except public parks), all natural slopes and open space, all graded slopes abutting public street rights-of-way which are not part of residential lots, up slopes from public rights-of-way within private lots and all private streets, and all drainage basins shall be maintained by the HOA.
19. Provisions of the City's Noise Ordinance (LEMC Chapter 17.176) shall be satisfied during all site preparation and construction activity. The applicant shall place a weatherproof 3'x3' sign at the entrance to the project site identifying the approved days and hours of construction activity. Site preparation activity and construction shall not commence before 7:00 AM and shall cease no later than 5:00 PM, Monday through Friday. Only finish work and similar interior construction may be conducted on Saturdays and may commence no earlier than 8:00 am and shall cease no later than 4:00 p.m. Construction activity shall not take place on Sunday, or any Legal Holidays. The sign shall identify the name and phone number of the development manager to address any complaints.
20. Construction phasing shall be implemented in accordance a Phasing Plan, subject to a review and approval by the Engineering and Building Departments, which avoids construction traffic from entering occupied neighborhoods within the tract.
21. Prior to issuance of a model home permit, building plans for the Model Home Complex shall comply with all American Disabilities Act (ADA) requirements, including provision of a handicapped-accessible bathroom.
22. A cash bond in the amount of \$1,000 shall be required for the Model Home Complex. This bond is to guarantee removal of the temporary fencing material, parking lot, etc. that have been placed onsite for the Model Home Complex. The bond will be released after removal of the materials and the site is adequately restored, subject to the approval of the Community Development Director or designee.
23. A cash bond in the amount of \$1,000 shall be required for any garage conversion of the model(s). Bonds will be released after removal of all temporary materials and the site is adequately restored, subject to the approval of the Community Development Director or designee.
24. A cash bond in the amount of \$1,000 shall be required for any construction trailers used during construction. Bonds will be released after removal of trailers, subject to the approval of the Community Development Director or designee.
25. The applicant shall pay school fees to the Lake Elsinore Unified School District prior to issuance of each building permit.
26. The applicant shall pay all appropriate traffic impact mitigation fees.
27. The applicant shall pay all applicable fees including park fees.
28. The applicant shall comply with the following City programs: the City Source Reduction and Recycling Element and Household Hazardous Waste Element, the County Solid Waste Management Plan and Integrated Waste Management Plan.

29. Prior to issuance of a building permit, the applicant shall submit a letter of verification (will-serve letter) to the City Engineer for all required utility services.
30. The project shall connect to water and sewer and meet all requirements of the Elsinore Valley Municipal Water District (EVMWD). The applicant shall submit water and sewer plans to the EVMWD and shall incorporate all district conditions and standards.
31. The applicant shall connect to public sewer for each lot within the subdivision. No service laterals shall cross adjacent property lines and shall be delineated on engineering sewer plans and profiles submitted to EVMWD.
32. The applicant shall meet all requirements of the providing electric, gas and telephone utility companies.
33. All mechanical and electrical equipment associated with the residences shall be ground mounted. All outdoor ground or wall mounted utility equipment shall be consolidated in a central location and architecturally screened behind fence returns, subject to the approval of the Community Development Director, prior to issuance of building permit.
34. All front yards and side yards on corner lots shall be properly landscaped with automatic (manual or electric) irrigation systems to provide 100 percent planting coverage using a combination of drip and conventional irrigation methods. Construction Landscape & Irrigation drawings shall be submitted to the Community Development Department with appropriate fees, for review and approval by the Community Development Director or designee.
 - The applicant shall replace any street trees harmed during construction, in conformance with the City's Street Tree List, at a maximum of 30 feet apart and at least 24-inch box in size.
 - Perimeter walls shall be protected by shrubs and other plantings that discourage graffiti.
 - The applicant shall ensure a clear line of sight at ingress/egress points by providing plantings within 15 feet of ingress/egress points whose height does not exceed two (2) feet and whose canopy does not fall below six feet.
 - The landscape plan shall provide for California native drought-tolerant ground cover, shrubs, and trees. Special attention shall be given to use of Xeriscape or drought resistant plantings with combination drip irrigation system to prevent excessive watering.
 - No front-yard shall be landscaped with grass turf.
 - All landscape improvements shall be bonded with a ten percent (10%) Faithful Performance Bond of the approved estimated labor and materials cost for all planting. The bond shall remain in effect for one year from Certificate of Occupancy.
 - All landscaping and irrigation shall be installed within an affected portion of any phase at the time a certificate of occupancy is requested for any building.
 - All Model Homes shall be Xeriscaped and signage provided identifying Xeriscape landscaping. Xeriscape is a method of landscape design that minimizes water use by:
 - i. Eliminating high and medium water-use plant material as identified by Water Use Classifications of Landscape Species (WUCOLS) (such as turf) and incorporates low to very low water-efficient ("drought-tolerant" /

- climate-appropriate) plants;
- ii. Requires an efficient irrigation system that includes:
1. ET-Based ("Smart irrigation") controller(s) with weather-sensing, automatic shut-off and seasonal adjustment capabilities;
 2. Efficient irrigation water application through use of:
 - a. Low-volume point-source irrigation (such as drip irrigation and bubblers) for all shrub planter areas (maximum of 3:1 slope) with a minimum irrigation efficiency of 0.90 ; and/or
 - b. Rotor-type nozzles for areas greater than ten (10) feet wide, for slopes 3:1 and greater, AND with a minimum irrigation efficiency of 0.71.
 3. Improvement of soil structure for better water retention; and
 4. Application of mulch to hinder evaporation.
- The Final landscape plan shall be consistent with any approved site and/or plot plan.
 - The Final landscape plan shall include planting and irrigation details.
 - All exposed slopes in excess of three feet in height within the subject tract and within private lots shall have a permanent irrigation system and erosion control vegetation installed, as approved by the Planning Division, prior to issuance of certificate of occupancy.
 - All landscaping and irrigation shall comply with the water-efficient landscaping requirements set forth in LEMC Chapter 19.08 (Water Efficient Landscape Requirements), as adopted and any amendments thereto.

BUILDING DIVISION

General Conditions

35. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes which are enforced at the time of building plan submittal.
36. Compliance with Code. All design components shall comply with applicable provisions of the 2022 edition of the California Building, Plumbing and Mechanical Codes; 2022 California Electrical Code; California Administrative Code, 2022 California Energy Codes, 2022 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.
37. Disabled Access. Applicant shall provide details of all applicable disabled access provisions and building setbacks on plans to include:
- a. All ground floor units to be adaptable.
 - b. Disabled access from the public way to the entrance of the building.
 - c. Van accessible parking located as close as possible to the main entry.
 - d. Path of accessibility from parking to furthest point of improvement.
 - e. Path of travel from public right-of-way to all public areas on site, such as clubhouse, trach enclosure tot lots and picnic areas.
38. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single- family residential projects. It takes

10 days to issue address and notify other agencies. Please contact Sonia Salazar at ssalazar@lake-elsinore.org or 951-674-3124 X 277.

39. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department evidencing the payment or exemption from School Mitigation Fees.
40. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.
41. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.
42. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.
43. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

At Plan Review Submittal

44. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
 - a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
 - b. A Sound Transmission Control Study in accordance with the provisions of the Section 5.507, of the 2022 edition of the California Green Code.
 - c. A precise grading plan to verify accessibility for the persons with disabilities.
 - d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

Prior to Issuance of Grading Permit(s)

45. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.
46. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project. Asbestos report and lead base paint reports are required before demo permit will be issued.

Prior to Issuance of Building Permit(s)

47. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.

Prior to Beginning of Construction

48. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

ENGINEERING DEPARTMENT

General

49. Project shall comply with applicable Conditions of Approval of the VTTM 28214 as approved by City Council on December 8, 2020.
50. All new submittals for plan check or permit shall be made using the City's online Citizen Service Portal (CSSP).
51. All plans shall be prepared by a Registered Civil Engineer using the City's standard title block.
52. All slopes and landscaping within the public right-of-way shall be maintained by the property owner, owner's association, firms contracted by the property owner's association, or another maintenance entity approved by the City Council.
53. All open space and slopes except for public parks and schools and flood control district facilities, outside the public right-of-way shall be owned and maintained by the property owner or property owner's association.
54. In accordance with the City's Franchise Agreement for waste disposal & recycling, the applicant shall be required to contract with CR&R, Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated both during cleaning, demolition, clear and grubbing or all other phases of construction and during occupancy.
55. Minimum good housekeeping and erosion and sediment control Best Management Practices (BMPs) as identified by the City shall be implemented.

Fees

56. Applicant shall pay all applicable permit application and Engineering assessed fees, including without limitation plan check and construction inspection fees, at the prevalent rate at time of payment in full.
57. The applicant shall pay all applicable City fees, including (i) Plan Check and Permit fees, (ii) Impact/Mitigation Fees and (iii) Development Agreement and Supplemental Development Agreement Fees, at the prevalent rate at the time of payment.

The Project is subject to certain Impact/Mitigation fees, exempt from certain Impact/Mitigation Fees until the expiration of the vesting period on November 23, 2023 (pursuant to City's February 18, 2022 approval of application to extend vested rights period), and has satisfied certain Impact/Mitigation fees.

- The following Impact/Mitigation Fees shall be due at the prevalent rate at the time of payment for all building permits: (1) Library Mitigation Fee and (2) Traffic Infrastructure Fee.
- The following Impact/Mitigation Fees shall be due at the prevalent rate at the time of payment for all building permits issued on or after November 24, 2023 (1) Fire Facilities Fee, (2) City Hall and Public Works Facilities Fee, (3) Community Center Facilities Fee, (4) Lakeside Facilities Fee, and (5) Animal Shelter Facilities Fee.
- Western Riverside County Transportation Uniform Mitigation Fee (TUMF) shall be due at the prevalent rate upon the earlier of issuance of a certificate of occupancy or final inspection occurring on or after November 24, 2023, subject to any applicable TUMF Improvement Credit Agreement.
- The Project is exempt from or has fully satisfied the following Impact/Mitigation Fees: (1) Drainage District Fees, (2) Park Fees, and (3) MSHCP.

Storm Water Management / Pollution Prevention / NPDES

Construction

58. A Storm Water Pollution Prevention Plan (SWPPP) (as required by the NPDES General Construction Permit) and compliance with the Green Building Code for sediment and erosion control are required for this project.
59. Prior to grading or building permit for construction or demolition and/or weed abatement activity, projects subject to coverage under the NPDES General Construction Permit shall demonstrate that compliance with the permit has been obtained by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing to the satisfaction of the City Engineer. A copy of the SWPPP shall be kept at the project site, updated, and be available for review upon request.
60. Erosion & Sediment Control – Prior to the issuance of any grading or building permit for construction or demolition, the applicant shall submit for review and approval by the City Engineer, an Erosion and Sediment Control Plan as a separate sheet of the grading plan submittal to demonstrate compliance with the City's NPDES Program and state water quality regulations for grading and construction activities. A copy of the plan shall be incorporated into the SWPPP, kept updated as needed to address changing circumstances of the project site, be kept at the project site, and available for review upon request.

Post-Construction

61. Prior to the issuance of a certificate of use and/or occupancy, the applicant shall demonstrate compliance with applicable NPDES permits for construction, industrial/commercial, MS4, etc. to include:
 - Demonstrate that the project has complied with all non-structural BMPs described in the project's WQMP.

- Provide signed, notarized certification from the Engineer of Work that the structural BMPs identified in the project's WQMP are installed in conformance with approved plans and specifications and operational.
- Submit a copy of the fully executed, recorded City approved Operations and Maintenance (O&M) Plan and Agreement for all structural BMPs or a copy of the recorded City approved CC&R.
- The Operation and Maintenance (O&M) Plan and Agreement and/or CC&R's shall: (1) describe the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identify the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; (3) describe the mechanism for funding the long-term operation and maintenance of the referenced BMPs; and (4) provide for annual certification for water quality facilities by a Registered Civil Engineer. The City format shall be used.
- Provide documentation of annexation into a CFD for funding facilities to be maintained by the City.
- Demonstrate that copies of the project's approved WQMP (with recorded O&M Plan or CC&R's attached) are available for each of the initial occupants.
- Agree to pay for a Special Investigation from the City of Lake Elsinore for a date twelve (12) months after the issuance of a Certificate of Use and/or Occupancy for the project to verify compliance with the approved WQMP and O&M Plan. A signed/sealed certification from the Engineer of Work dated 12 months after the Certificate of Occupancy will be considered in lieu of a Special Investigation by the City.
- Provide the City with a digital .pdf copy of the Final WQMP

Utilities

62. All arrangements for relocation of utility company facilities (power poles, vaults, etc.) out of the roadway shall be the responsibility of the applicant, property owner, and/or his agent. Overhead utilities (34.5 kV or lower) shall be undergrounded (LEMC Section 16.64)

Improvements

63. Project shall install driveway approaches per County of Riverside Standard 207.
64. Lake Street and Nichols Road ultimate intersection improvements shall be completed prior to the 125th building permit.
65. Nichols Road ultimate half-width improvements between Lake Street and Alberhill Ranch Road shall be completed prior to the 200th building permit.
66. Nichols Road ultimate half-width improvements between Alberhill Ranch Road and Terra Cotta Road shall be completed prior to the 100th building permit.
67. Lake Street ultimate half-width improvements between Alberhill Ranch Road and Nichols Road shall be completed prior to the 50th building permit.
68. Alberhill Ranch Road and Brianna Circle intersection improvements shall be completed prior the 25th building permit.
69. Nichols Road and Alberhill Ranch Road ultimate intersection improvements shall be completed prior to the 50th building permit.
70. Parkway improvements easterly of Alberhill Ranch Road between Nichols Road and two hundred seventy-five feet (275') east of the Hudson Lane intersection shall be completed prior to the 125th building permit.

71. If existing improvements are to be modified, the existing improvement plans on file shall be revised accordingly and approved by the City Engineer prior to issuance of a building permit.
72. Project will be responsible to design and install streetlights along the property's frontage. Streetlight system shall be designed as LS-2B system. Streetlight plans shall include but not limited to details such as location, pole and luminaire type, and pull box design. Streetlight plans may be included as part of the Street Improvement Plans.

Permitting/Construction

73. An Encroachment Permit shall be obtained prior to any work on City right-of-way. The developer shall submit the permit application, required fees, and executed agreements, security and other required documentation prior to issuance.
74. All compaction reports, grade certification, monument certification (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted to the Engineering Department before final inspection of public works improvements will be scheduled and approved.

Prior to Grading Permit

75. A grading plan signed and stamped by a California Registered Civil Engineer shall be submitted for City review and approval for all addition and/or movement of soil (grading) on site. The plan shall include separate sheets for erosion control, haul route and traffic control. The grading submittal shall include all supporting documentation and be prepared using City standard title block, standard drawings and design manual.
76. All grading plan contours shall extend to minimum of 50 feet beyond property lines to indicate existing drainage pattern.
77. Applicant shall mitigate to prevent any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage.
78. All natural drainage traversing the site (historic flow) shall be conveyed through the site in a manner consistent with the historic flow or to one or a combination of the following: to a public facility; accepted by adjacent property owners by a letter of drainage acceptance; or conveyed to a drainage easement as approved by the City Engineer.

Permitting/Construction

79. Applicant shall execute and submit grading and erosion control agreement, post grading security and pay permit fees as a condition of grading permit issuance.
80. A preconstruction meeting with the City Engineering Inspector (Engineering Department) is required prior to commencement of any grading activity.
81. Hauling in excess of 5,000 cubic yards shall be approved by the City Council (LEMC 15.72.065). Prior to commencement of grading operations, applicant shall provide to the City a map of all proposed haul routes to be used for movement of export material. All such routes shall be subject to the review and approval of the City Engineer. Haul route shall be submitted prior to issuance of a grading permit.

82. All grading shall be done under the supervision of a geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City.

Prior to Building Permit

83. All public street improvement plans, traffic signal plans, signing and striping plans shall be completed and approved by the City Engineer.
84. The following public improvements shall be completed prior to issuance of building permit as indicated:

Prior to Occupancy / Final Approval / Project Closeout

85. All public improvements shall be completed in accordance with the approved plans or as condition of this development to the satisfaction of the City Engineer prior to issuance of occupancy, or as designated above.
86. Proof of acceptance of maintenance responsibility of slopes, open spaces, landscape areas, and drainage facilities shall be provided.
87. Covenants, Conditions and Restrictions (CC&Rs) shall be recorded prior to first occupancy if not recorded with the final map. A digital copy of the recorded document shall be provided to the Engineering Department.
88. In the event of damage to City roads from hauling or other construction related activity, applicant shall pay full cost of restoring public roads to the baseline condition.
89. All final studies and reports, final soil report showing compliance with recommendations, compaction reports, grade certifications, monument certifications (with tie notes delineated on 8 ½ X 11" Mylar) shall be submitted to the Engineering Department before final inspection will be scheduled.
90. Applicant shall pay all outstanding applicable processing and development fees prior to occupancy and/or final approval.
91. Applicant shall submit documentation pursuant to City's *Security Release* handout.
92. As-built plans for all in-field revisions to approved plan sets shall be submitted for review and approval by the City. Applicant is responsible for revising original mylars.
93. Applicant shall provide AutoCAD and GIS Shape files of all Street and Storm Drain plans. All data must be in projected coordinate system: NAD 83 State Plane California Zone VI U.S. Fleet. All parts and elements of the designed system shall be represented discretely. Include in the attribute table basic data for each feature, such as diameter and length, as applicable, and for pipes include material (PVC, RCP, etc.) and slope.

CITY OF LAKE ELSINORE FIRE MARSHAL

94. The applicant/operator shall comply with all requirements of the Riverside County Fire

Department Lake Elsinore Office of the Fire Marshal. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Office of the Fire Marshal at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 671-3124 Ext. 225.

95. Hazardous Fire Area: this project is in a Very High Fire Hazard Severity Zone of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed within this project must comply with special construction and vegetation management provisions contained in the Lake Elsinore Municipal Code, California Residential Code, California Fire Code, and the California Building Code.
96. Each phase of development must independently meet all applicable fire department requirements.
97. Any structures required to have any mitigation measures stipulated in the fuel management/fire protection plan must comply with those requirements prior to final inspection.

DEPARTMENT OF ADMINISTRATIVE SERVICES

Annex into CFD 2015-1 (Safety) Law Enforcement, Fire and Paramedic Services CFD

98. Prior to approval of the Final Map, Residential Design Review, Conditional Use Permit, or building permit (as applicable), the applicant shall annex into Community Facilities District No. 2015-1 (Safety) the Law Enforcement, Fire and Paramedic Services Mello-Roos Community Facilities District to offset the annual negative fiscal impacts of the project on public safety operations and maintenance issues in the City. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project with respect to Public Safety services. Applicant shall make a non-refundable deposit of \$15,000, or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

Annex into the City of Lake Elsinore Community Facilities District No. 2015-2 (Maintenance Services)

99. Prior to approval of the Final Map, Design Review, Conditional Use Permit, or building permit (as applicable), the applicant shall annex into the Community Facilities District No. 2015-2 (Maintenance Services) or current Community Facilities District in place at the time of annexation to fund the on-going operation and maintenance of the public right-of-way landscaped areas and neighborhood parks to be maintained by the City and for street lights in the public right-of-way for which the City will pay for electricity and a maintenance fee to Southern California Edison, including parkways, street maintenance, open space and public storm drains constructed within the development and federal NPDES requirements to offset the annual negative fiscal impacts of the project. Alternatively, the applicant may propose alternative financing mechanisms to fund the annual negative fiscal impacts of the project with respect to Maintenance Services. Applicant shall make a non-refundable deposit of \$15,000 or at the current rate in place at the time of annexation toward the cost of annexation, formation or other mitigation process, as applicable.

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above-named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the City Council of the City of Lake Elsinore on _____. I also acknowledge that all Conditions shall be met as indicated.

Date: _____

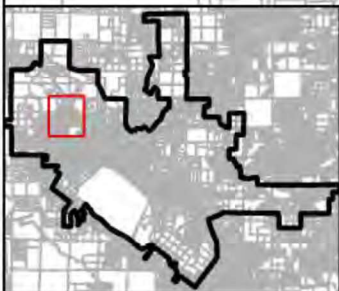
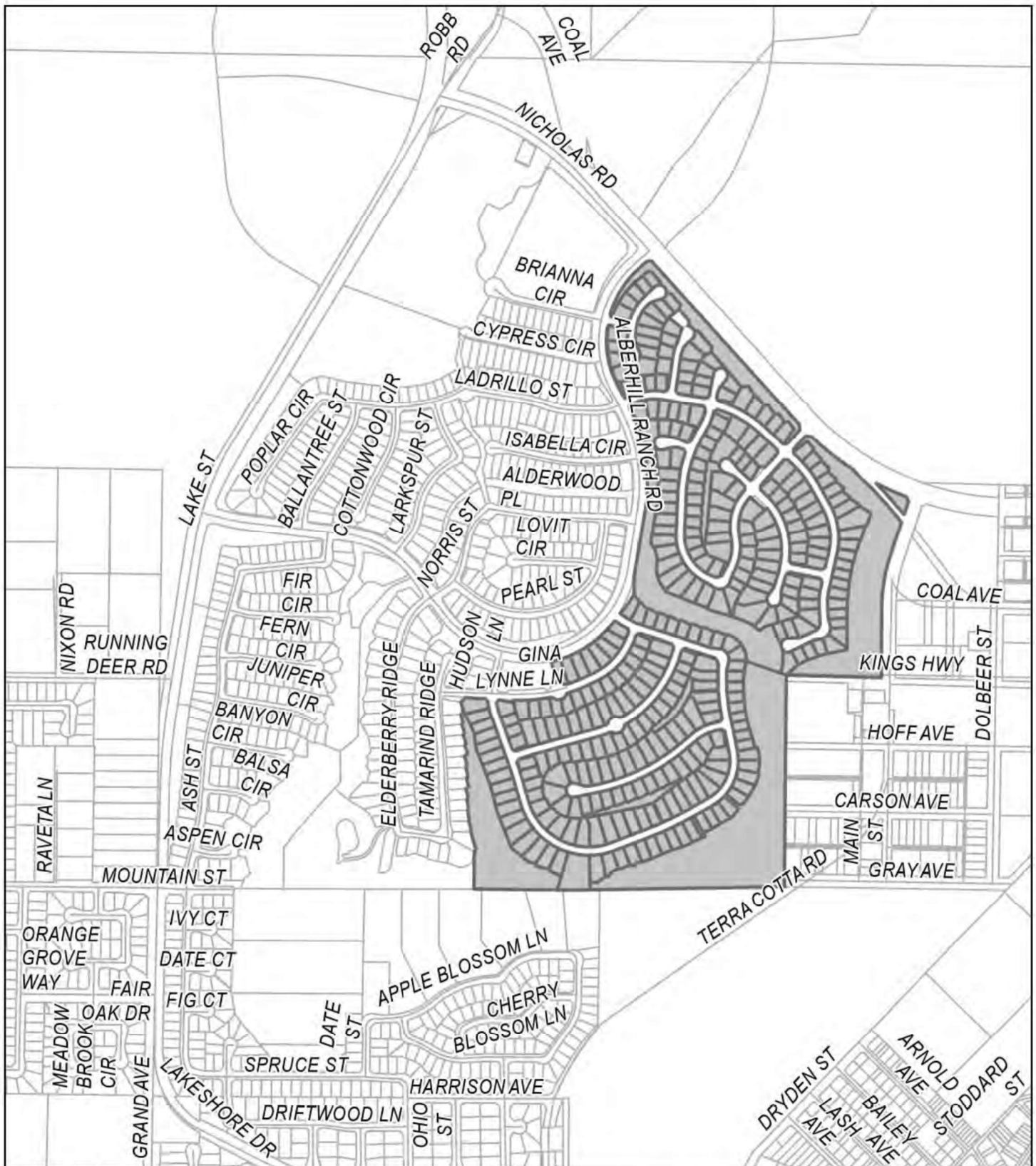
Applicant's Signature: _____

Print Name: _____

Address: _____

Phone Number: _____

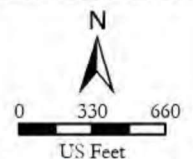
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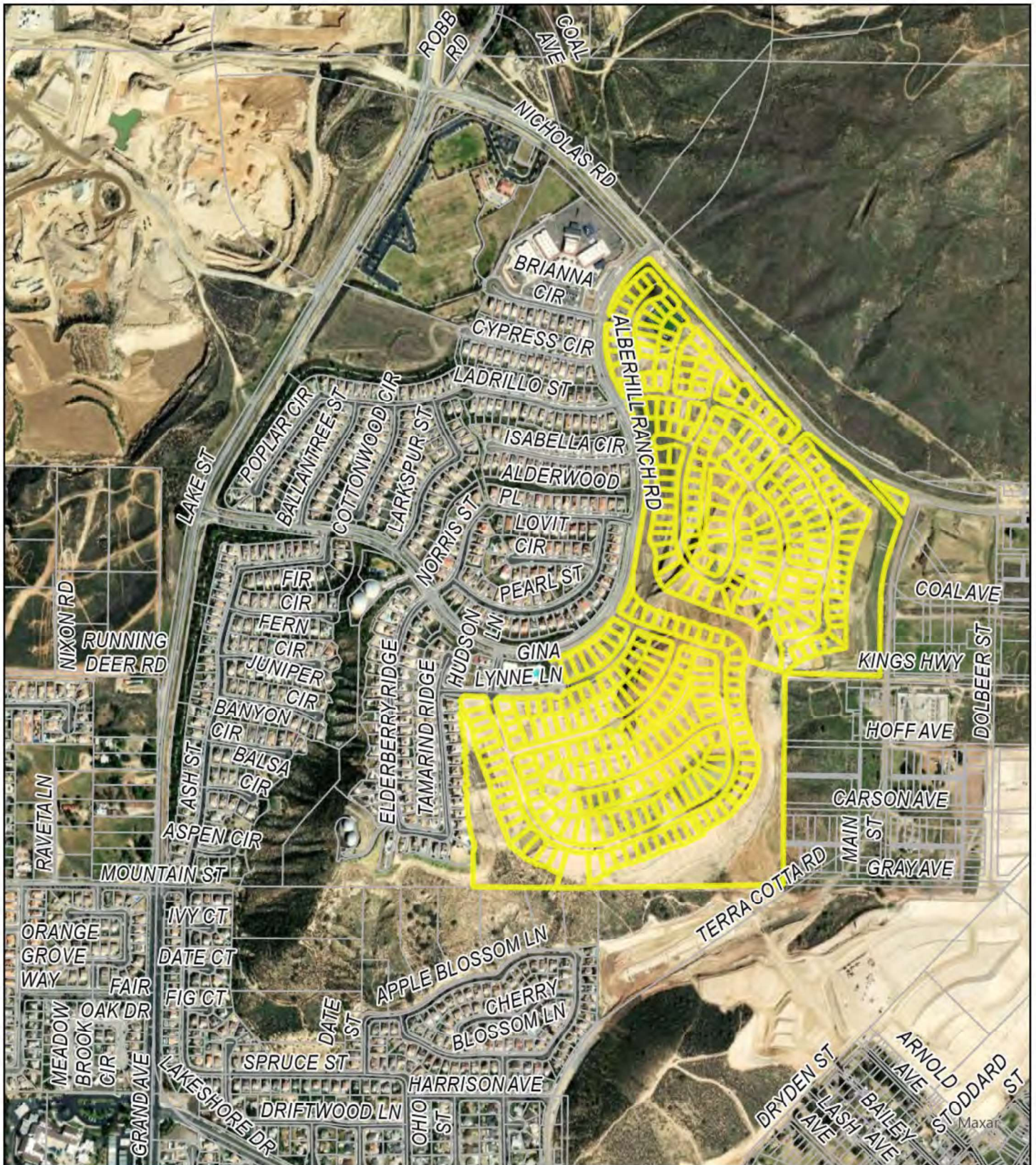


Vicinity Map

Planning Application No. 2018-64
RDR 2022-06 (TR 28214-9)

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

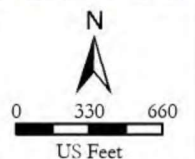




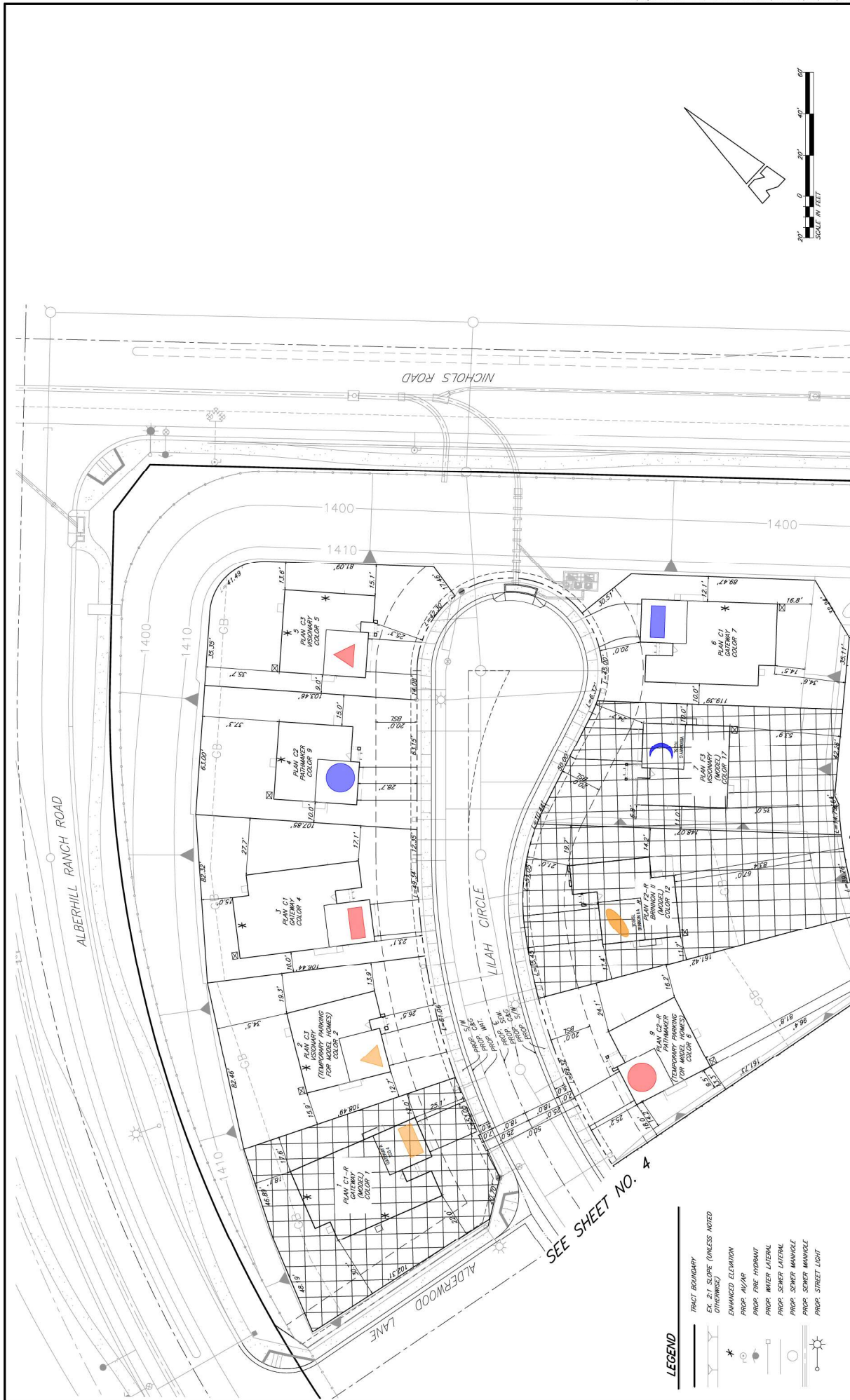
Aerial Map

Planning Application No. 2018-64
RDR 2022-06 (TR 28214-9)

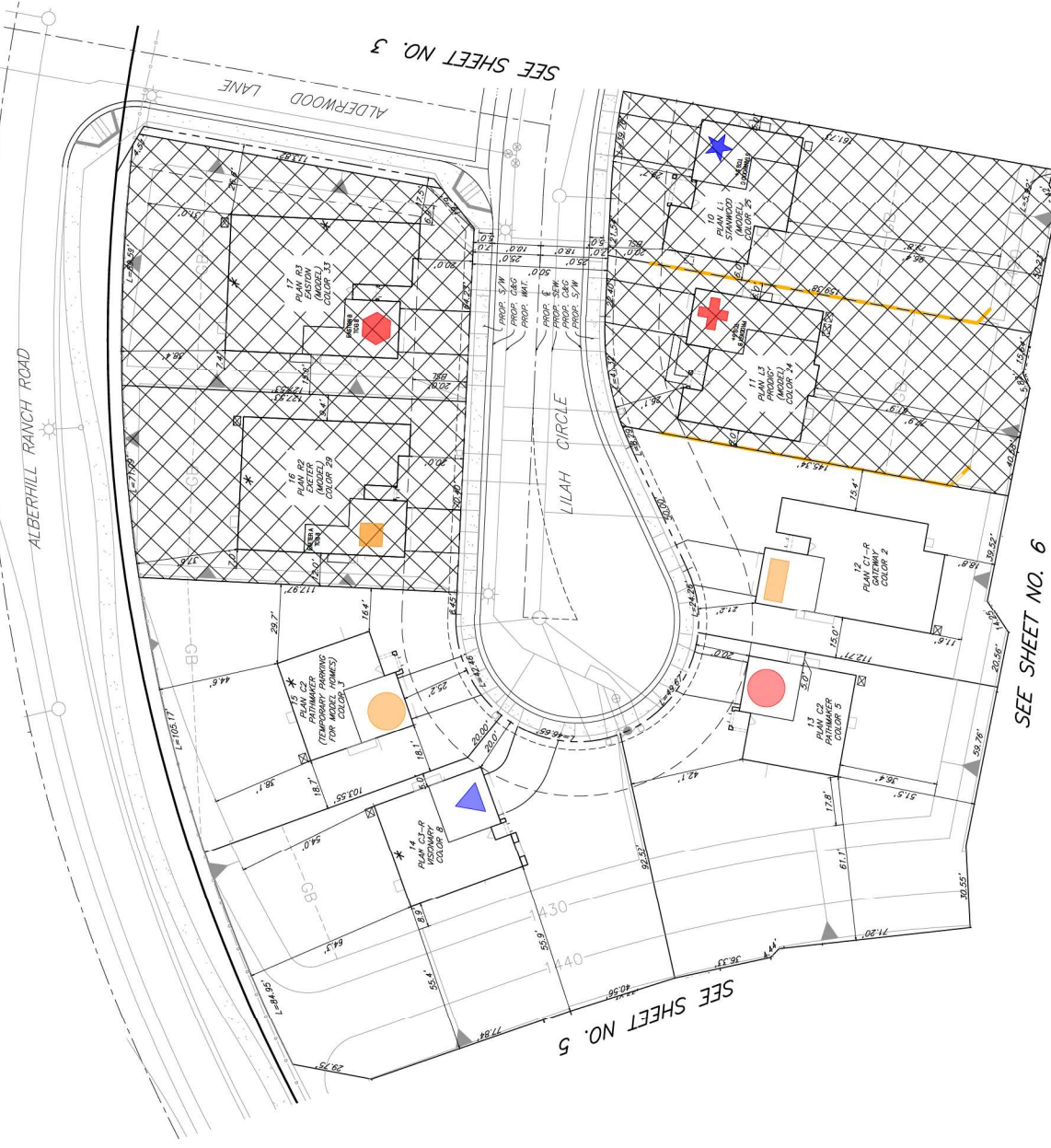
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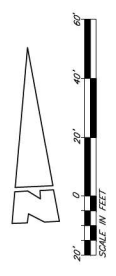
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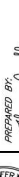

- LEGEND**
- TRACT BOUNDARY
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- LEGEND**
- TRACT BOUNDARY
 - CL 2.1% SLOPE (UNLESS NOTED OTHERWISE)
 - ENHANCED ELEVATION
 - PROP. MANHOLE
 - PROP. FIRE HYDRANT
 - PROP. WATER LATERAL
 - PROP. SEWER LATERAL
 - PROP. SEWER MANHOLE
 - PROP. STREET LIGHT



CITY OF LAKE ELISNORE TRACT 20214-9 FINAL SITE PLAN OF DEVELOPMENT LOTS 10-17		SHEET NO. 4
PREPARED BY: THOMAS M. CASSELLINE DATE: 03/20/2023		CITY FILE NO. PH 2018-64
SEAL-ENGINEER 		FOR THE CITY OF LAKE ELISNORE DATE:
MARK BY	DATE	REVISIONS
ENGINEER		
	APRIL	COUNTY

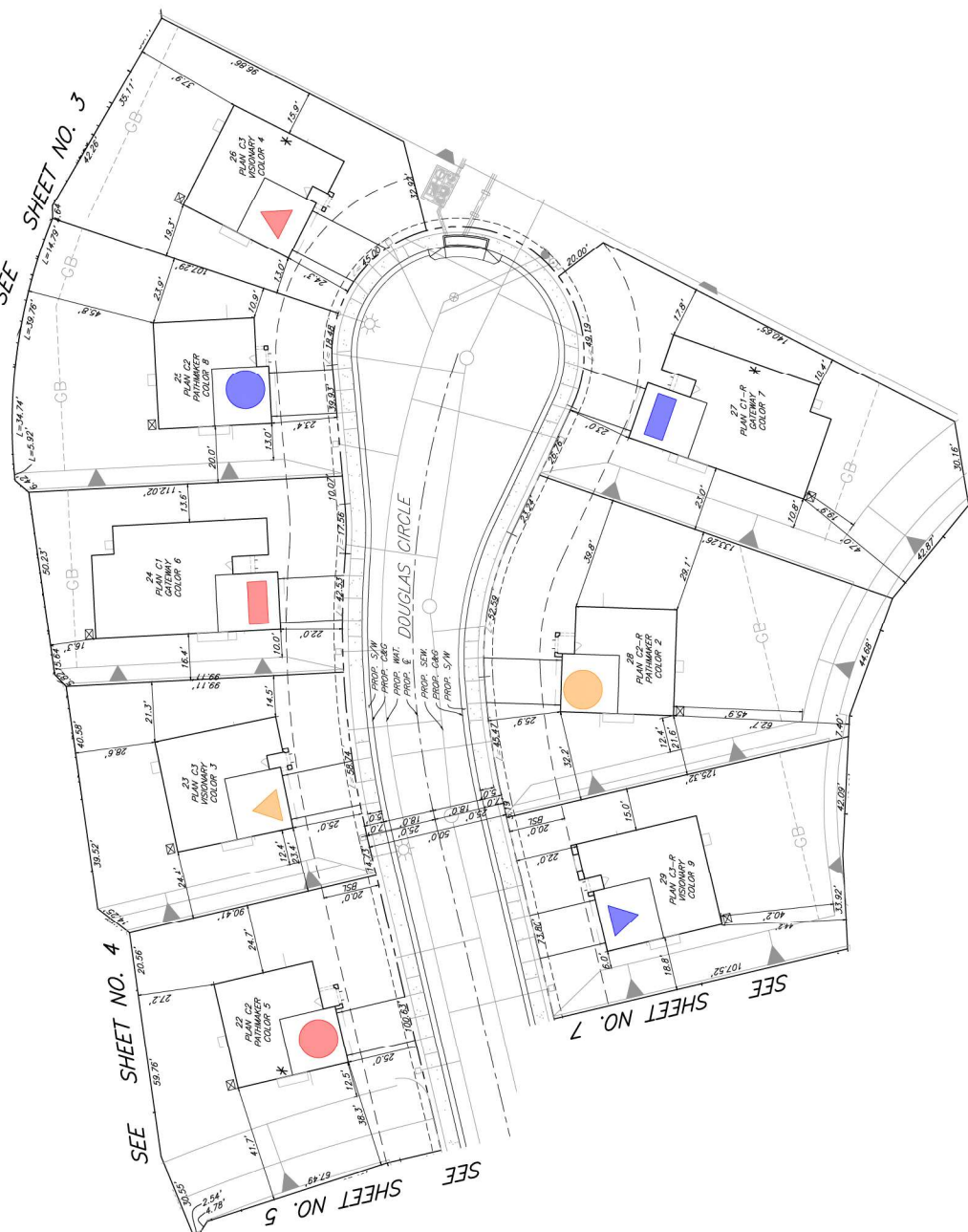
MARK	BY	DATE	REVISIONS	APPR.	DATE	ENGINEER	SEAL-ENGINEER		 HWC ENGINEERS <small>HWC ENGINEERS, INC. 1000 N. WILSON AVENUE, SUITE 100, CHICAGO, IL 60642-1000 TEL: 312-345-1234</small> PREPARED BY: <u>Thomas Caselino</u> DATE: <u>03/20/2023</u>	CITY OF LAKE ELSHORE TRACT 20214-9 FINAL SITE PLAN OF DEVELOPMENT PLUT PLAN LOTS 10-21 & 68-92 W.D. FOR: _____ AS SHOWN: _____ CITY FILE NO. _____ PH 2018-64 SHEET NO. <u>5</u> OF <u>43</u> SHEETS
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SEE SHEET NO. 3

SEE SHEET NO. 4

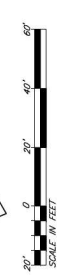
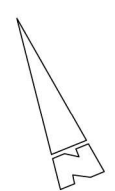
SEE SHEET NO. 5

SEE SHEET NO. 7



LEGEND

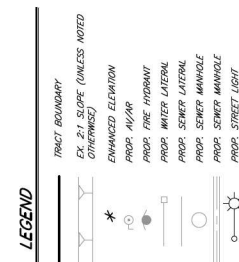
- TRACT BOUNDARY
- CL 2.1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROP. WALK
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT



MARK	BY	DATE	ENGINEER	REVISIONS	APPROVAL	DATE	COUNTY	SEAL-ENGINEER		CITY OF LAKE ELISNORE	SHEET NO.
											6
TRACT 20214-9											
FINAL SITE PLAN OF DEVELOPMENT											
TRACT 20214-9											
LOTS 22-29											
FOR THE TIME											
W.D.											
FILE NO.											
PH 2018-64											

HWC ENGINEERS
PROFESSIONAL ENGINEER
STATE OF ILLINOIS
NO. 037948
EXPIRATION DATE 12/31/2023
PREPARED BY
Thomas M. Caseldine
DATE 03/29/2023

[illegible]



TRACT BOUNDARY

EX. 2-1 SLOPE (UNLESS NOTED OTHERWISE)

ENHANCED ELEVATION

PROP. A/V/AR

PROP. FIRE HYDRANT

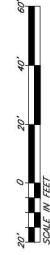
PROP. WATER LATERAL

PROP. SEWER LATERAL

PROP. SEWER MANHOLE

PROP. SEWER MANHOLE

PROP. STREET LIGHT



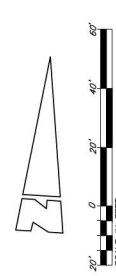
SEAL-ENGINEER



KWC ENGINEERS
CIVIL ENGINEERS & PLANNERS • SURVEYORS
1886 CAMPBELL AVENUE, SUITE 100 • CORVALLIS, OR 97331-7341

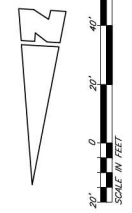
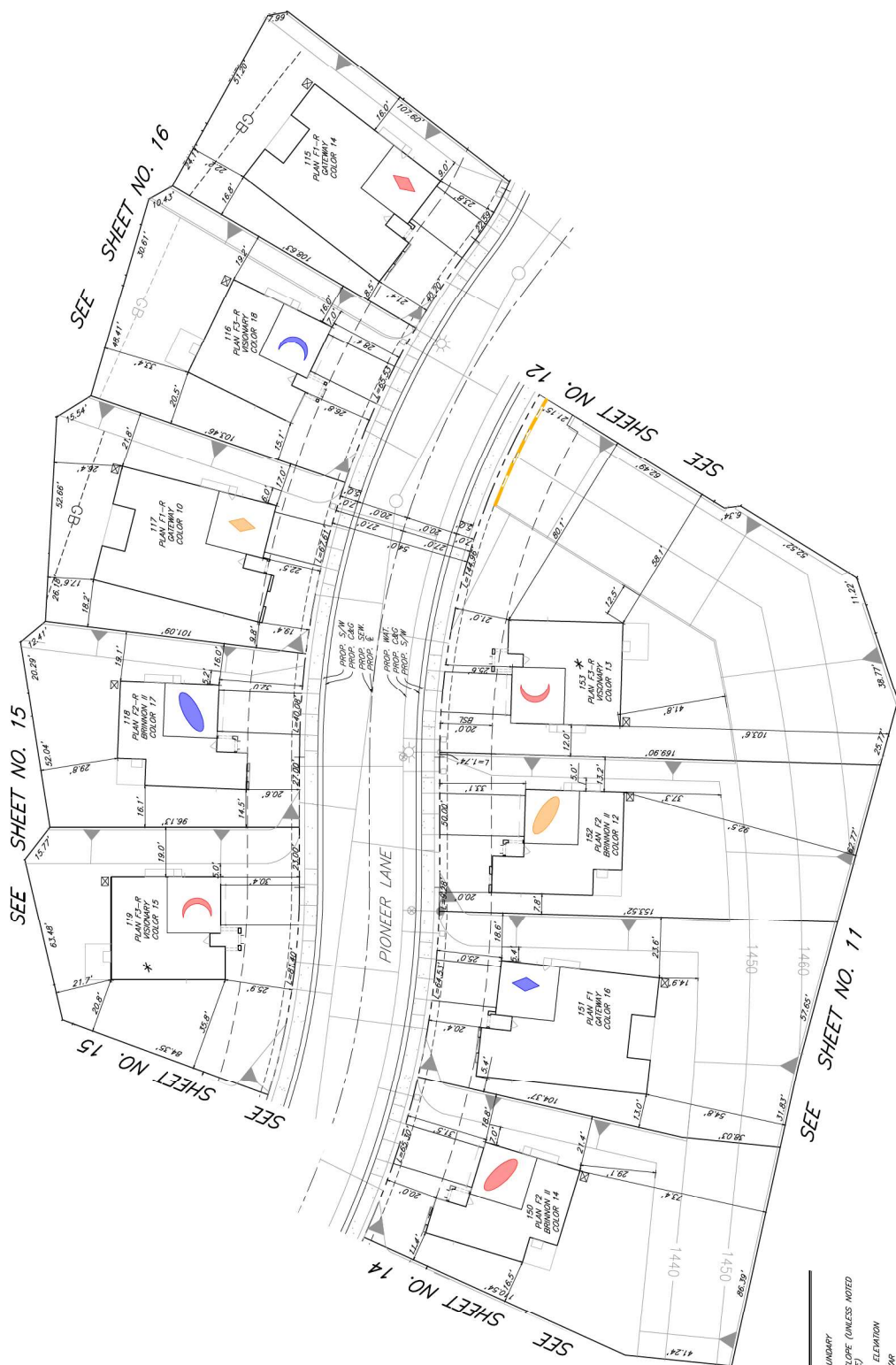
PREPARED BY: Thomas Caseldine 03/20/2020
THOMAS M. CASELDINE DATE

[illegible]

[illegible]

LEGEND

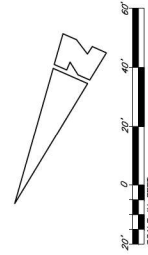
- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROP. 41/4R
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT



- LEGEND**
- TRACT BOUNDARY
 - CL 2.0 SLOPE (UNLESS NOTED OTHERWISE)
 - ENHANCED ELEVATION
 - PROP. HYDRANT
 - PROP. FIRE HYDRANT
 - PROP. WATER LATERAL
 - PROP. SEWER LATERAL
 - PROP. SEWER MANHOLE
 - PROP. SEWER MANHOLE
 - PROP. STREET LIGHT

SHEET NO. 13		CITY OF LAKE ELISABETH	
TRACT 20214-9		FINAL SITE PLAN FOR DEVELOPMENT	
LOTS 11-16 & 150-153		DATE: 03/20/2023	
FOR: PH 2018-04	DATE: 03/20/2023	W.D.:	DATE:
PREPARED BY: Thomas M. Caseldine	DATE: 03/20/2023	W.D.:	DATE:
SEAL-ENGINEER	PROFESSIONAL ENGINEER	REVISIONS	MARK BY DATE
		APRIL	DATE
		COUNTY	DATE

JLN: JLN: 2021-2182 R: 1/21/2023 JPN: JPN: 2021-2182 R: 1/21/2023 JPN: JPN: 2021-2182 R: 1/21/2023



TRACT BOUNDARY

EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)

ENHANCED ELEVATION

PROP. AL/WR

PROP. FIRE HYDRANT

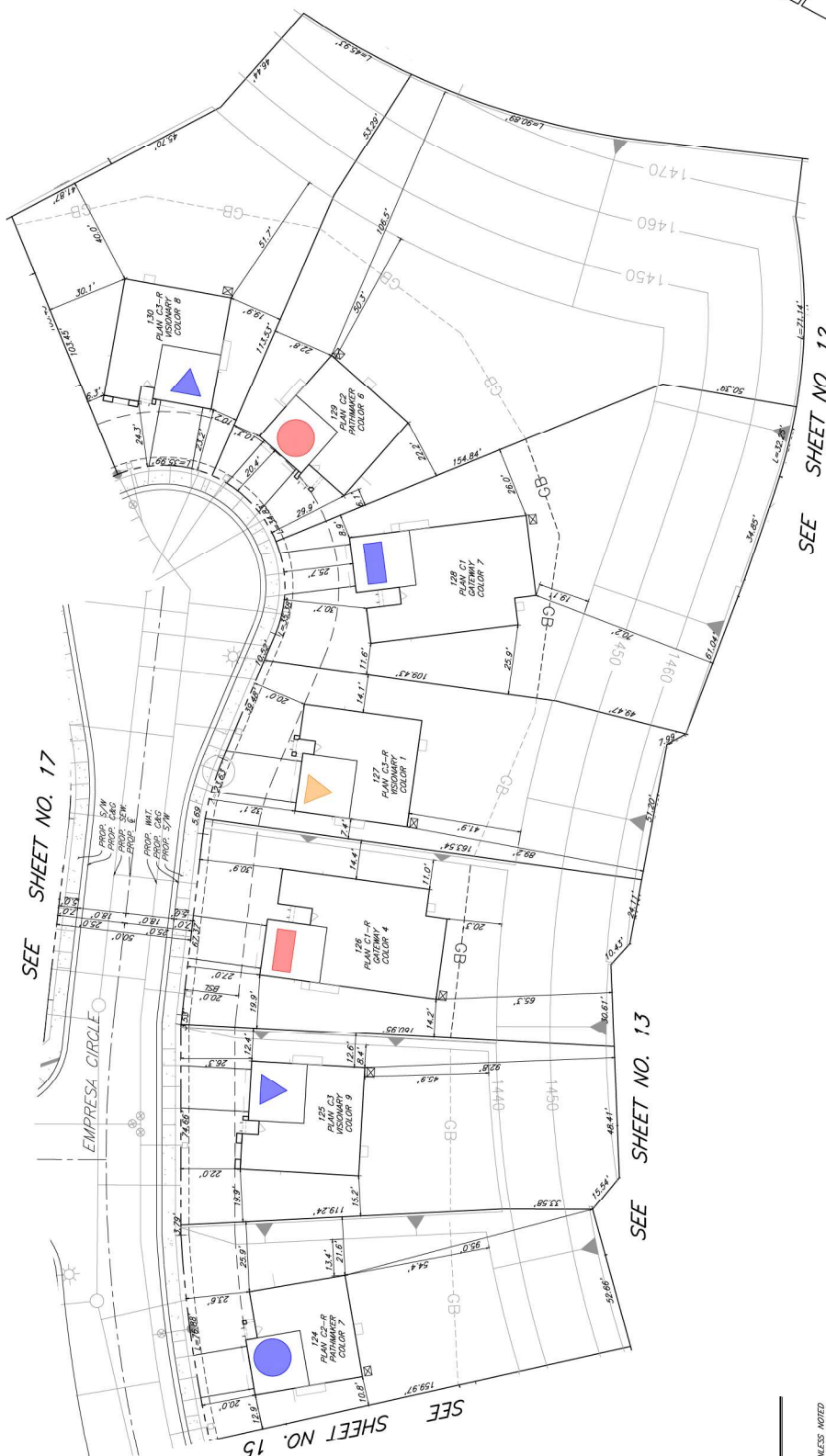
PROP. WATER LATERAL

PROP. SEWER LATERAL

PROP. SEWER MANHOLE

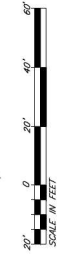
PROP. STREET LIGHT

[illegible]



LEGEND

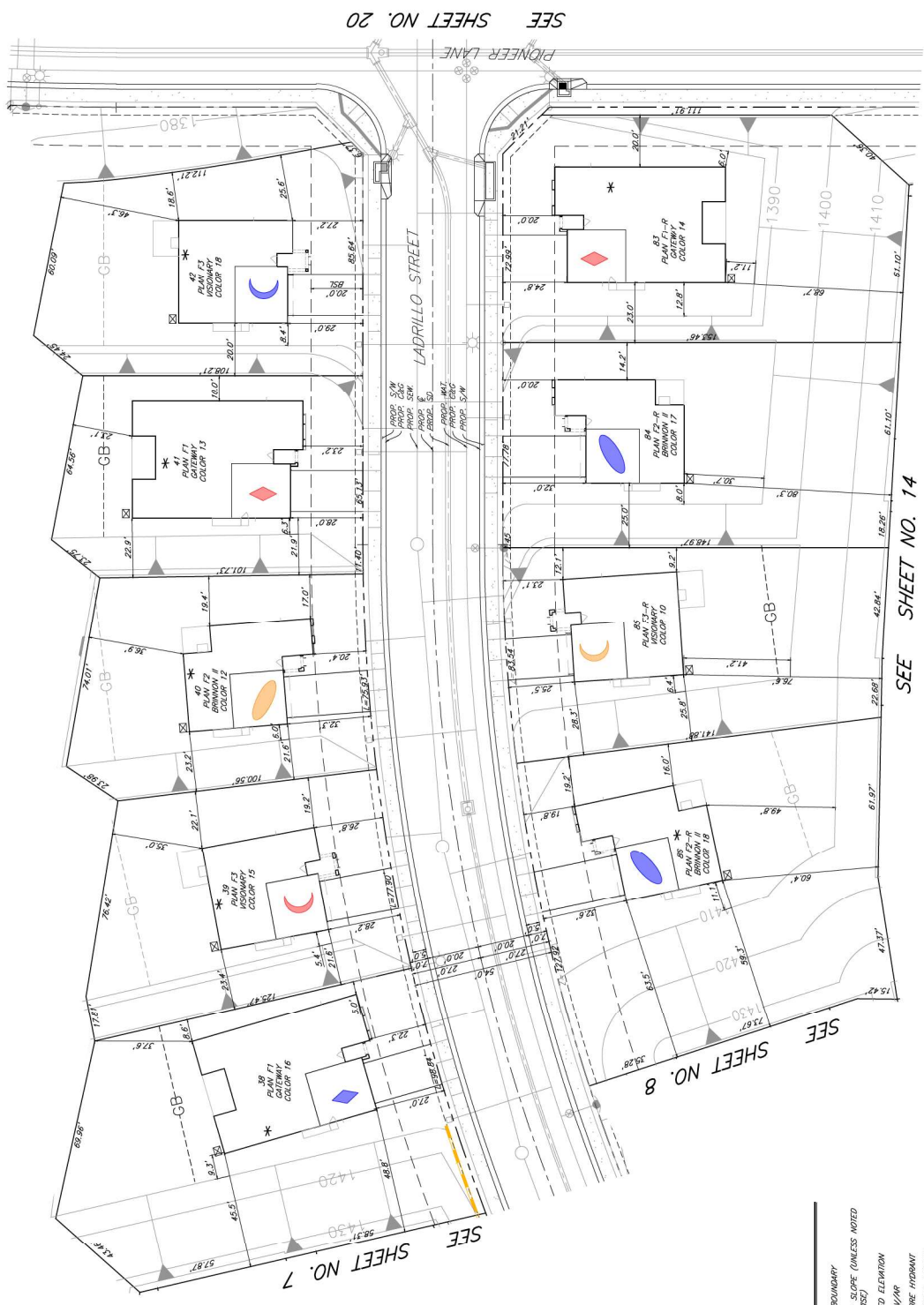
- TRACT BOUNDARY
- CL 2.1, SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROP. MAN
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT



SHEET NO.	16	CITY OF LAKE ELISNORE	TRACT 20214-9	FINAL SITE PLAN OF DEVELOPMENT	LOT 124-130	DATE	03/20/2023	PREPARED BY	THOMAS M. CASSELLINE	DATE	03/20/2023	FOR	PH 2018-04
MARK BY	DATE	REVISIONS	APPROVAL	COUNTY	ENGINEER	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

HWC ENGINEERS
PROFESSIONAL ENGINEER
C 79048
STATE OF ILLINOIS
SEAL-ENGINEER

FOR K&B HOME	W.O.	CITY FILE NO.	PA 2018-64
CITY OF LAKE ELSHORE TRACT 28214-9 FINAL SITE PLAN OF DEVELOPMENT LOT 135 LOT 89-73 & 131-135		SHEET NO. 17 OF 43 SHEETS	



SEE SHEET NO. 20

SEE SHEET NO. 14

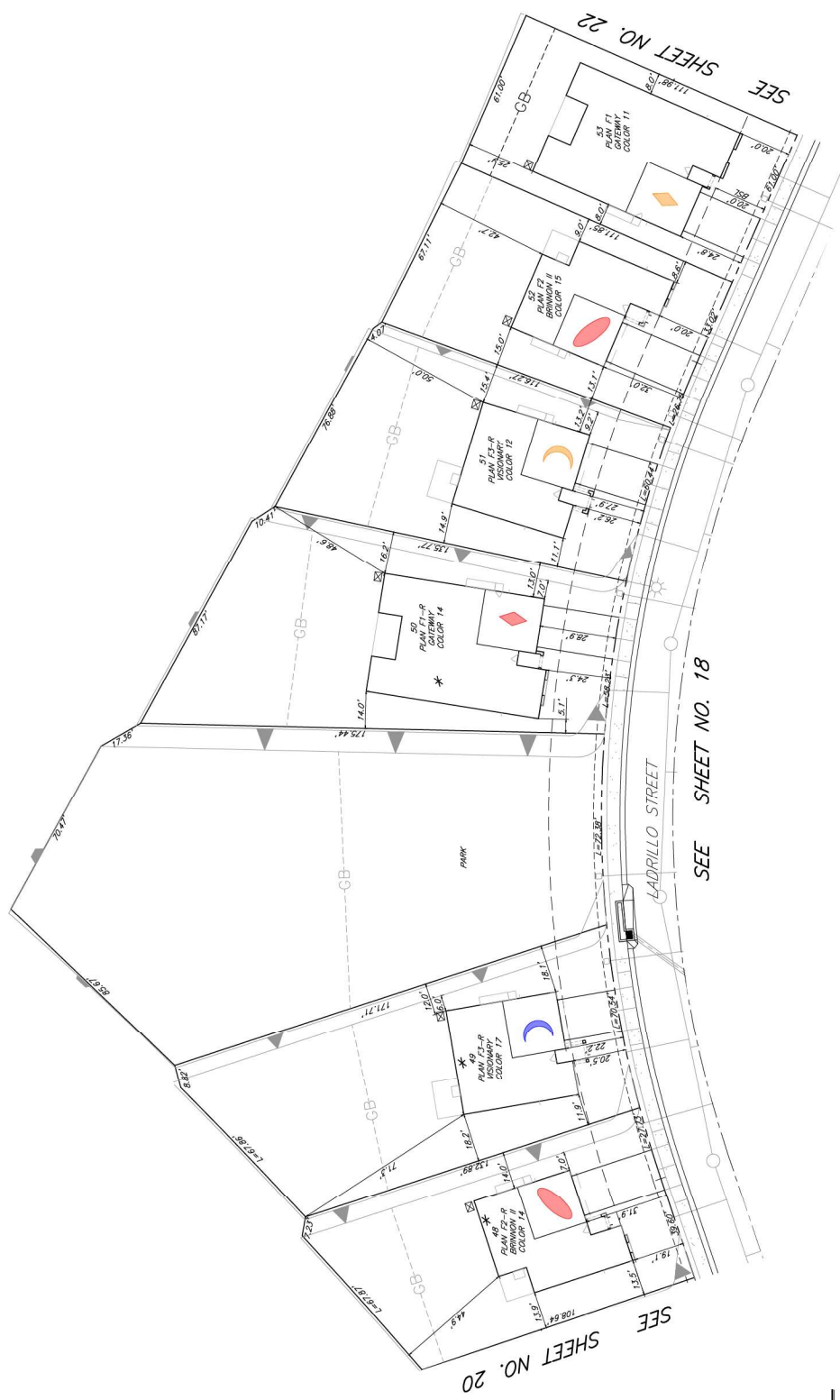
SEE SHEET NO. 8

SEE SHEET NO. 7

LEGEND

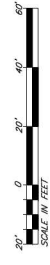
- TRACT BOUNDARY
- CL 2.1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROP. W/IR
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT

SHEET NO.	CITY OF LAKE ELISABETH	
	TRACT 2021-2182-9	
SHEET NO.	19	
	FINAL SITE PLAN OF DEVELOPMENT	
SHEET NO.	43-515	
	LOTS 38-42 & 85-86	
DATE	03/20/2023	DATE
DESIGNED BY	THOMAS M. CASSELLINE	DATE
DRAWN BY	THOMAS M. CASSELLINE	DATE
CHECKED BY	THOMAS M. CASSELLINE	DATE
APPROVED BY	THOMAS M. CASSELLINE	DATE
SEAL-ENGINEER	THOMAS M. CASSELLINE	DATE
MARK BY	ENGINEER	DATE
DATE	REVISIONS	COUNTY

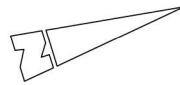


LEGEND

- TRACT BOUNDARY
- CL 2.1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROP. HAZAR
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT

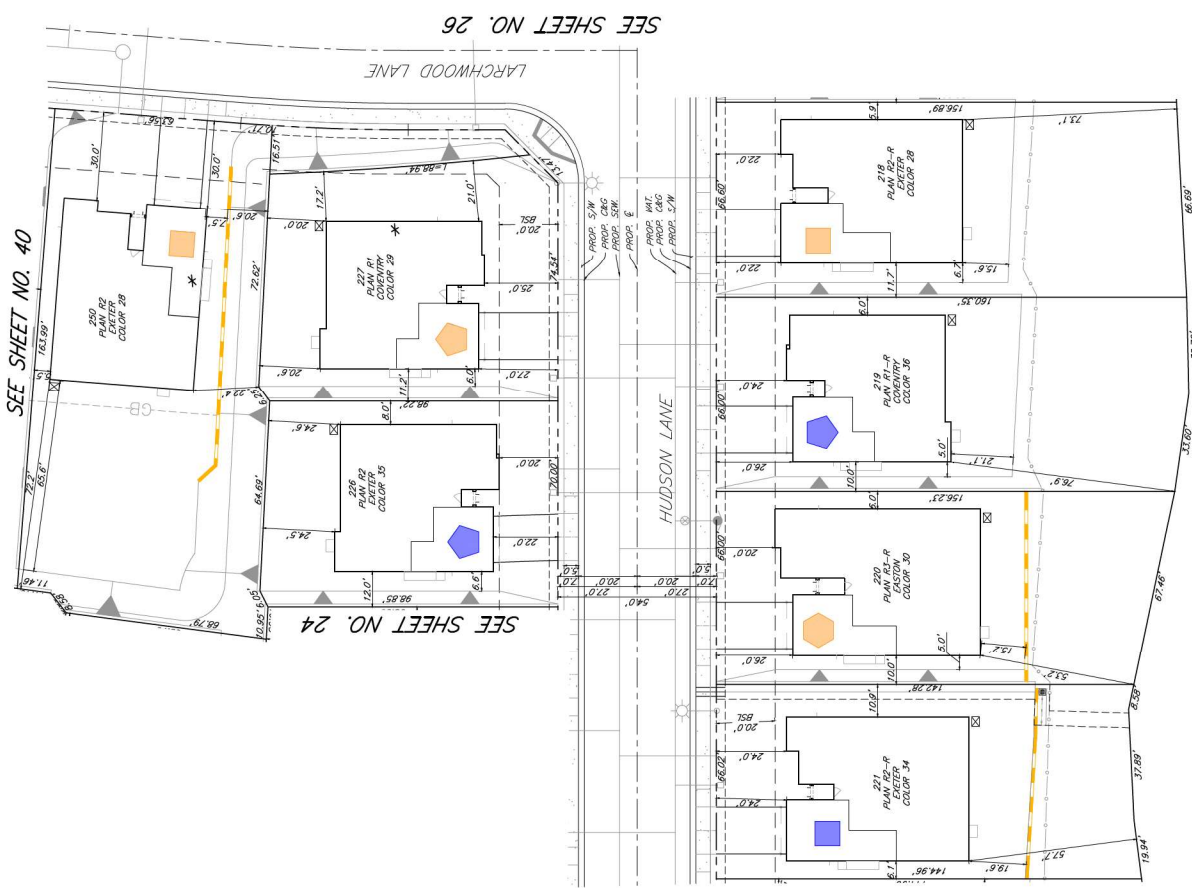


MARK BY	DATE	ENGINEER	REVISIONS	APPROVAL	DATE	COUNTY	SEAL-ENGINEER		CITY OF LAKE ELISABETH TRACT 20214-9 FINAL SITE PLAN OF DEVELOPMENT LOT 40-53	SHEET NO. 21
										DATE 03/20/2023

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LEGEND

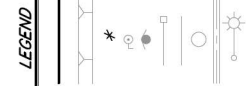
TRACT BOUNDARY
EX. 2:1 SLOPE (UNLESS NOTED
OTHERWISE)
ENHANCED ELEVATION
PROP. ALL/AR
PROP. FIRE HYDRANT
PROP. WATER LATERAL
PROP. SEWER LATERAL
PROP. SEWER MANHOLE
PROP. SEWER MANHOLE
PROP. STREET LIGHT



LEGEND

- TRACT BOUNDARY
- CL 2.1, 3.1, 4.1, 5.1, 6.1, 7.1, 8.1, 9.1, 10.1, 11.1, 12.1, 13.1, 14.1, 15.1, 16.1, 17.1, 18.1, 19.1, 20.1, 21.1, 22.1, 23.1, 24.1, 25.1, 26.1, 27.1, 28.1, 29.1, 30.1, 31.1, 32.1, 33.1, 34.1, 35.1, 36.1, 37.1, 38.1, 39.1, 40.1, 41.1, 42.1, 43.1, 44.1, 45.1, 46.1, 47.1, 48.1, 49.1, 50.1, 51.1, 52.1, 53.1, 54.1, 55.1, 56.1, 57.1, 58.1, 59.1, 60.1, 61.1, 62.1, 63.1, 64.1, 65.1, 66.1, 67.1, 68.1, 69.1, 70.1, 71.1, 72.1, 73.1, 74.1, 75.1, 76.1, 77.1, 78.1, 79.1, 80.1, 81.1, 82.1, 83.1, 84.1, 85.1, 86.1, 87.1, 88.1, 89.1, 90.1, 91.1, 92.1, 93.1, 94.1, 95.1, 96.1, 97.1, 98.1, 99.1, 100.1
- ENHANCED ELEVATION
- PROP. HYDRANT
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT

SHEET NO. 25		CITY OF LAKE ELISABETH	
TRACT 20214-9		FINAL SITE PLAN OF DEVELOPMENT	
LOTS 218-221, 226-227 & 230		DATE 03/20/2023	
FOR THE	W.D.	DATE	03/20/2023
BY	THOMAS M. CASSELLINE	DATE	03/20/2023
SEAL-ENGINEER		PROFESSIONAL ENGINEER	
C 79948		C 79948	
COUNTY OF LAKE		COUNTY OF LAKE	
STATE OF MICHIGAN		STATE OF MICHIGAN	
MARK BY	DATE	REVISIONS	COUNTY
ENGINEER			



SEE SHEET NO. 34

SHEET NO. 28

SEE

SHEET NO. 26

HUDSON LANE

[illegible]

RWC **ENGINEERS**
 CIVIL ENGINEERS • PLANNERS • SURVEYORS
 188 COMPTON AVE., SUITE 100 • GARDEN, CA 92681 • 951-754-
 0320/2020/2010 DATE

PREPARED BY: *Thomas Caseldine*
 THOMAS M. CASELDINE

[illegible]



LEGEND

- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROPR. AV/AR
- PROPR. FIRE HYDRANT
- PROPR. WATER LATERAL
- PROPR. SINKER MANHOLE
- PROPR. SINKER MANHOLE
- PROPR. STREET LIGHT

SHEET NO. 28		CITY OF LAKE ELISABETH	
TRACT 20214-9		FINAL SITE PLAN OF DEVELOPMENT	
LOTS 205-208 & 290-293		DATE: 03/29/2023	
FOR: W.D.	DATE: 03/29/2023	PREPARED BY: Thomas M. Caseldine	DATE: 03/29/2023
DESIGNED BY: Thomas M. Caseldine	DATE: 03/29/2023	SEAL-ENGINEER	COUNTY: REYNOLDS
MARK BY: ENGINEER	DATE: APRIL	DATE: APRIL	COUNTY: REYNOLDS

SEE SHEET NO. 32

SEE SHEET NO. 31

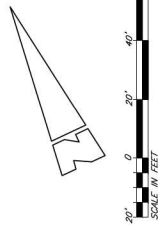
SEE SHEET NO. 29



LEGEND

- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROPOSED AVIAR
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LATERAL
- PROPOSED SEWER LATERAL
- PROPOSED SEWER MANHOLE
- PROPOSED STREET LIGHT

		CITY OF LAKE ELISHORE TRACT 20214-9 FINAL SITE PLAN OF DEVELOPMENT LOTS 183-188 & 300-303	SHEET NO. 30 OF 43 SHEETS DATE 03/20/2023
MARK BY ENGINEER	DATE APRIL	COUNTY W.D.	FILE NO. PH 2018-64













SEE SHEET NO. 32

SEE SHEET NO. 30

SEE SHEET NO. 35

HUDSON LANE

LEGEND

- | | |
|---|--|
|  | TRACT BOUNDARY |
|  | EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE) |
|  | ENHANCED ELEVATION |
|  | PROP. AIR/AR |
|  | PROP. FIRE HYDRANT |
|  | PROP. WATER LATERAL |
|  | PROP. SEWER LATERAL |
|  | PROP. SEWER MANHOLE |
|  | PROP. SEWER MANHOLE |
|  | PROP. STREET LIGHT |

[illegible][illegible]

CITY OF LAKE ELSINORE	TRACT 282114-9		SHEET NO.
	FINAL SITE PLAN OF DEVELOPMENT PLOT PLAN		
	LOTS 188-192 & 304-307		31
			OF 43 SHEETS
FOR FILING	W.C.	CITY FILE NO.	PH 2018-64

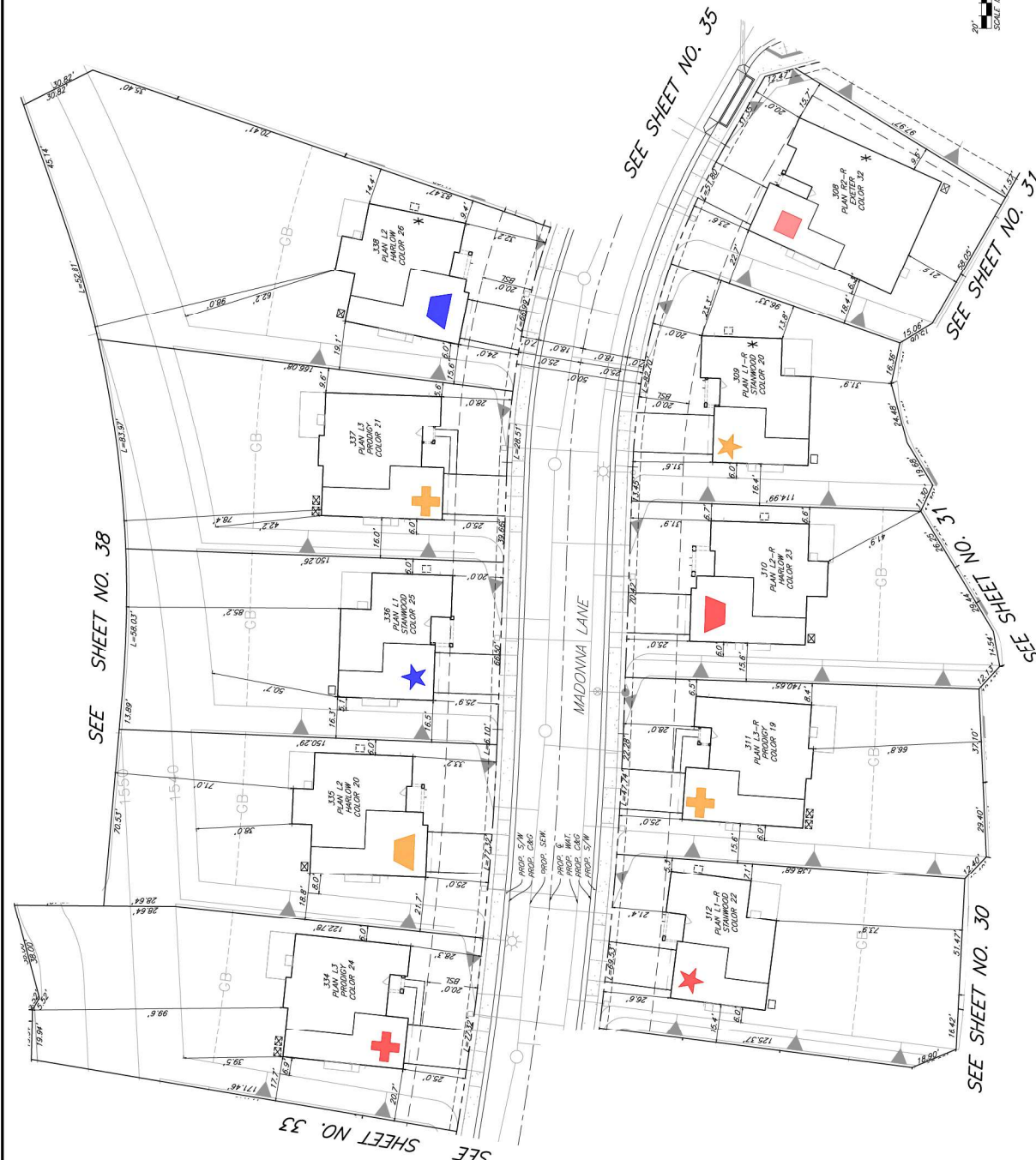
KWC  **ENGINEERS**
 CIVIL ENGINEERS • PLUMBERS • ELECTRICIANS
 40 COMPTON AVE., SUITE 100 • COVINGTON, LA 70021 • (504) 891-734-24

[illegible]

CITY OF LAKE ELSINORE	TRACT 282114-9		SHEET NO.
	FINAL SITE PLAN OF DEVELOPMENT PLOT PLAN		
	LOTS 188-192 & 304-307		31
			OF 43 SHEETS
FOR FILING	W.C.	CITY FILE NO.	PH 2018-64

KWC  **ENGINEERS**
 CIVIL ENGINEERS • PLUMBERS • ELECTRICIANS
 40 COMPTON AVE., SUITE 100 • COVINGTON, LA 70021 • (504) 891-734-24

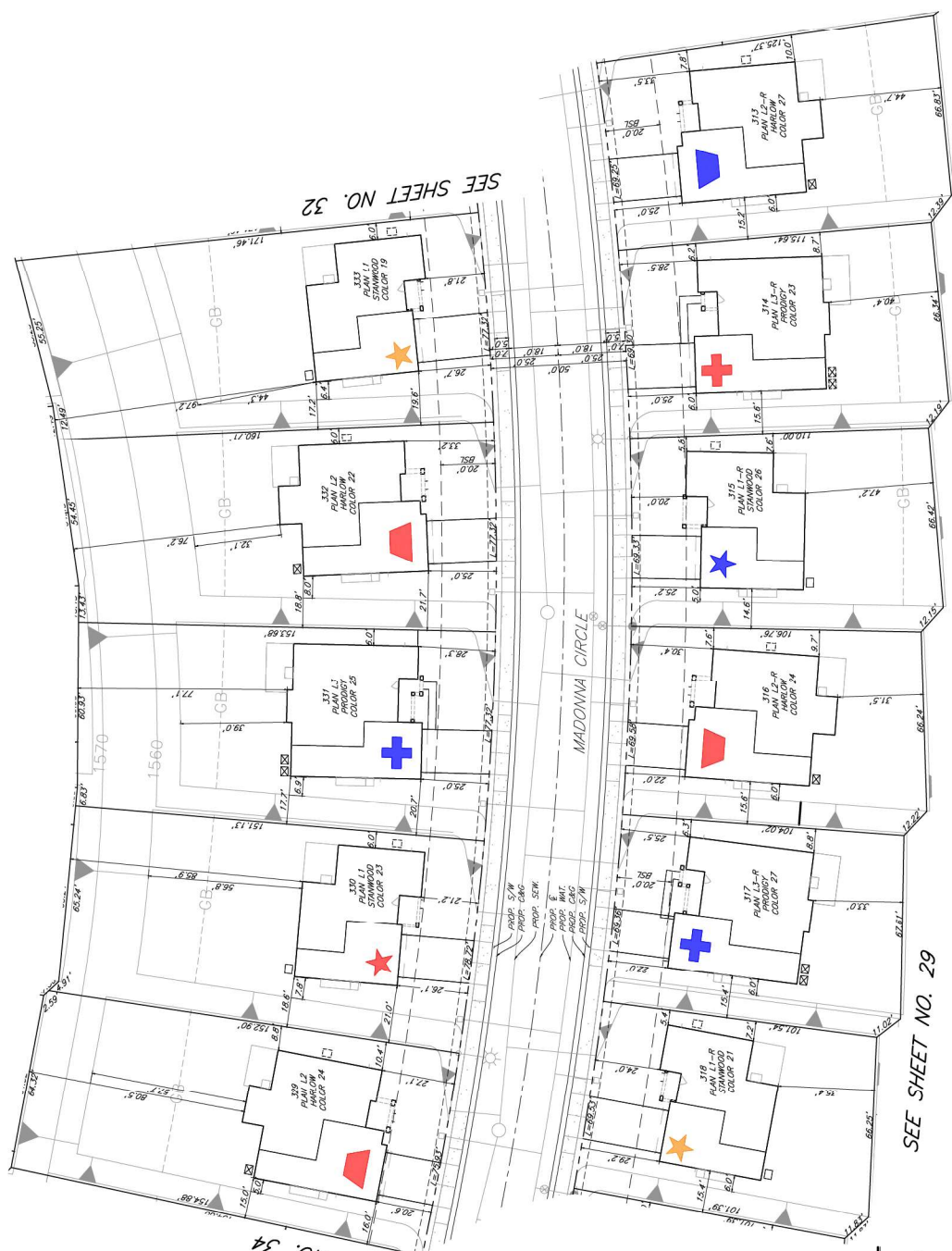
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LEGEND

- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- * PROPOSED AVIAR
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LATERAL
- PROPOSED SEWER LATERAL
- PROPOSED SEWER MANHOLE
- PROPOSED STREET LIGHT

SHEET NO. 32	
CITY OF LAKE ELISABETH	
TRACT 2021-9	
FINAL SITE PLAN OF DEVELOPMENT	
LOTS 308-312 & 314-338	
DATE	03/20/2023
W.D.	THOMAS M. CASSELLINE
PREPARED BY	THOMAS M. CASSELLINE
SEAL-ENGINEER	PROFESSIONAL ENGINEER
MARK BY	DATE
ENGINEER	COUNTY
REVISIONS	



LEGEND

- TRACT BOUNDARY
- EX. 2:1 SIDE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- * PROP. AIR/AR
- PROP. FIRE HYDRANT
- PROP. WATER LATERAL
- PROP. SEWER LATERAL
- PROP. SEWER MANHOLE
- PROP. SEWER MANHOLE
- PROP. STREET LIGHT

CITY OF LAKE ELISNORE		TRACT 20214-9		SHEET NO. 33	
FINAL SITE PLAN OF DEVELOPMENT		LOTS 328-333 & 313-318		0-43-313	
PREPARED BY: Thomas M. Caselone		DATE: 03/20/2023		FOR: W.D. PH 2018-64	
SEAL-ENGINEER		REGISTERED PROFESSIONAL ENGINEER		C 7998	
REVISIONS		APRIL		COUNTY	
MARK BY		DATE		ENGINEER	

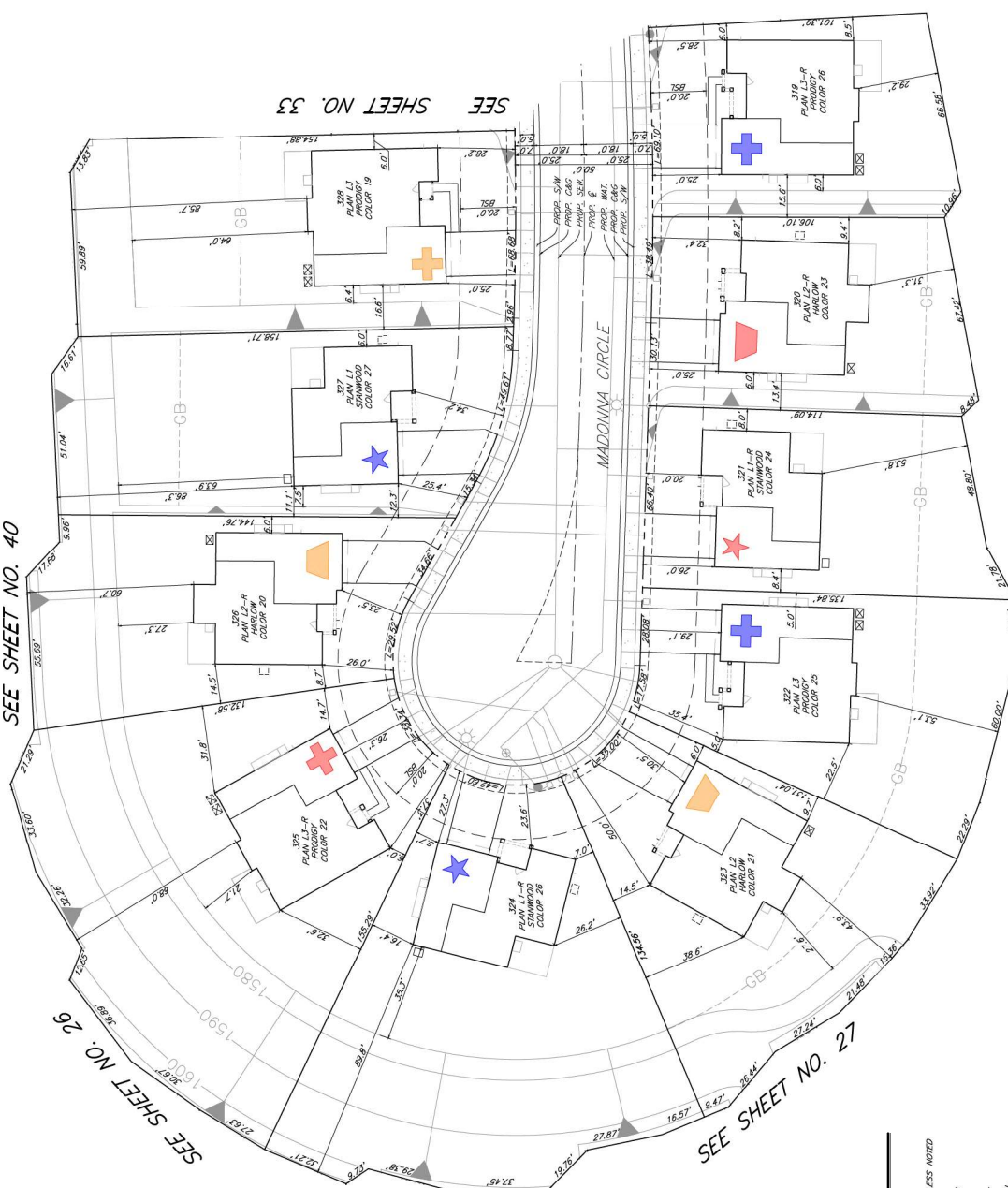
SEE SHEET NO. 40

SEE SHEET NO. 26

SEE SHEET NO. 33

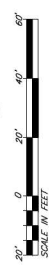
SEE SHEET NO. 27

SEE SHEET NO. 28

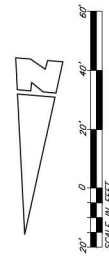












LEGEND

- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- * PROPR. AVIAR
- PROPR. FIRE HYDRANT
- PROPR. WATER LATERAL
- PROPR. SEWER LATERAL
- PROPR. SEWER MANHOLE
- PROPR. STREET LIGHT



CITY OF LAKE ELISNORE TRACT 20214-9 FINAL SITE PLAN OF DEVELOPMENT LOTS 319-328	SHEET NO. 34	DATE 03/20/2023
	PREPARED BY THOMAS M. CASSELLINE	DATE 03/20/2023
HWC ENGINEERS PROFESSIONAL ENGINEER STATE OF ILLINOIS C 79048		DATE 03/20/2023
SEAL-ENGINEER		DATE 03/20/2023
REVISIONS		DATE APRIL
MARK BY		DATE ENGINEER
COUNTY		DATE ENGINEER



	TRACT BOUNDARY
	EX. 2-1: SLOPE (UNLESS NOTED OTHERWISE)
	ENHANCED ELEVATION
	PROP. AV/AR
	PROP. FIRE HYDRANT
	PROP. WATER LATERAL
	PROP. SEWER LATERAL
	PROP. SEWER MANHOLE
	PROP. STREET LIGHT
	PROP. STREET LIGHT

[illegible][illegible][illegible]

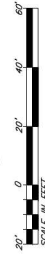
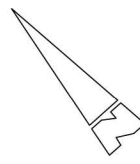


SEE SHEET NO. 41

LEGEND

- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- * PROPOSED AVIAR
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LATERAL
- PROPOSED SINKER LATERAL
- PROPOSED SINKER MANHOLE
- PROPOSED SINKER MANHOLE
- PROPOSED STREET LIGHT

CITY OF LAKE ELISABETH		SHEET NO.	37
TRACT 20214-9		DATE	03/20/2023
FINAL SITE PLAN OF DEVELOPMENT		W.D.	PH 2018-04
LOTS 174-177, 266-267 & 343-344		FILE NO.	0-43
FOR THE CITY OF LAKE ELISABETH		DATE	03/20/2023
PREPARED BY: Thomas M. Caseldine		DATE	03/20/2023
THOMAS M. CASELDINE		DATE	03/20/2023
SEAL-ENGINEER		DATE	03/20/2023
PROFESSIONAL ENGINEER		DATE	03/20/2023
C 79048		DATE	03/20/2023
COUNTY		DATE	03/20/2023
REVISIONS		DATE	03/20/2023
MARK BY		DATE	03/20/2023
ENGINEER		DATE	03/20/2023

[illegible]

LEGEND

TRACT BOUNDARY

EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)

OTHERWISE/ ENHANCED ELEVATION

PROP. AV/AR

PROP. FIRE HYDRANT

PROP. WATER LATERAL

PROP. SEWER LATERAL

PROP. SEWER MANHOLE

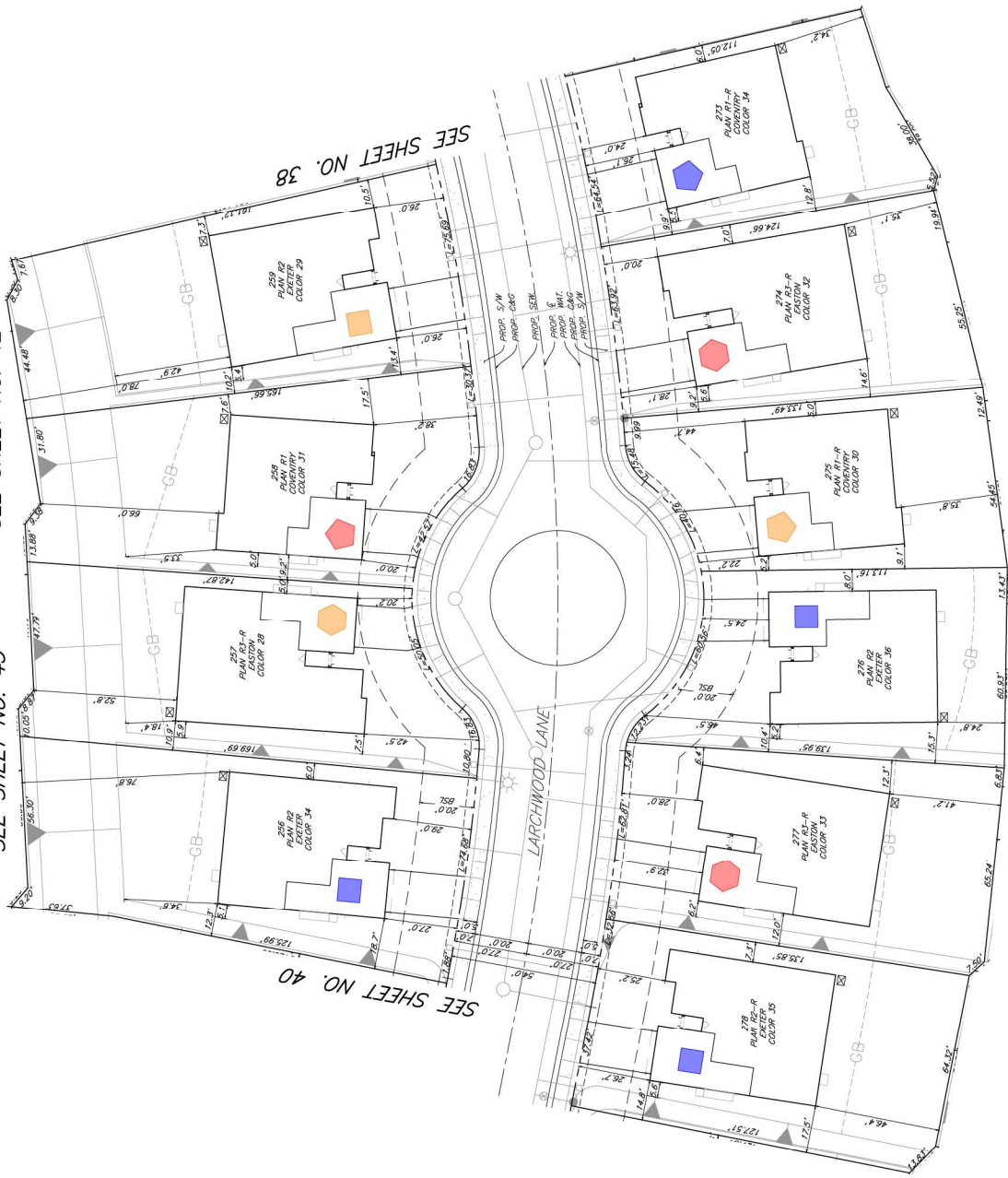
PROP. STREET LIGHT

SEE SHEET NO. 43

SEE SHEET NO. 42

SEE SHEET NO. 40

SEE SHEET NO. 38



LEGEND

- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- PROPOSED AVIAR
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LATERAL
- PROPOSED SINKER LATERAL
- PROPOSED SINKER MANHOLE
- PROPOSED SINKER MANHOLE
- PROPOSED STREET LIGHT



CITY OF LAKE ELISABETH		TRACT 20214-9		SHEET NO. 39	
FINAL SITE PLAN OF DEVELOPMENT		LOTS 271-278 & 286-289		C-43-SHIS	
FOR THE CITY		W.D.		DATE	
THOMAS M. CASSELLINE		03/20/2023		PH 2018-64	
SEAL-ENGINEER		PROFESSIONAL ENGINEER		DATE	
MARK BY		DATE		COUNTY	
ENGINEER		REVISIONS		COUNTY	



HWC ENGINEERS
PREPARED BY
Thomas M. Casselline
THOMAS M. CASSELLINE

SEE SHEET NO. 24

SEE SHEET NO. 43

SEE SHEET NO. 25

SEE SHEET NO. 39

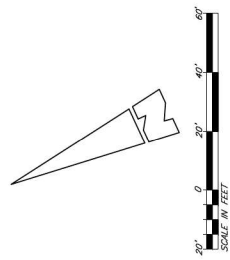


LEGEND











- TRACT BOUNDARY
- EX. 2:1 SLOPE (UNLESS NOTED OTHERWISE)
- ENHANCED ELEVATION
- * PROPOSED AVIAR
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LATERAL
- PROPOSED SINKER LATERAL
- PROPOSED SINKER MANHOLE
- PROPOSED SINKER MANHOLE
- PROPOSED STREET LIGHT



SEAL-ENGINEER	HWC ENGINEERS HARRIS COUNTY, TEXAS REGISTERED PROFESSIONAL ENGINEER C 79948 EXPIRATION DATE 03/29/2023	PREPARED BY Thomas M. Caseldine	DATE 03/29/2023	FOR HIS USE	W.D.	FILE NO.	PH 2018-64	SHEET NO. 40	CITY OF LAKE ELISNORE TRACT 20214-9 FINAL SITE PLAN OF DEVELOPMENT LOT 275-282 & 251-255

[illegible]

LEGEND

- | | |
|---|--|
|  | TRACT BOUNDARY |
|  | EX. 2-1 SLOPE (UNLESS NOTED OTHERWISE) |
|  | ENHANCED ELEVATION |
|  | PROP. A/C/AR |
|  | PROP. FIRE HYDRANT |
|  | PROP. WATER LATERAL |
|  | PROP. SOWER LATERAL |
|  | PROP. SOWER MANHOLE |
|  | PROP. SOWER MANHOLE |
|  | PROP. STREET LIGHT |

Crestly at Alberhill Ranch

Lake Elsinore, CA



Design Review

Sheet Index	
Cover	
Streetscene	SS
4019-1 Floor Plan & Roof Plan 'A' - Spanish	1
4019-1 Front Elevations	2
4019-1 Elevations 'A'- Spanish	3
4019-1 Floor Plan & Roof Plan 'B' - Prairie	4
4019-1 Elevations 'B' - Prairie	5
4019-1 Floor Plan & Roof Plan 'C' - Craftsman	6
4019-1 Elevations 'C' - Craftsman	7
3823-1 Floor Plan & Roof Plan 'A' - Spanish	8
3823-1 Front Elevations	9
3823-1 Elevations 'A' - Spanish	10
3823-1 Floor Plan & Roof Plan 'B'- Prairie	11
3823-1 Elevations 'B'- Prairie	12
3823-1 Floor Plan & Roof Plan 'C' - Craftsman	13
3823-1 Elevations 'C' - Craftsman	14
4028-2 Floor Plan & Roof Plan 'A'- Spanish	15
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4028-2 Elevations 'A' - Spanish	17
4028-2 Floor Plan & Roof Plan 'B' - Prairie	18
4028-2 Elevations 'B' - Prairie	19
4028-2 Floor Plan & Roof Plan 'C' - Craftsman	20
4028-2 Elevations 'C' - Craftsman	21



4019-1 C
CRAFTSMAN | Scheme 7



3823-2 A
SPANISH | Scheme 2



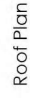
4028-2 B
PRAIRIE | Scheme 6

Floor Plan

A)	4'-0" x 5'-0" Slider
B)	5'-0" x 5'-0" Slider
C)	3'-0" x 4'-0" Fixed
D)	8'-0" x 5'-0" Slider/Fixed/Slider
E)	8'-0" x 5'-0" Slider/Fixed/Slider
F)	6'-0" x 8'-0" Sliding Glass Door
G)	5'-0" x 5'-0" Fixed
H)	4'-0" x 5'-0" Slider
I)	4'-0" x 1'-6" Fixed



Floor Plan



Roof Plan



Exterior Wall Light
at Elevation 'A'

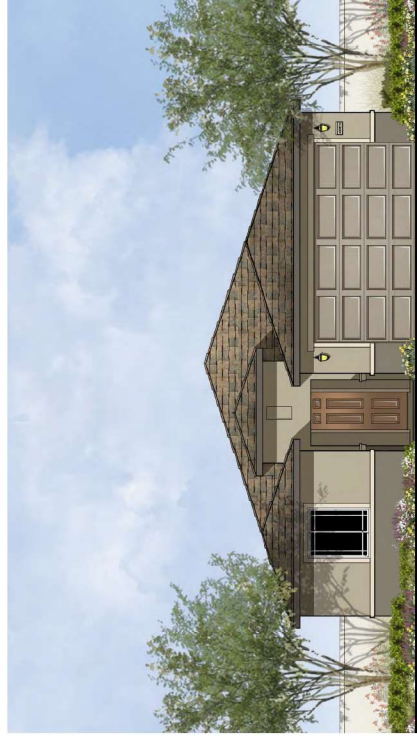
1st Floor	1,959 SQ. FT.
2nd Floor	n/a SQ. FT.
Total	1,959 SQ. FT.
2-Car Garage	462 SQ. FT.
Porch	50 SQ. FT.



A - SPANISH
SCHEME 1



C - CRAFTSMAN
SCHEME 7

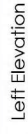
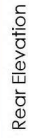
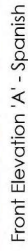


B - PRAIRIE
SCHEME 4

4019-1 ■ 1,959 SQ. FT.

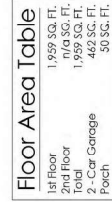
CRESTLY AT ALBERHILL RANCH

- A. STUCCO
- B. CONCRETE "TILLA" TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE CABLE ACCENTS
- E. STUCCO CORBEL EAVES
- F. STUCCO WINDOW TRIM AND MIX OF RECESSED WINDOWS
- G. STANDARD COACH LIGHT
- H. DISTINCT "A" ELEVATION WINDOW TRIM
- I. DISTINCT "A" ELEVATION GARAGE DOOR W/ OPI WINDOWS



Floor Plan

A)	4'-0" x 5'-0" Slider
B)	5'-0" x 5'-0" Slider
C)	3'-0" x 4'-0" Fixed
D)	8'-0" x 5'-0" Slider/Fixed/Slider
E)	8'-0" x 5'-0" Slider/Fixed/Slider
F)	6'-0" x 8'-0" Sliding Glass Door
G)	5'-0" x 5'-0" Fixed
H)	4'-0" x 5'-0" Slider
I)	4'-0" x 1'-6" Fixed



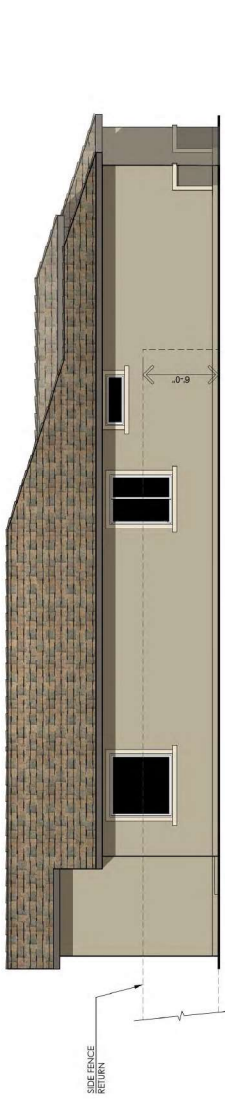
Exterior Materials

- A. VINYL SIDING
- B. CONCRETE "FLAT" TILE ROOFING
- C. STIPCO WINDOW TRIM
- D. STIPCO GARAGE DOOR TRIM
- E. STIPCO GARAGE DOOR TRIM
- F. DISTINCT "B" ELEVATION GARAGE DOOR W/ OPT WINDOWS

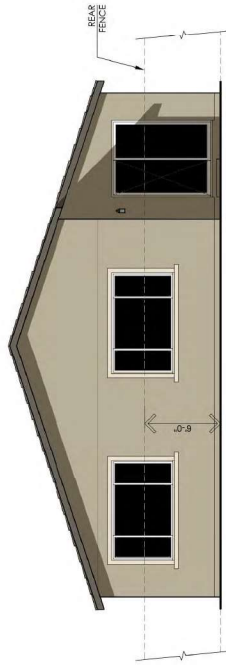
1/2" RIDGE
+115'-6"



Front Elevation 'B' - Prairie



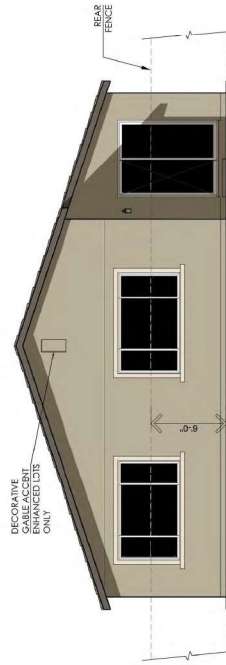
Left Elevation



Rear Elevation



Right Elevation

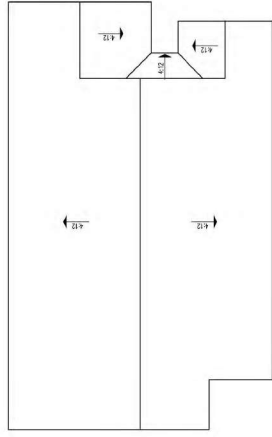


Rear Elevation "Enhanced"

Window Schedule	
Floor Plan	
A)	4'-0" x 5'-0" Slider
B)	5'-0" x 5'-0" Slider
C)	3'-0" x 4'-0" Fixed
D)	8'-0" x 5'-0" Slider/Fixed/Slider
E)	8'-0" x 5'-0" Slider/Fixed/Slider
F)	6'-0" x 8'-0" Sliding Glass Door
G)	5'-0" x 5'-0" Fixed
H)	4'-0" x 5'-0" Slider
I)	4'-0" x 1'-6" Fixed



Floor Plan



Roof Plan



Exterior Wall Light
at Elevation 'C'

Floor Area Table	
1st Floor	1,959 SQ. FT.
2nd Floor	n/a SQ. FT.
Total	1,959 SQ. FT.
2 - Car Garage	462 SQ. FT.
Porch	50 SQ. FT.

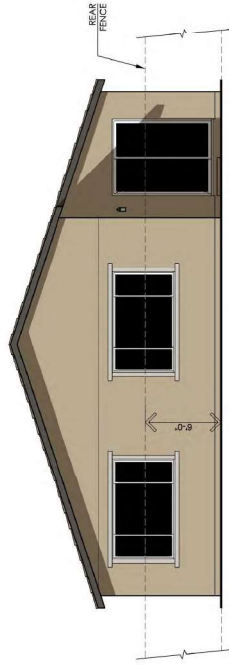
- Exterior Materials**
- A. STUCCO
 - B. CONCRETE FLAT TILE ROOFING
 - C. CONCRETE FLAT TILE ROOFING
 - D. DECORATIVE CORBELS
 - E. DECORATIVE STONE
 - F. DECORATIVE CORBELS
 - G. STANDARD COACH LIGHT
 - H. DISTINCT 'C' ELEVATION WINDOW TRIM
 - I. DISTINCT 'C' ELEVATION WINDOW TRIM
 - J. DECORATIVE SHUTTERS

1/2" RIDGE
1/8" 1/8"

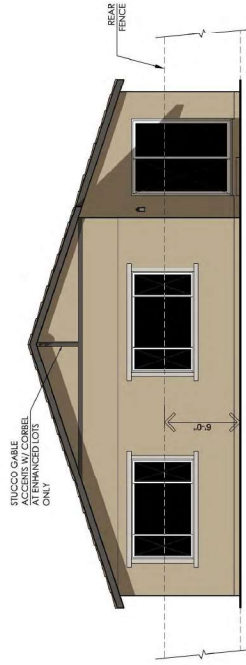


Front Elevation 'C' - Craftsman

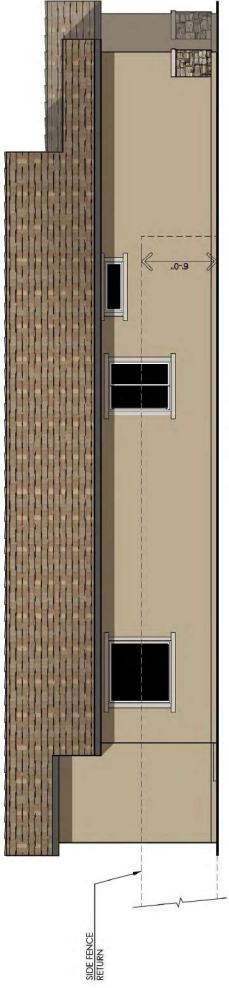
ACCORDING TO THE ARCHITECTURAL AND FINISH
SCHEDULE, THE MATERIALS LISTED IN THE
FINISH SCHEDULE SHALL BE USED.
CHECK THE FINISH SCHEDULE.



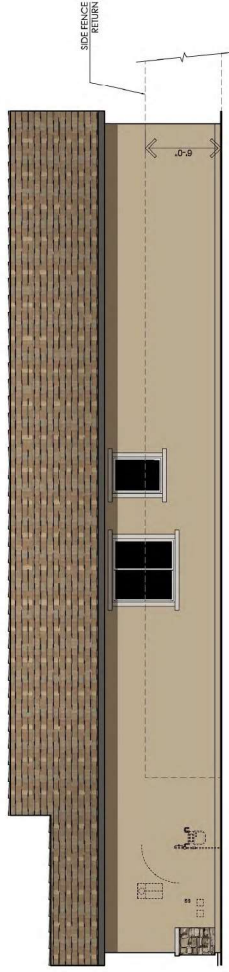
Rear Elevation



Rear Elevation
"Enhanced"



Left Elevation

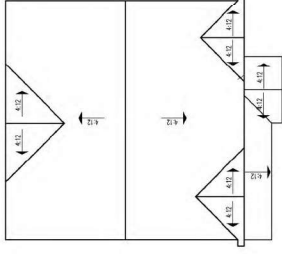


Right Elevation

Window Schedule	
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 2'-0" x 4'-0" Fixed	H) 4'-2" x 4'-0" Slider
C) 2'-0" x 4'-0" Fixed	I) 3'-0" x 5'-0" Single Hung
D) 8'-0" x 5'-0" Slider/Fixed/Slider	J) 2'-0" x 3'-0" Single Hung
E) 8'-0" x 5'-0" Slider/Fixed/Slider	K) 4'-0" x 5'-0" Single Hung
F) 8'-0" x 8'-0" Sliding Glass Door	L) 3'-0" x 5'-0" Single Hung
	M) 3'-0" x 5'-0" Single Hung
	N) 4'-0" x 4'-0" Fixed
	O) 2'-0" x 3'-0" Single Hung



Exterior Wall Light
at Elevation 'A'



Roof Plan



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,041 SQ. FT.
2nd Floor	1,363 SQ. FT.
Total	2,404 SQ. FT.
2-Car Garage	416 SQ. FT.
Total	54 SQ. FT.



A - SPANISH
SCHEME 2



C - CRAFTSMAN
SCHEME 9



B - PRAIRIE
SCHEME 5

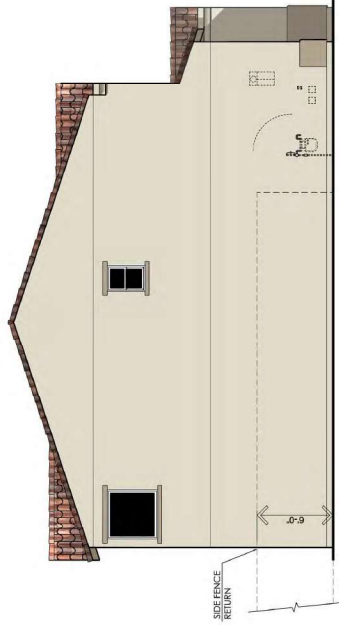


Exterior Materials

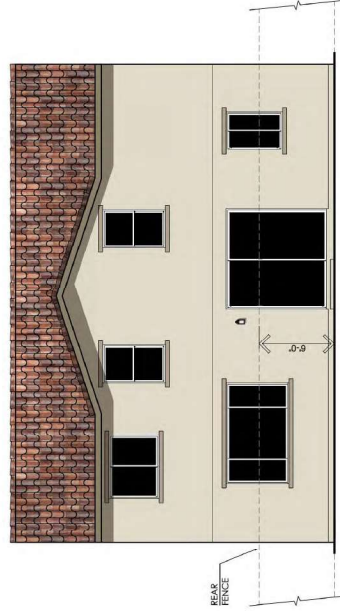
- A. STUCCO
- B. CONCRETE "VILLA" TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE GABLE ACCENTS
- E. STUCCO CORBEL EAVES
- F. STUCCO WINDOW TRIM AND MIX OF RECESSED WINDOWS
- G. STANDARD COACH LIGHT
- H. DISTINCT "A" ELEVATION WINDOW TRIM
- I. DISTINCT "A" ELEVATION GARAGE DOOR W/OPT WINDOWS

Front Elevation 'A' - Spanish

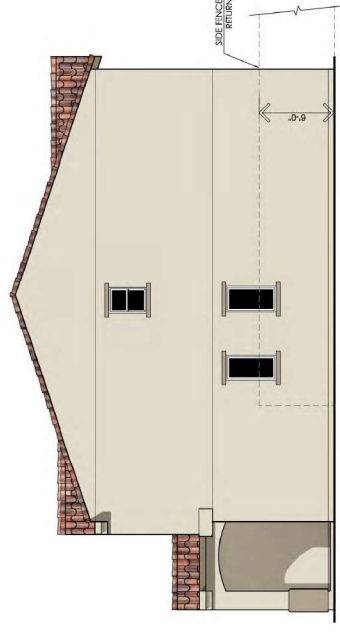
COLORED IN THIS RENDERING MAY NOT BE
ACCURATELY REPRESENTED DUE TO PRINTING.
PLEASE REFER TO THE ACTUAL PAINT
CHIPS IN THE DR PACKAGE.



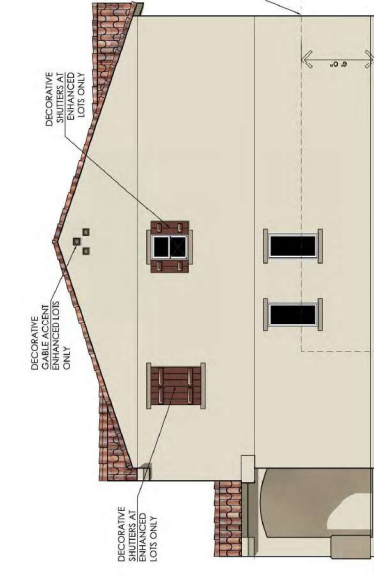
Left Elevation



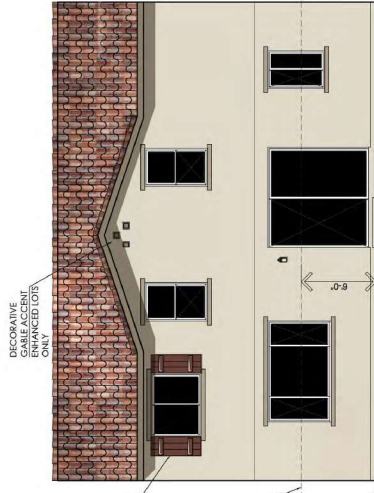
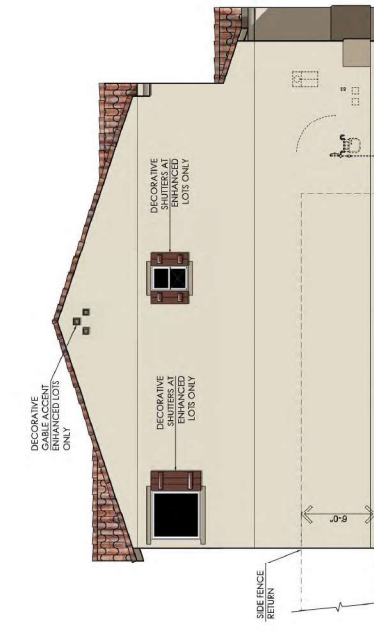
Rear Elevation



Right Elevation



Right Elevation
"Enhanced"

Rear Elevation
"Enhanced"

Left Elevation
"Enhanced"

ELEVATION 'A'

3823-1 ■ 2,404 SQ. FT.

CRESTLY AT ALBERHILL RANCH

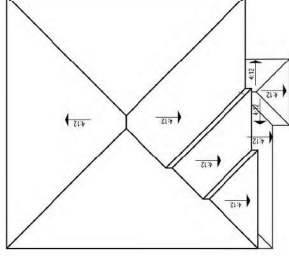
(c) Copyright 2022 PulteGroup, Inc. Note: Colors in this rendering may not be accurately represented due to printing. Please refer to the actual paint chips in the DR package.

5/26/2022

Window Schedule	
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 2'-0" x 4'-0" Fixed	H) 5'-0" x 4'-0" Slider
C) 2'-0" x 4'-0" Fixed	I) 5'-0" x 4'-0" Slider
D) 3'-0" x 4'-6" Slider	J) 5'-0" x 4'-0" Slider
E) 3'-0" x 4'-6" Slider	K) 5'-0" x 4'-0" Slider
F) 8'-0" x 8'-0" Sliding Glass Door	L) 3'-0" x 5'-0" Single Hung
	M) 3'-0" x 5'-0" Single Hung
	N) 4'-0" x 4'-0" Fixed
	O) 2'-0" x 3'-0" Single Hung



Exterior Wall Light
at Elevation 'B'



Roof Plan



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,041 SQ. FT.
2nd Floor	1,363 SQ. FT.
Garage	2,400 SQ. FT.
2-Car Garage	4,144 SQ. FT.
Porch	54 SQ. FT.

↑ TO RIDGE
425'-1"

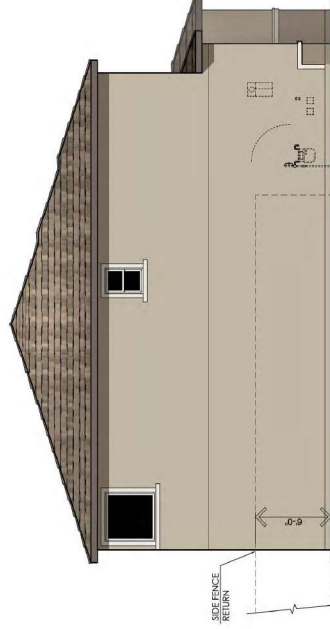
Exterior Materials

- STUCCO
- CONCRETE FLAT TILE ROOFING
- DECORATIVE SHUTTERS AT ENHANCED LOTS
- STANDARD COACH LIGHT
- DISTINCT "B" ELEVATION WINDOW TRIM
- DISTINCT "B" ELEVATION GARAGE DOOR WINDOW

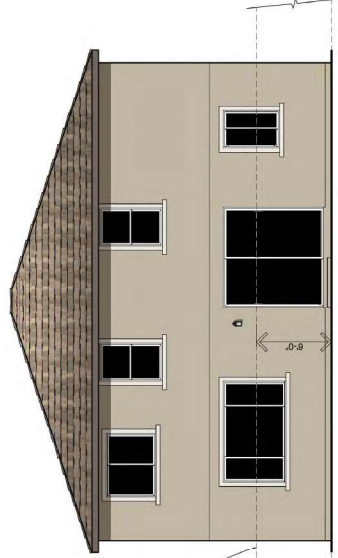
COLOURS AND FINISHES MAY VARY BY REGION.
ALWAYS REFER TO THE ACTUAL PLANS
FOR THE SPECIFIC FINISHES.



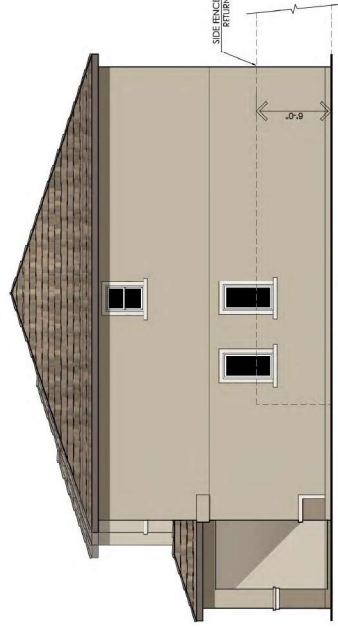
Front Elevation 'B' - Prairie



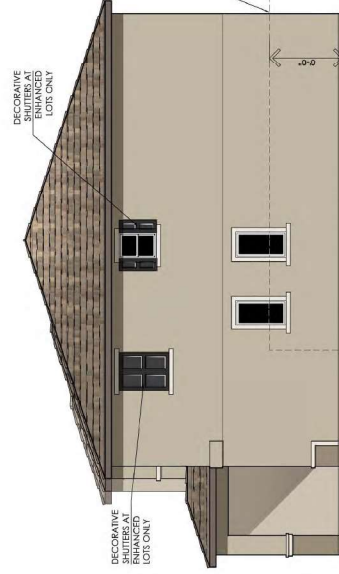
Left Elevation



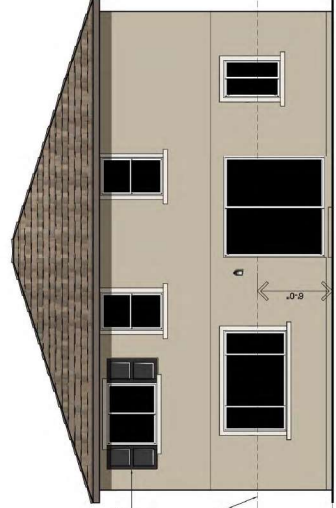
Rear Elevation



Right Elevation



Right Elevation
"Enhanced"



Rear Elevation
"Enhanced"



Left Elevation
"Enhanced"

3823-1 ■ 2,404 SQ. FT.

CRESTLY AT ALBERHILL RANCH

Centex

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5/24/2022

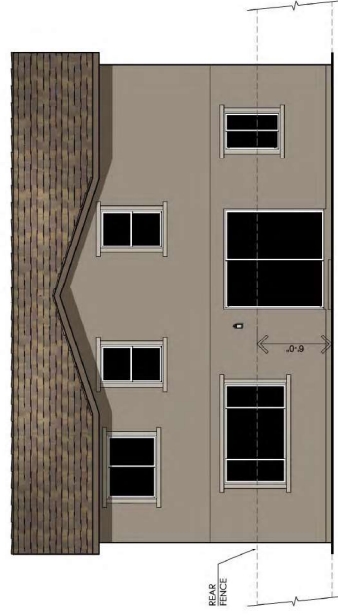


Exterior Materials

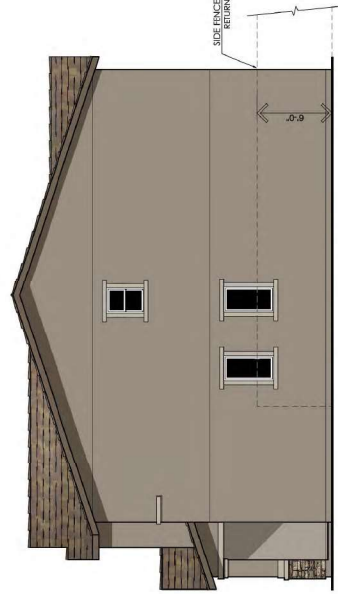
- EXTERIOR MATERIALS**
- A. STUCCO
 - B. CONCRETE "FLAT" TILE ROOFING
 - C. STUCCO FINISHED ACCENT AT GABLES
 - D. DECORATIVE CORBELS
 - E. DECORATIVE STONE
 - F. STUCCO WINDOW TRIM AND MIX OF RECESSED WINDOWS
 - G. STANDARD COACH LIGHT
 - H. DISTINCT "C" ELEVATION WINDOW TRIM
 - I. DISTINCT "C" ELEVATION GARAGE DOOR W/OFT WINDOWS
 - J. DECORATIVE SHUTTERS

Front Elevation 'C' - Craftsman

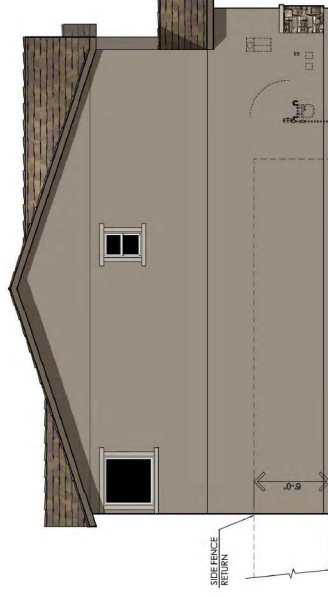
COLORS IN THIS RENDERING MAY NOT BE
ACCURATELY REPRESENTED DUE TO PRINTING.
PLEASE REFER TO THE ACTUAL PAINT
CHART IN THE TR PACKAGE



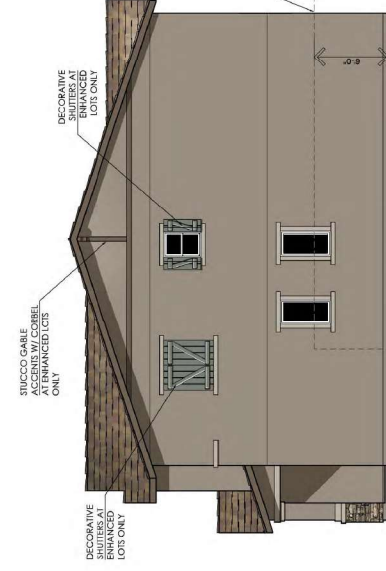
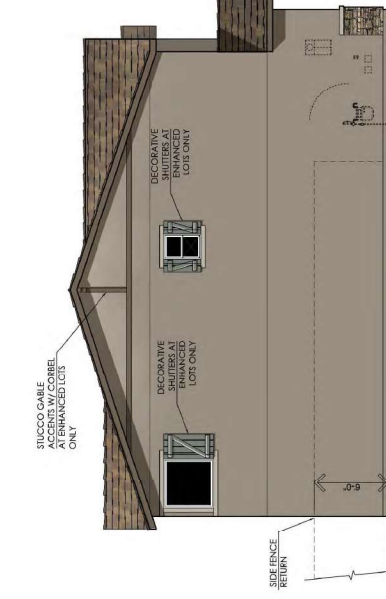
Rear Elevation



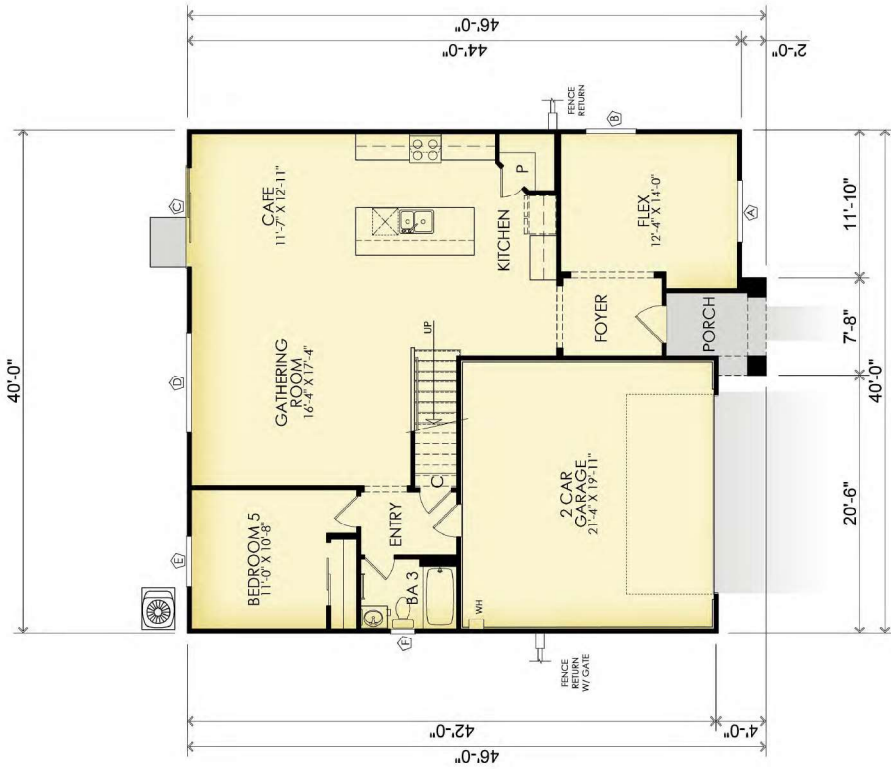
Right Elevation



Left Elevation

Right Elevation
"Enhanced"Rear Elevation
"Enhanced"Left Elevation
"Enhanced"

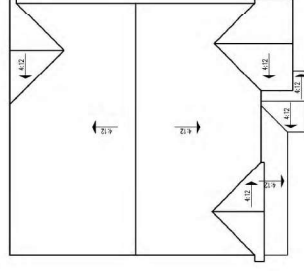
Window Schedule	
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 4'-0" x 5'-0" Fixed	H) 5'-0" x 4'-0" Slider
C) 8'-0" x 8'-0" Sliding Glass Door	I) 5'-0" x 4'-0" Slider
D) 4'-0" x 5'-0" Slider/Fixed/Slider	J) 5'-0" x 4'-0" Fixed
E) 4'-0" x 5'-0" Slider/Fixed/Slider	K) 2'-0" x 3'-0" Single Hung
F) 2'-0" x 4'-0" Single Hung	L) 3'-0" x 5'-0" Fixed
	M) 8'-0" x 4'-0" Slider/Fixed/Slider
	N) 2'-6" x 4'-0" Fixed
	O) 5'-0" x 4'-0" Slider
	P) 5'-0" x 4'-0" Slider
	Q) 2'-0" x 5'-0" Fixed



First Floor Plan



Exterior Wall Light at Elevation 'A'



Second Floor Plan

Floor Area Table	
1st Floor	1,243 SQ. FT.
2nd Floor	1,581 SQ. FT.
Total	2,824 SQ. FT.
2 Car Garage	448 SQ. FT.
Porch	48 SQ. FT.



A - SPANISH
SCHEME 3



C - CRAFTSMAN
SCHEME 8



B - PRAIRIE
SCHEME 6

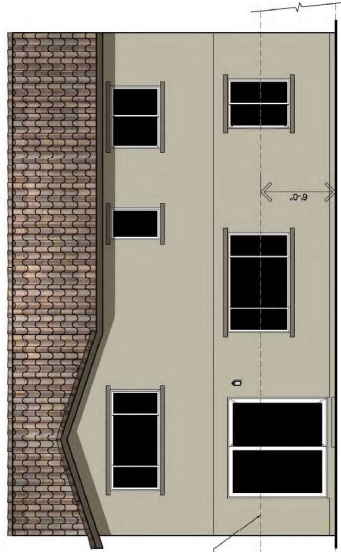


Front Elevation 'A' - Spanish

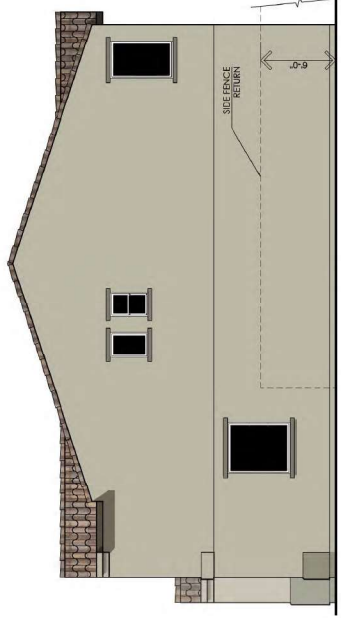
Exterior Materials

- A. STUCCO
- B. CONCRETE "VILLA" TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE GABLE ACCENT
- E. STUCCO CORBEL LEAVES
- F. STUCCO WINDOW TRIM AND MIX OF RECESSED WINDOWS
- G. STUCCO GARAGE DOOR WITH W/OUT WINDOW
- H. DISTINCT "A" ELEVATION WINDOW TRIM
- I. DISTINCT "A" ELEVATION GARAGE DOOR W/OUT WINDOW

CRESTLY AT ALBERHILL RANCH
4028-2 ■ 2,824 SQ. FT.
ALL DIMENSIONS ARE APPROXIMATE
AND SHOULD BE USED FOR GENERAL REFERENCE ONLY.
CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS.
CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS.



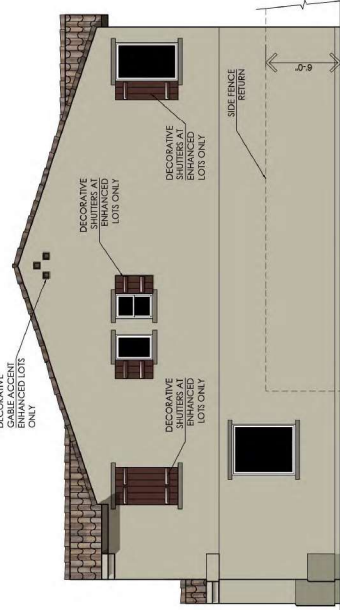
Rear Elevation



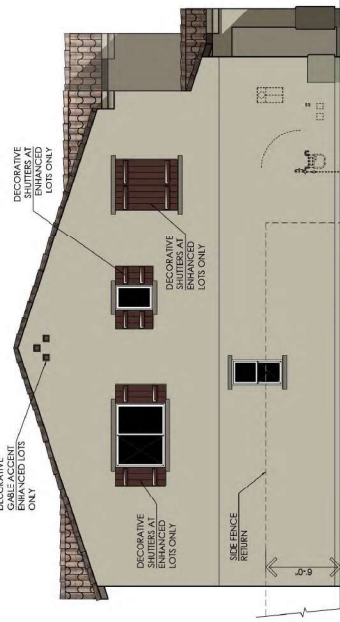
Left Elevation



Rear Elevation
"Enhanced"



Right Elevation
"Enhanced"

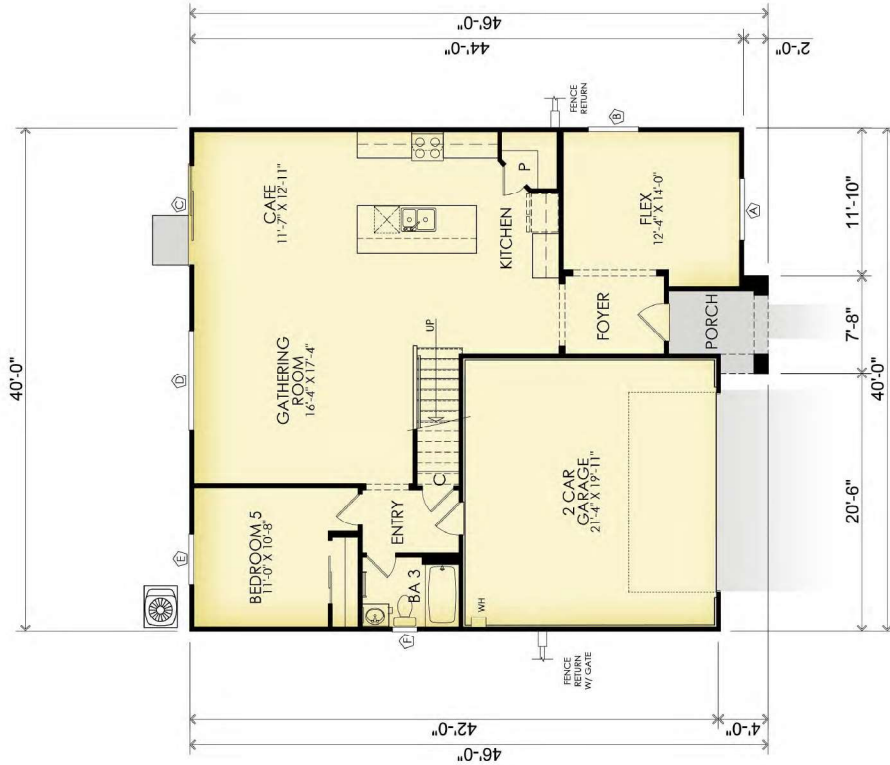


Left Elevation
"Enhanced"

4028-2 ■ 2,824 SQ. FT.

CRESTLY AT ALBERHILL RANCH

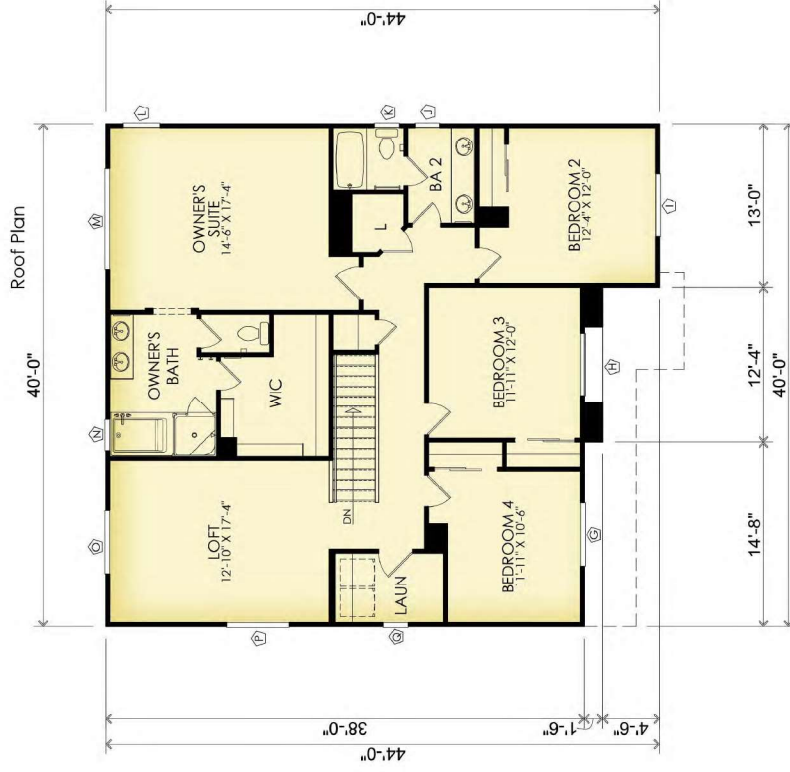
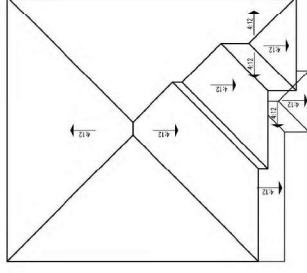
Window Schedule	
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 4'-0" x 5'-0" Fixed	H) 5'-2" x 4'-0" Slider
C) 4'-0" x 5'-0" Fixed	I) 5'-0" x 4'-0" Slider
D) 4'-0" x 5'-0" Sliding Glass Door	J) 2'-0" x 3'-0" Fixed
E) 4'-0" x 5'-0" Sliding Glass Door	K) 2'-0" x 3'-0" Single Hung
F) 2'-0" x 4'-0" Slider	L) 3'-0" x 5'-0" Fixed
	M) 8'-0" x 4'-0" Fixed
	N) 2'-6" x 4'-0" Fixed
	O) 5'-0" x 4'-0" Slider
	P) 5'-0" x 4'-0" Slider
	Q) 2'-0" x 3'-0" Fixed



First Floor Plan



Exterior Wall Light at Elevation 'B'



Second Floor Plan

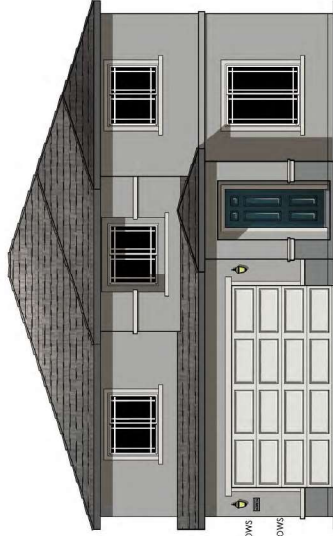
Floor Area Table	
1st Floor	1,243 SQ. FT.
2nd Floor	1,381 SQ. FT.
Garage	2,143 SQ. FT.
2-Car Garage	443 SQ. FT.
Porch	48 SQ. FT.

Exterior Materials

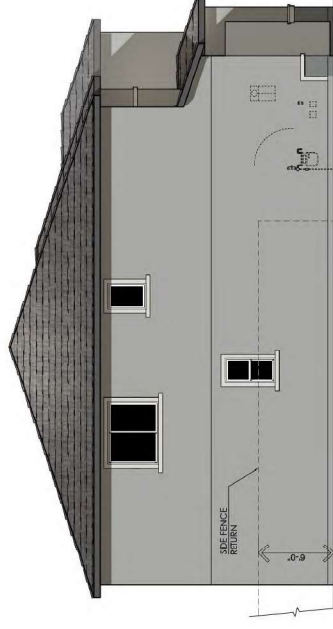
- A. STUCCO
- B. CONCRETE PLATE ROOFING
- C. CONCRETE W/STUCCO FINISH ENHANCED LOT
- D. STUCCO WINDOW TRIM AND W/OF RECESSED WINDOWS
- E. STANDARD COACH LIGHT
- F. STANDARD SIDEWALK LIGHT
- G. DISTINCT 1/2 ELEVATION GARAGE DOOR W/COPT WINDOWS

Front Elevation 'B' - Prairie

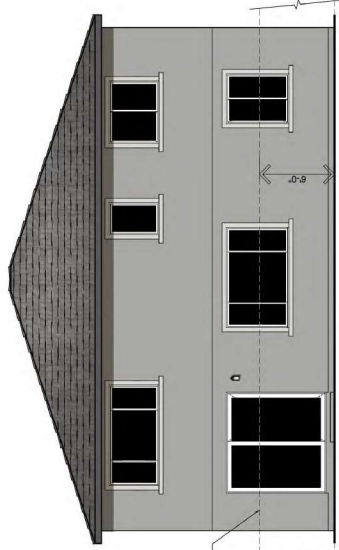
COLORS IN THE RANCH MAY VARY FROM
ACTUAL COLORS SHOWN IN THIS PLAN.
COLORS ARE NOT TO BE USED IN THE
COLORS IN THE RANCH.



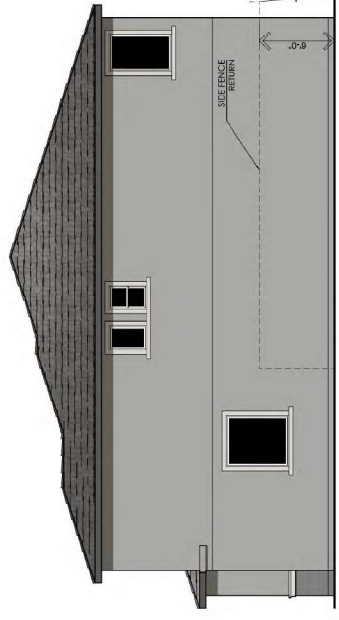
Left Elevation



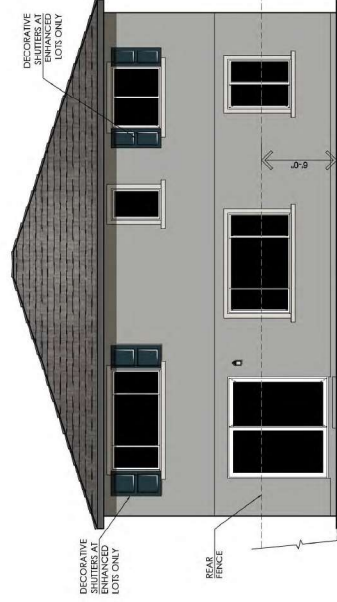
Rear Elevation



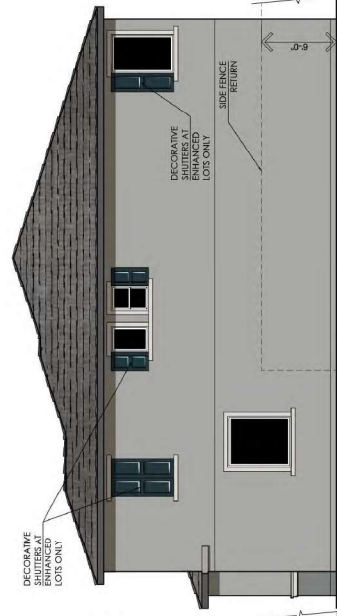
Right Elevation



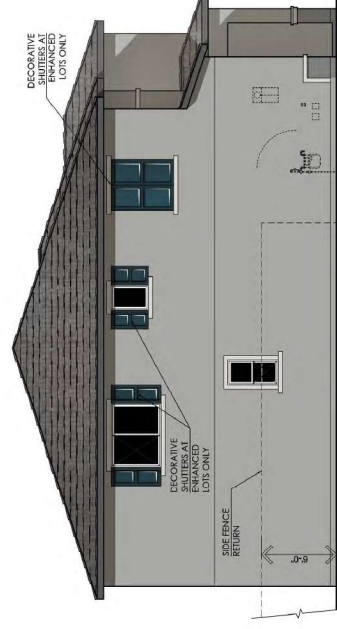
Rear Elevation
"Enhanced"



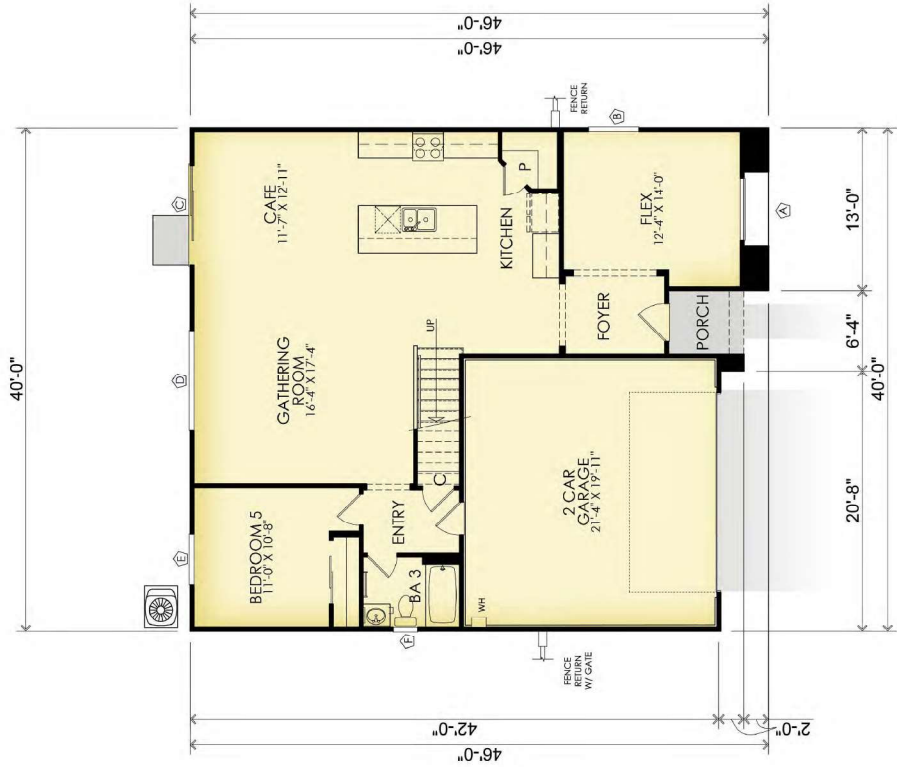
Right Elevation
"Enhanced"



Left Elevation
"Enhanced"



Window Schedule	
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 4'-0" x 5'-0" Fixed	H) 5'-0" x 4'-0" Slider
C) 8'-0" x 8'-0" Sliding Glass Door	I) 5'-0" x 4'-0" Slider
D) 4'-0" x 6'-0" Sliding Glass Door	J) 5'-0" x 4'-0" Slider
E) 4'-0" x 5'-0" Slider	K) 2'-0" x 3'-0" Single Hung
F) 2'-0" x 4'-0" Single Hung	L) 3'-0" x 5'-0" Fixed
	M) 8'-0" x 4'-0" Slider/Fixed/Slider
	N) 2'-6" x 4'-0" Fixed
	O) 5'-0" x 4'-0" Slider
	P) 4'-0" x 4'-0" Slider
	Q) 2'-0" x 3'-0" Fixed



First Floor Plan

4028-2 ■ 2,824 SQ. FT.

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Centex®

CRESTLY AT ALBERHILL RANCH

5/24/2022

Second Floor Plan



Floor Area Table	
1st Floor	1,243 SQ. FT.
2nd Floor	1,381 SQ. FT.
Garage	2,143 SQ. FT.
2 Car Garage	4,443 SQ. FT.
Porch	33 SQ. FT.

ELEVATION 'C'

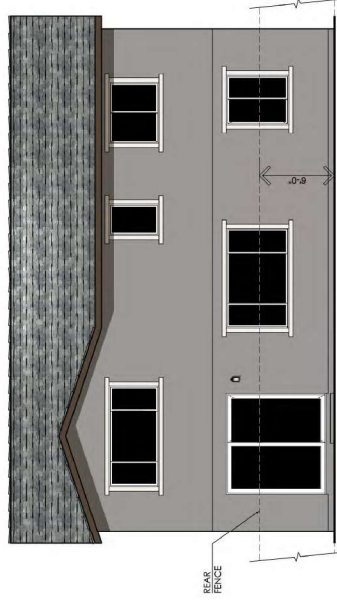


Exterior Materials

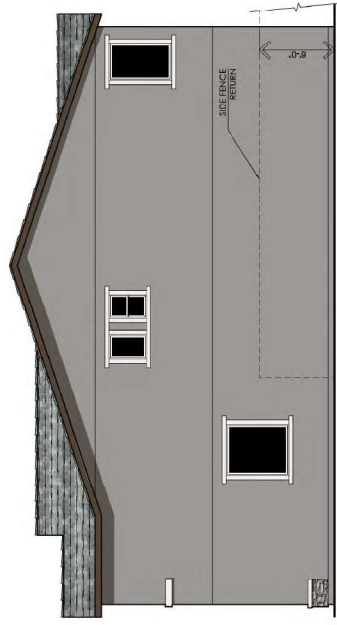
- A. STUCCO
- B. STUCCO FINISH TILE ROOFING
- C. STUCCO FINISHED ACCENT AT GABLES
- D. DECORATIVE CORBELS
- E. STUCCO WINDOW TRIM
- F. STUCCO WINDOW TRIM
- G. STANDARD COACH LIGHT WINDOW TRIM
- H. STUCCO GARAGE DOOR W/OPT WINDOWS
- I. DISTINCT "C" ELEVATION GARAGE DOOR W/OPT WINDOWS
- J. DECORATIVE SHUTTERS

Front Elevation 'C' - Craftsman

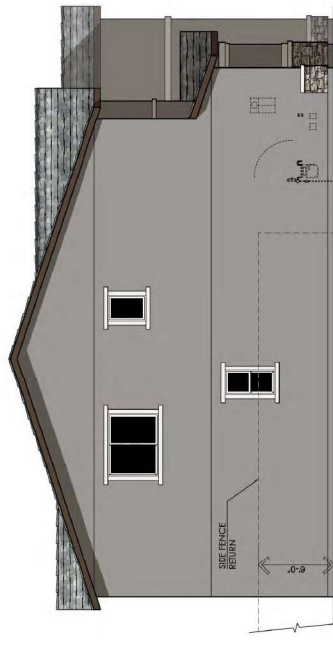
COLORS IN RENDERING MAY VARY IN
ACTUALITY. ALWAYS REFER TO THE COLOR
CHART IN THE SPECIFICATIONS.



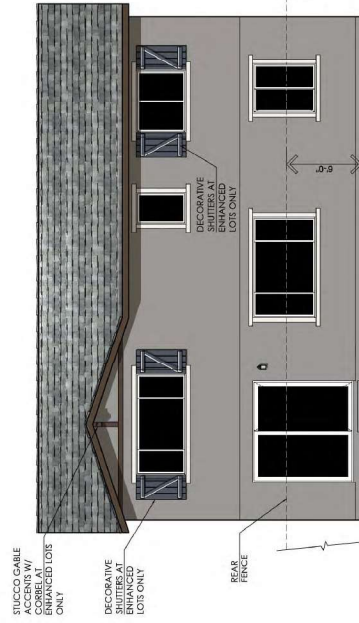
Rear Elevation



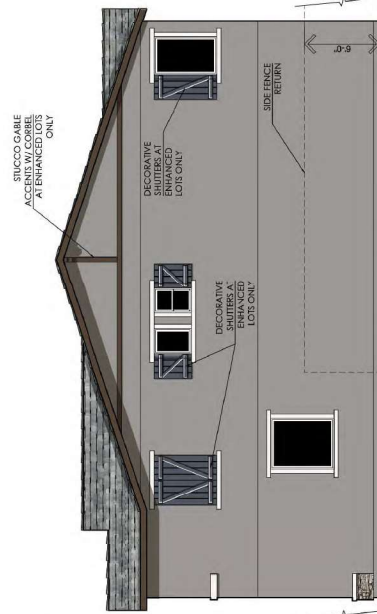
Left Elevation



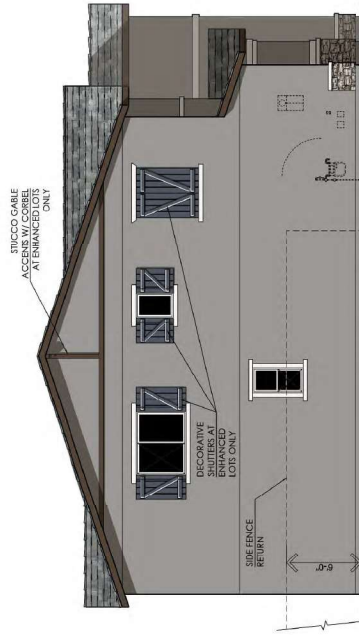
Right Elevation



Rear Elevation
"Enhanced"



Right Elevation
"Enhanced"



Left Elevation
"Enhanced"

4028-2 ■ 2,824 SQ. FT.

CRESTLY AT ALBERHILL RANCH

ELEVATION 'C'



Fairfield at Alberhill Ranch

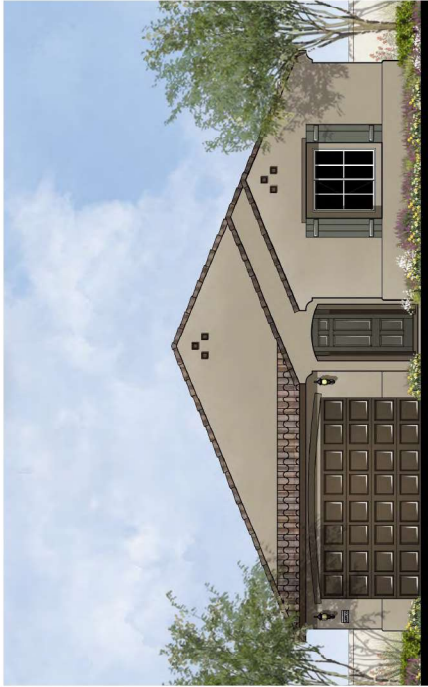
Lake Elsinore, CA



Design Review

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Date: January 26, 2023



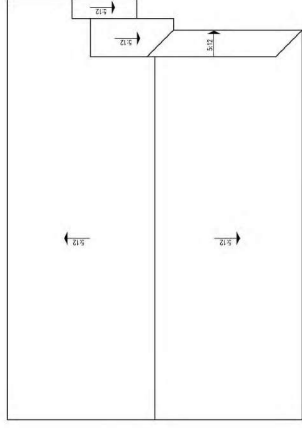
4521-3A
SPANISH | Color Scheme 12



4028-2C
CRAFTSMAN | Color Scheme 17



4026-5B
PRAIRIE | Color Scheme 15



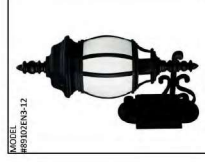
Roof Plan

Window Schedule

Floor Plan	Window Schedule
A	12'-0" x 5'-0" Slider
B	5'-0" x 5'-0" Slider
C	5'-0" x 5'-0" Slider
D	3'-0" x 4'-6" Fixed
E	8'-0" x 5'-0" Slider/Fixed/Slider
F	6'-0" x 8'-0" Sliding Glass Door
G	6'-0" x 5'-0" Slider/Fixed/Slider
H	8'-0" x 5'-0" Slider/Fixed/Slider
I	2'-0" x 5'-0" Fixed
J	4'-0" x 4'-0" Fixed



Floor Plan



Exterior Wall Light
at Elevation 'A'

Floor Area Table

1st Floor	2,191 SQ. FT.
Total Livable	2,191 SQ. FT.
Open Garage	448 SQ. FT.
Porch	54 SQ. FT.
Covered Patio	149 SQ. FT.

ELEVATION 'A'

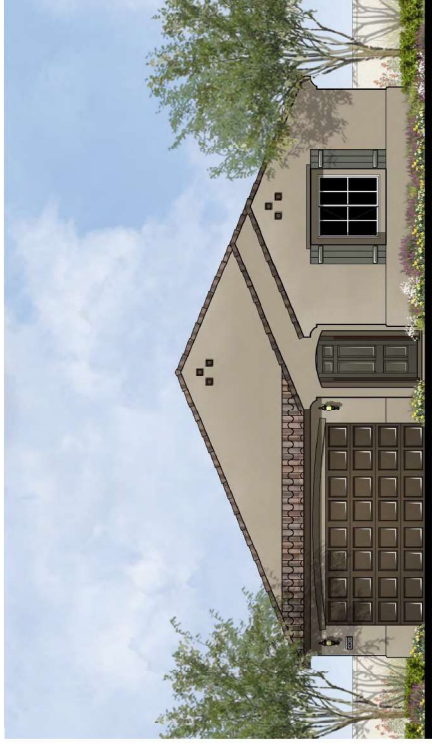
FAIRFIELD AT ALBERHILL RANCH

1/26/2023

4521-3 ■ 2,191 SQ. FT.

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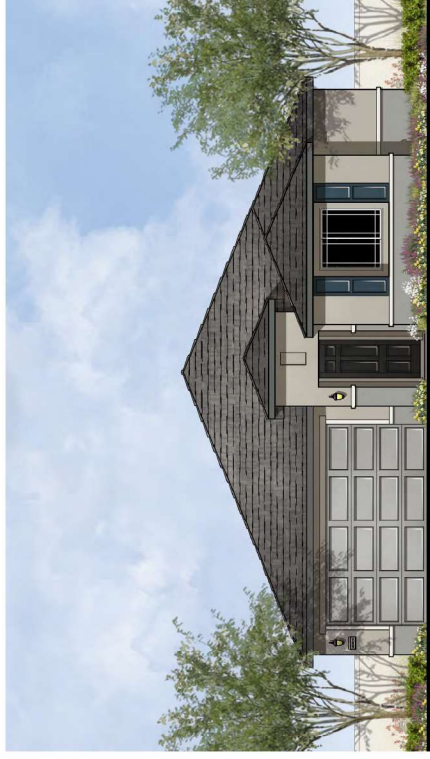




A - SPANISH
Color Scheme 12



C - CRAFTSMAN
Color Scheme 18

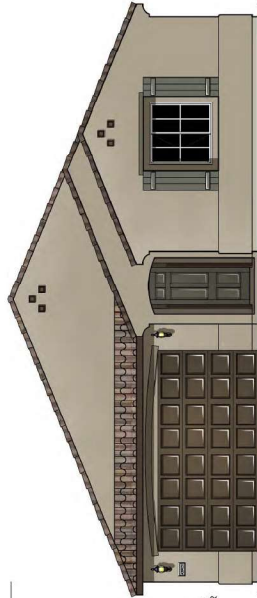


B - PRAIRIE
Color Scheme 14



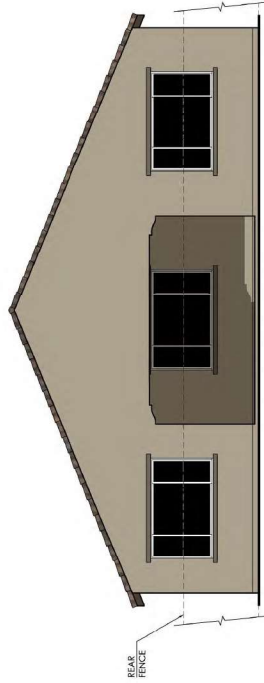
Exterior Materials

- A. STUCCO
- B. COMPOSITE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE CABLE ACCENTS
- E. STUCCO WINDOW GRIDS
- F. STUCCO WINDOW TRIM
- G. STANDARD COACH LIGHT
- H. LANTERN STYLE LIGHT FIXTURE
- I. DISTINCT 'A' ELEVATION WINDOW GRIDS
- J. DISTINCT 'A' ELEVATION GARAGE DOOR W/ OPT WINDOWS

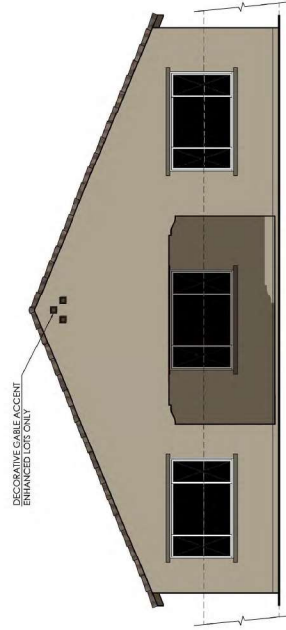


Front Elevation 'A' - Spanish

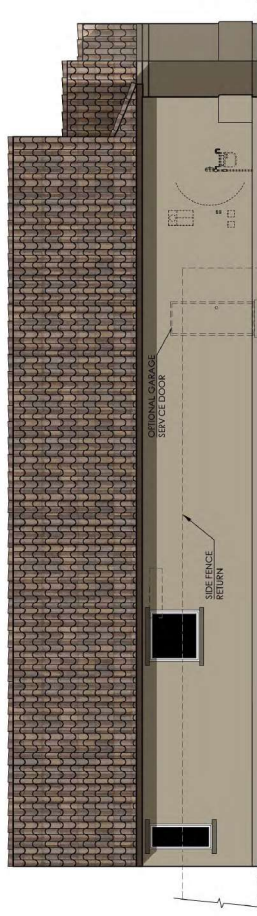
OPTIONAL SIDE REAR PORCH
ACCENT MATERIALS AVAILABLE
AS SEEN IN THE PACKAGE
CHIPS IN THE PACKAGE



Rear Elevation



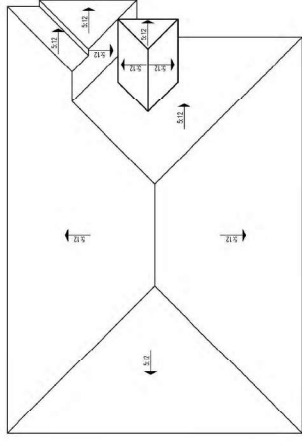
Rear Elevation shown
'Enhanced'



Left Elevation



Right Elevation



Roof Plan

Window Schedule

Floor Plan	Window Schedule
A	5'-0" x 5'-0" Slider
B	5'-0" x 5'-0" Slider
C	5'-0" x 5'-0" Slider
D	3'-0" x 4'-6" Fixed
E	8'-0" x 5'-0" Slider/Fixed/Slider
F	6'-0" x 8'-0" Sliding Glass Door
G	6'-0" x 5'-0" Slider/Fixed/Slider
H	8'-0" x 5'-0" Slider/Fixed/Slider
I	2'-0" x 5'-0" Fixed
J	4'-0" x 4'-0" Fixed



Floor Plan



Exterior Wall Light
at Elevation 'B'

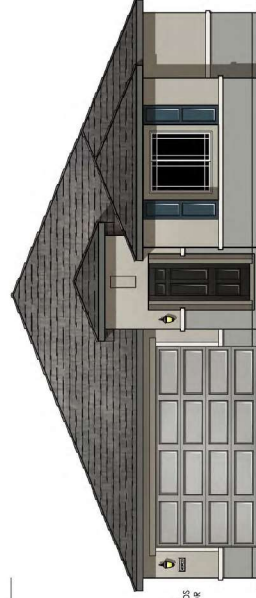
Floor Area Table

1st Floor	2,191 SQ. FT.
Total Livable	2,191 SQ. FT.
Garage	465 SQ. FT.
Porch	56 SQ. FT.
Covered Patio	149 SQ. FT.



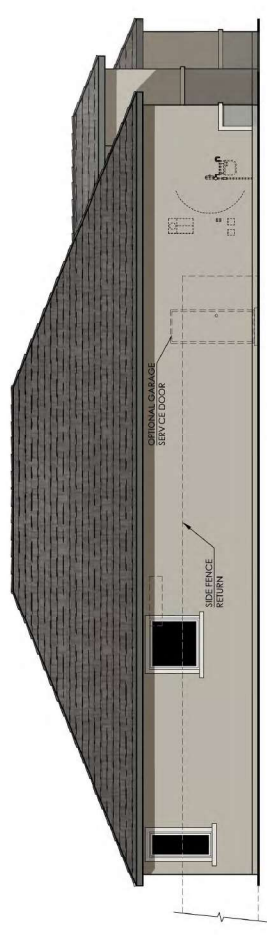
Exterior Materials

- A. STUCCO
B. CONCRETE TILE ROOFING
C. DECORATIVE SHUTTERS
D. STUCCO WINDOW TRIM
E. STANDARD COACH LIGHT
F. DISTINCT "B" ELEVATION WINDOW TRIM
G. DISTINCT "B" ELEVATION WINDOW GRIDS
H. DISTINCT "B" ELEVATION GARAGE DOOR
W/ OPT WINDOWS

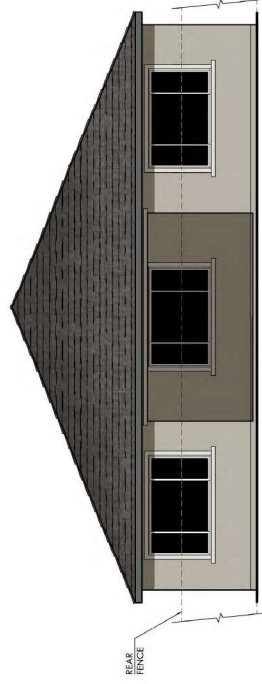


Front Elevation 'B' - Prairie

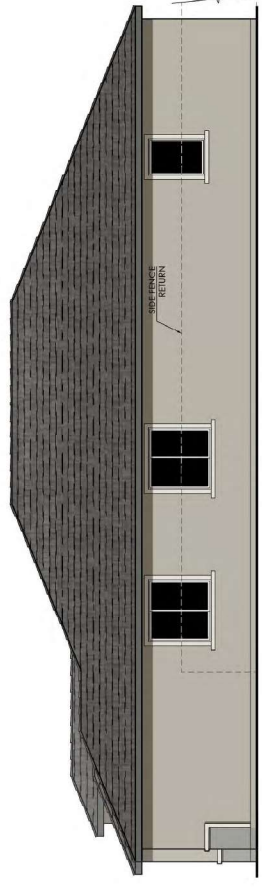
COLORS IN THIS WINEMARK MAY NOT BE ACCURATELY REPRESENTED DUE TO PRINTING. PLEASE REFER TO THE ACTUAL PAINT CHIPS IN THE DR LADGE.



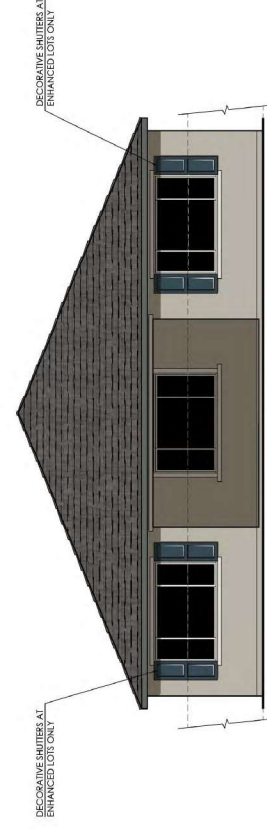
Left Elevation



Rear Elevation



Right Elevation

Rear Elevation shown
"Enhanced"

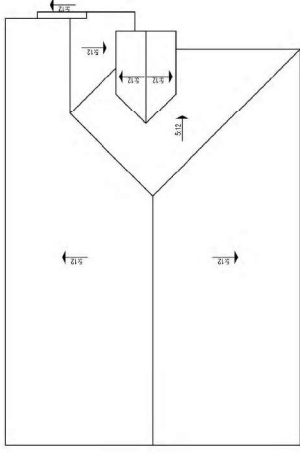
4521-3 ■ 2,191 SQ. FT.

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Note: Colors in this rendering may not be accurately represented due to printing. Please refer to the actual paint chips in the Df package.

1/26/2023

**ELEVATION 'B' -
PRAIRIE**



Roof Plan



Floor Plan



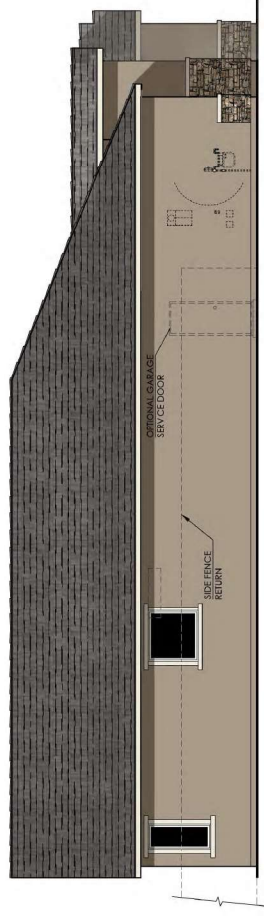
Exterior Wall Light
at Elevation 'C'

1st Floor	2,191 SQ. FT.
Total Livable	2,191 SQ. FT.
2-Car Garage	466 SQ. FT.
Porch	56 SQ. FT.
Covered Patio	149 SQ. FT.

Window Schedule

Roof Plan

A)	5'-0" x 5'-0" Slider
B)	5'-0" x 5'-0" Slider
C)	5'-0" x 5'-0" Slider
D)	5'-0" x 4'-6" Fixed
E)	8'-0" x 4'-0" Slider/Fixed/Slider
F)	6'-0" x 8'-0" Sliding Glass Door
G)	8'-0" x 5'-0" Slider/Fixed/Slider
H)	8'-0" x 5'-0" Slider/Fixed/Slider
I)	2'-0" x 5'-0" Fixed
J)	4'-0" x 4'-0" Fixed

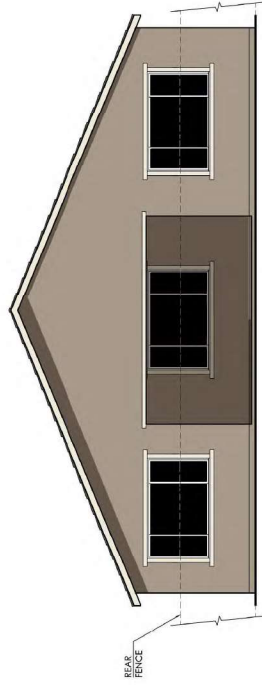


- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. STUCCO FINISHED ACCENT AT GABLES
- D. DECORATIVE CORBELS
- E. DECORATIVE STONE
- F. DECORATIVE SHUTTERS
- G. STUCCO WINDOW TRIM
- H. STANDARD COACH LIGHT
- I. DISTINCT "C" ELEVATION WINDOW TRIM
- J. DISTINCT "C" ELEVATION WINDOW GRIDS
- K. DISTINCT "K" ELEVATION GARAGE DOOR
- W/ OPT WINDOWS

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. STUCCO FINISHED ACCENT AT GABLES
- D. DECORATIVE CORBELS
- E. DECORATIVE STONE
- F. DECORATIVE SHUTTERS
- G. STUCCO WINDOW TRIM
- H. STANDARD COACH LIGHT
- I. DISTINCT "C" ELEVATION WINDOW TRIM
- J. DISTINCT "C" ELEVATION WINDOW GRIDS
- K. DISTINCT "K" ELEVATION GARAGE DOOR
- W/ OPT WINDOWS

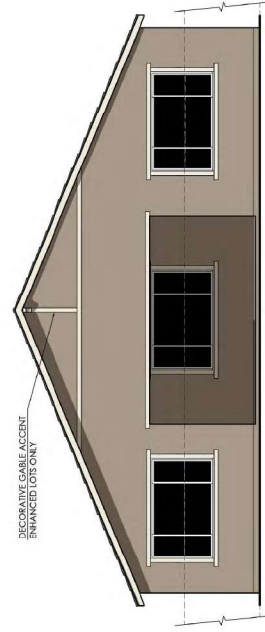


COLOURS IN THIS BINDER MAY NOT BE
ACCURATELY REPRESENTED DUE TO PRINTING.
PLEASE REFER TO THE ACTUAL PAINT
CHIPS IN THE OR PACKAGE.



Architectural elevation drawing of the side of a house. The drawing shows a dark, textured roof on the left, a light-colored wall with three windows, and a small porch area on the right. A dashed line indicates the 'SIDE FLOOR RETURN'.

Right Elevation

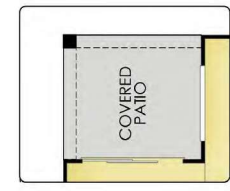


DECORATIVE GABLE ACCENT
ENHANCED LOTS ONLY

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**ELEVATION 'C' -
CRAFTSMAN**

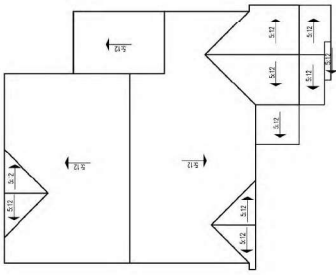
Window Schedule	
1st Floor	2nd Floor
A) 3'-0" x 5'-0" Single Hung	I) 5'-0" x 4'-0" Slider
B) 2'-0" x 4'-0" Fixed	J) 1'-6" x 3'-0" Fixed
C) 2'-0" x 4'-0" Fixed	K) 1'-6" x 3'-0" Fixed
D) 2'-0" x 4'-0" Fixed	L) 1'-6" x 3'-0" Fixed
E) 6'-0" x 5'-0" Slider	M) 3'-0" x 5'-0" Fixed
F) 8'-0" x 8'-0" Sliding Glass Door	N) 2'-6" x 4'-0" Fixed
G) 6'-0" x 5'-0" Slider	O) 6'-0" x 4'-0" Fixed
H) 6'-0" x 5'-0" Slider	P) 4'-0" x 4'-0" Fixed
	Q) 5'-0" x 4'-0" Fixed
	R) 5'-0" x 4'-0" Fixed
	S) 2'-6" x 4'-0" Fixed



Optional Covered Patio



Exterior Wall Light at Elevation 'A'



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,150 SQ. FT.
2nd Floor	1,503 SQ. FT.
Total	2,655 SQ. FT.
2 - Car Garage	428 SQ. FT.
Porch	50 SQ. FT.
Opt. Covered Patio	110 SQ. FT.

4026-5 ■ 2,655 SQ. FT.

FAIRFIELD AT ALBERHILL RANCH

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ELEVATION 'A'



A - SPANISH
Color Scheme 10



C - CRAFTSMAN
Color Scheme 16



B - PRAIRIE
Color Scheme 15

Exterior Materials

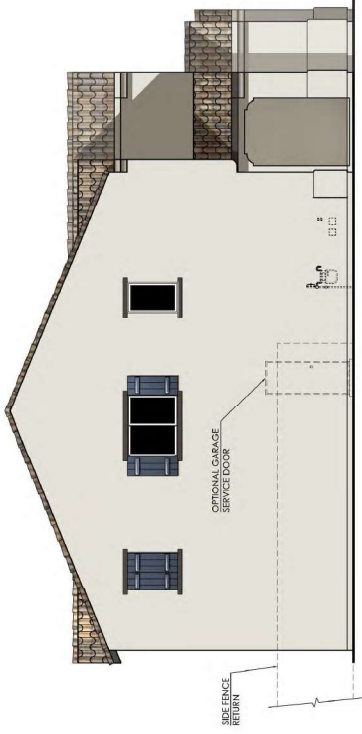
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO CORBEL LEAVES
- E. STUCCO CORREL LEAVES
- F. STANDARD CORREL LEAVES
- G. STANDARD CORREL LEAVES
- H. DISTINCT "A" ELEVATION WINDOW TRIM
- I. DISTINCT "A" ELEVATION WINDOW GRIDS
- J. DISTINCT "A" ELEVATION GARAGE DOOR W/ OPT WINDOWS

OPTIONAL GARAGE DOOR W/ OPT WINDOWS

Front Elevation 'A' - Spanish



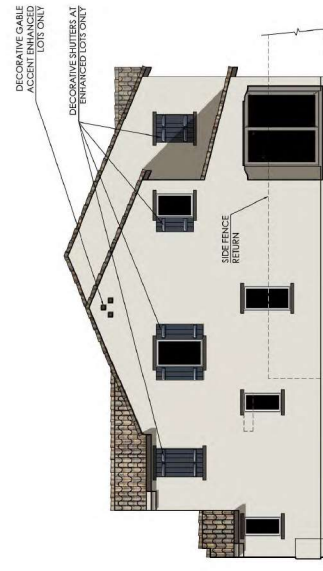
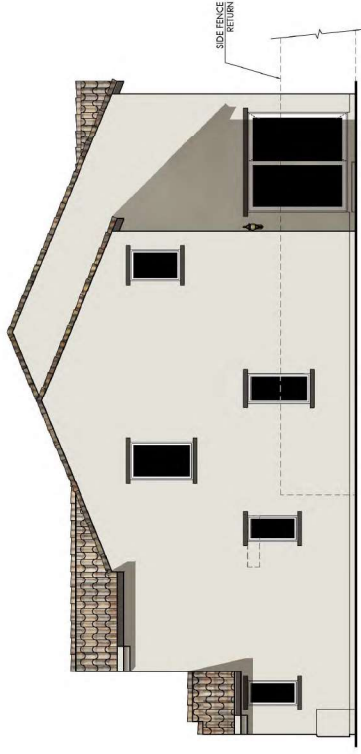
Left Elevation



Rear Elevation



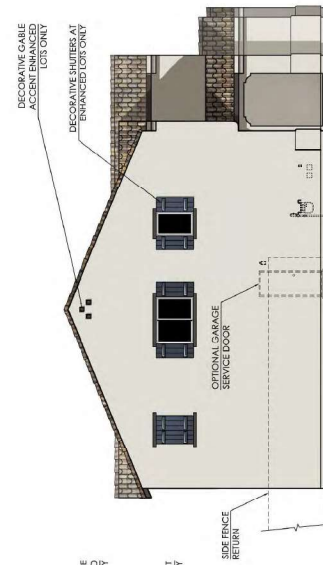
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio



Rear Elevation shown "Enhanced" and with Optional Covered Patio

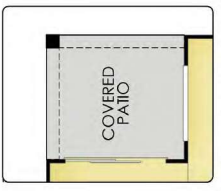


Left Elevation shown "Enhanced"

ELEVATION 'B'

Window Schedule

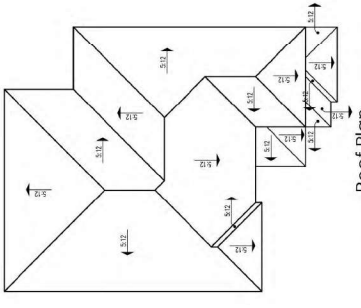
1st Floor	2nd Floor
A) 3'-0" x 5'-0" Single Hung	I) 5'-0" x 4'-0" Slider
B) 2'-0" x 4'-0" Fixed	J) 1'-6" x 3'-0" Fixed
C) 2'-0" x 4'-0" Fixed	K) 1'-6" x 3'-0" Fixed
D) 1'-6" x 3'-0" Fixed	L) 3'-0" x 5'-0" Slider
E) 6'-0" x 5'-0" Slider	M) 3'-0" x 5'-0" Fixed
F) 8'-0" x 8'-0" Sliding Glass Door	N) 2'-6" x 4'-0" Fixed
G) 6'-0" x 5'-0" Slider	O) 6'-0" x 4'-0" Slider
H) 6'-0" x 5'-0" Slider	P) 4'-0" x 4'-0" Fixed
	Q) 5'-0" x 4'-0" Slider
	R) 2'-6" x 4'-0" Slider
	S) 2'-6" x 4'-0" Fixed



Optional Covered Patio



First Floor Plan



Second Floor Plan

Floor Area Table

1st Floor	1,150 SQ. FT.
2nd Floor	1,503 SQ. FT.
Total	2,655 SQ. FT.
2 - Car Garage	428 SQ. FT.
Porch	58 SQ. FT.
Optl Covered Patio	110 SQ. FT.



Exterior Wall Light at Elevation 'B'

TO RIDGE
1/2" = 8'

Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. RECESSED WINDOW LOCATIONS
- E. RECESSED WINDOW LOCATIONS
- F. DISTINCT "E" ELEVATION WINDOW TRIM
- G. DISTINCT "E" ELEVATION WINDOW TRIM
- H. DISTINCT "E" ELEVATION GARAGE DOOR W/ OPT WINDOWS



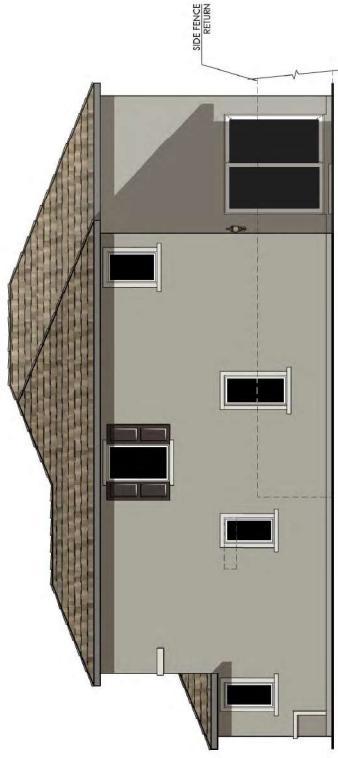
Front Elevation 'B' - Prairie

LOCATED IN THE CENTER OF THE LOT
FOR THE BEST VIEW OF THE LOT
FOR THE BEST VIEW OF THE LOT

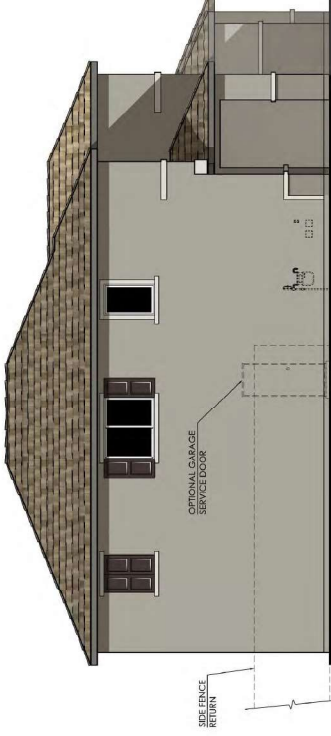


REAR FENCE

SIDE FENCE RETURN



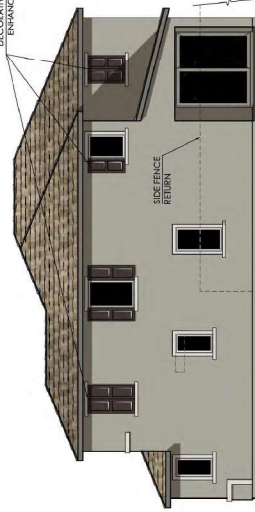
SIDE FENCE RETURN



SIDE FENCE RETURN

OPTIONAL GARAGE SERVICE DOOR

DECORATIVE SHUTTERS AT ENHANCED LOTS ONLY



SIDE FENCE RETURN

Right Elevation shown "Enhanced" and with Optional Covered Patio

DECORATIVE SHUTTERS AT ENHANCED LOTS ONLY



REAR FENCE

Rear Elevation shown "Enhanced" and with Optional Covered Patio

DECORATIVE SHUTTERS AT ENHANCED LOTS ONLY



SIDE FENCE RETURN

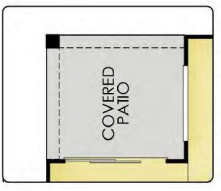
OPTIONAL GARAGE SERVICE DOOR

Left Elevation shown "Enhanced"

ELEVATION 'C'

Window Schedule

1st Floor		2nd Floor	
A)	3'-0" x 5'-0" Single Hung	I)	5'-0" x 4'-0" Slider
B)	2'-0" x 4'-0" Fixed	J)	1'-6" x 3'-0" Fixed
C)	2'-0" x 4'-0" Fixed	K)	1'-6" x 3'-0" Fixed
D)	2'-0" x 4'-0" Fixed	L)	1'-6" x 3'-0" Fixed
E)	6'-0" x 5'-0" Slider	M)	3'-0" x 5'-0" Fixed
F)	8'-0" x 8'-0" Sliding Glass Door	N)	2'-6" x 4'-0" Fixed
G)	6'-0" x 5'-0" Slider	O)	2'-6" x 4'-0" Fixed
H)	6'-0" x 5'-0" Slider	P)	4'-0" x 4'-0" Fixed
		Q)	5'-0" x 4'-0" Fixed
		R)	2'-6" x 4'-0" Fixed
		S)	2'-6" x 4'-0" Fixed



Optional Covered Patio



Exterior Wall Light
at Elevation 'C'



First Floor Plan

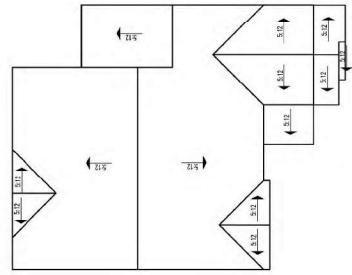


Second Floor Plan

Floor Area Table

1st Floor	1,150 SQ. FT.
2nd Floor	1,503 SQ. FT.
Total	2,655 SQ. FT.
2 - Car Garage	428 SQ. FT.
Porch	58 SQ. FT.
Opt. Covered Patio	110 SQ. FT.

Roof Plan



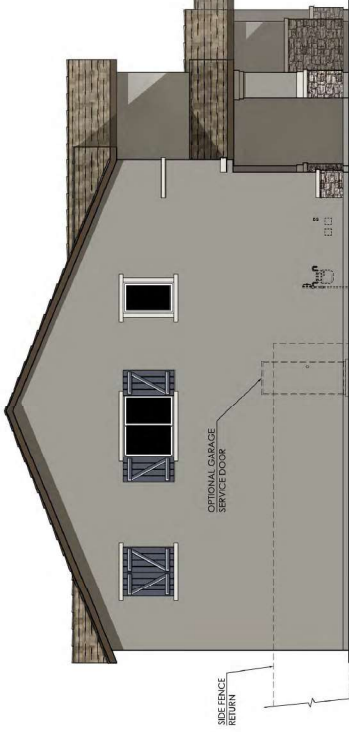


Front Elevation 'C' - Craftsman

COLORS IN RENDERING MAY VARY BY REGION.
PAGES ARE INTENT TO BE USED AS A GUIDE.
CHECK WITH THE SELLER FOR DETAILS.

Exterior Materials

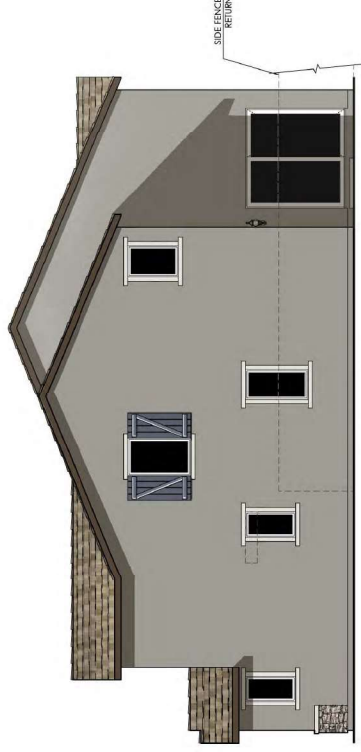
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE STONE
- D. DECORATIVE GABLE DETAILING
- E. DECORATIVE SHUTTERS
- F. RECESSED WINDOW LOCATION
- G. RECESSED WINDOW LOCATION
- H. DECORATIVE SHUTTERS
- I. DECORATIVE SHUTTERS
- J. DECORATIVE SHUTTERS
- K. DISTINCT 'C' ELEVATION WINDOW GROUPS
- L. DISTINCT 'C' ELEVATION GARAGE DOOR W/ OPT WINDOWS



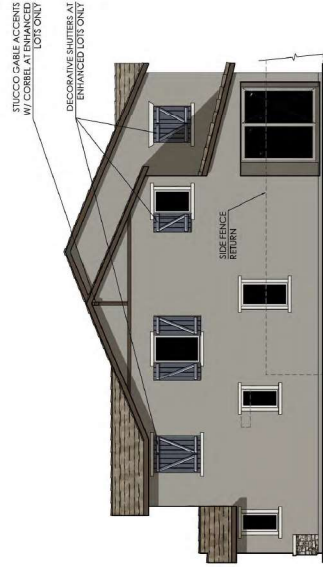
Left Elevation



Rear Elevation



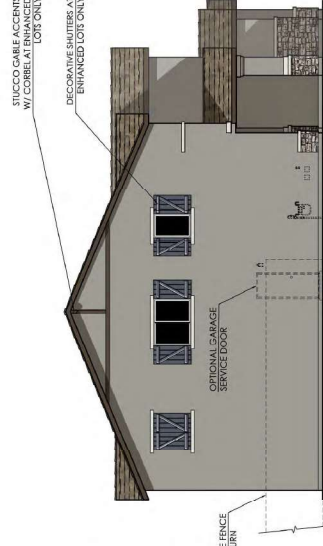
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio

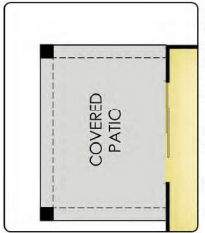


Rear Elevation shown "Enhanced" and with Optional Covered Patio



Left Elevation shown "Enhanced"

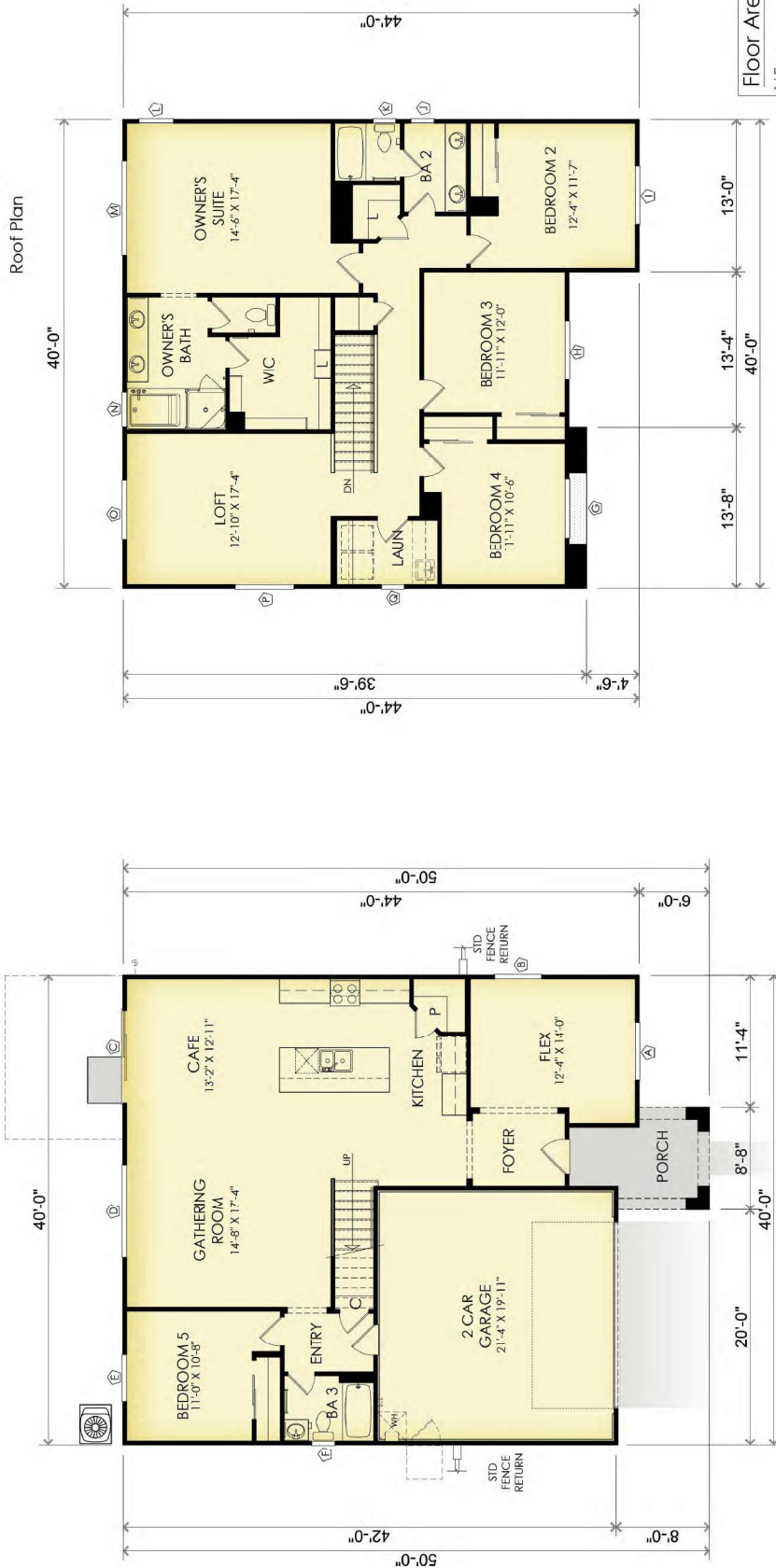
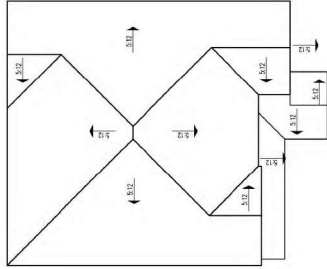
Window Schedule	
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 4'-0" x 5'-0" Fixed	H) 5'-0" x 4'-0" Slider
C) 8'-0" x 8'-0" Sliding Glass Door	I) 5'-0" x 4'-0" Slider
D) 8'-0" x 5'-0" Slider/Fixed/Slider	J) 2'-0" x 3'-0" Single Hung
E) 4'-0" x 5'-0" Slider	K) 2'-0" x 3'-0" Fixed
F) 2'-0" x 4'-0" Single Hung	L) 8'-0" x 4'-0" Slider/Fixed/Slider
	M) 2'-6" x 4'-0" Fixed
	N) 2'-6" x 4'-0" Slider
	O) 5'-0" x 4'-0" Slider
	P) 5'-0" x 4'-0" Fixed
	Q) 2'-0" x 3'-0" Fixed



Optional Covered Patio



Exterior Wall Light at Elevation 'A'



Floor Area Table	
1st Floor	1,243 SQ. FT.
2nd Floor	1,581 SQ. FT.
Total	2,824 SQ. FT.
2 - Car Garage	446 SQ. FT.
Porch	137 SQ. FT.
Opt. Covered Patio	140 SQ. FT.

Second Floor Plan

First Floor Plan



A - SPANISH
Color Scheme 11



C - CRAFTSMAN
Color Scheme 17



B - Prairie
Color Scheme 13



Front Elevation 'A' - Spanish

OPTIONAL GARAGE SERVICE DOOR
OPTIONAL GARAGE SERVICE DOOR



Rear Elevation

REAR FENCE RETURN

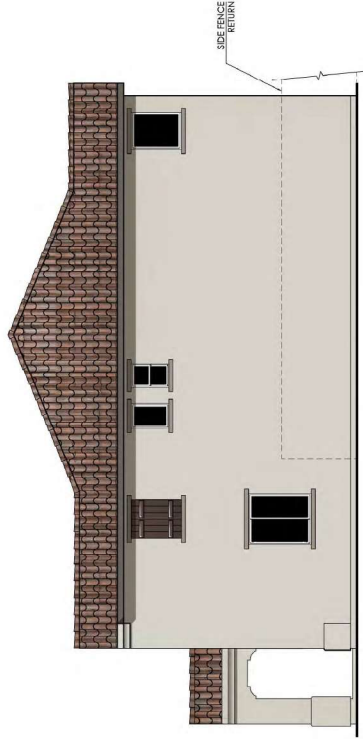
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE CORBELS
- E. STUCCO CORBEL LEAVES
- F. STANDARD COACH LIGHT
- G. STANDARD COACH LIGHT
- H. DISTINCT 'A' ELEVATION WINDOW TRIM
- I. DISTINCT 'A' ELEVATION WINDOW GRIDS
- J. DISTINCT 'A' ELEVATION GARAGE DOOR W/ OPT WINDOWS

Left Elevation

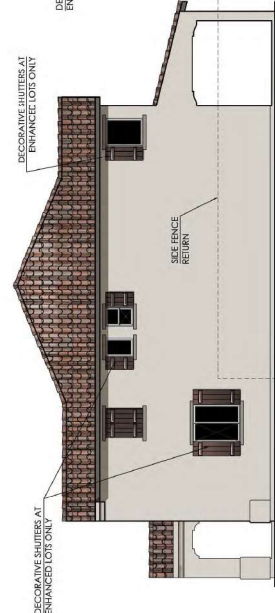


SIDE FENCE RETURN



Right Elevation

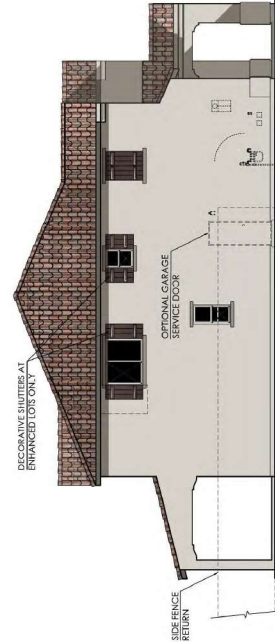
SIDE FENCE RETURN



Rear Elevation shown "Enhanced" and with Optional Covered Patio



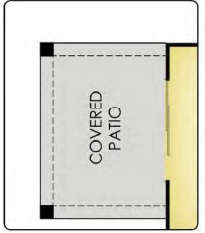
Rear Elevation shown "Enhanced" and with Optional Covered Patio



Left Elevation shown "Enhanced" and with Optional Covered Patio

Window Schedule

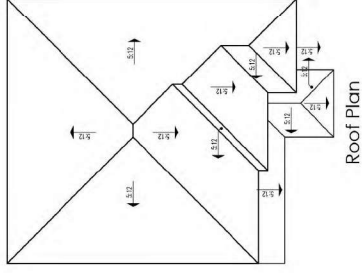
1st Floor	2nd Floor
A) 5'-0" x 6'-0" Slider	G) 5'-0" x 4'-0" Slider
B) 4'-0" x 5'-0" Fixed	H) 5'-0" x 4'-0" Slider
C) 8'-0" x 8'-0" Sliding Glass Door	I) 5'-0" x 4'-0" Slider
D) 8'-0" x 5'-0" Slider/Fixed/Slider	J) 2'-0" x 3'-0" Single Hung
E) 4'-0" x 5'-0" Slider	K) 2'-0" x 3'-0" Fixed
F) 2'-0" x 4'-0" Single Hung	L) 8'-0" x 4'-0" Fixed
	M) 2'-6" x 4'-0" Fixed
	N) 2'-6" x 4'-0" Slider
	O) 5'-0" x 4'-0" Slider
	P) 5'-0" x 4'-0" Slider
	Q) 2'-0" x 3'-0" Fixed



Optional Covered Patio



Exterior Wall Light at Elevation 'B'



First Floor Plan



Second Floor Plan

Floor Area Table

1st Floor	1,243 SQ. FT.
2nd Floor	1,581 SQ. FT.
Total	2,824 SQ. FT.
2 - Car Garage	446 SQ. FT.
Porch	137 SQ. FT.
Opt. Covered Patio	140 SQ. FT.

Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. STANDARD COACH LIGHT
- D. RECESSED WINDOW LOCATIONS
- E. RECESSED WINDOW LOCATIONS TRIM
- F. DISTINCT TRIM ELEVATION WINDOW GRIDS
- G. DISTINCT TRIM ELEVATION GARAGE DOOR W/ GIFT WINDOWS

Front Elevation 'B' - Prairie

COVERED PORCHES ARE NOT INCLUDED IN THE SQUARE FOOTAGE OF THE PACKAGE.
ACTUAL MATERIALS MAY VARY FROM THE PACKAGE.
COVER IS NOT INCLUDED.



Left Elevation



Rear Elevation



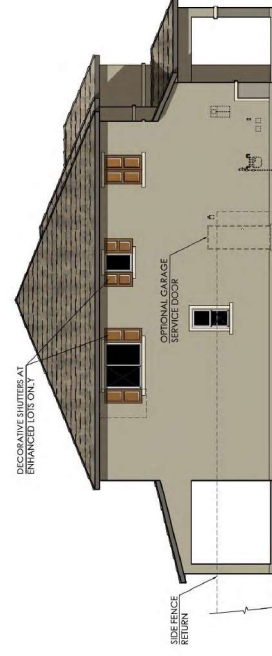
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio

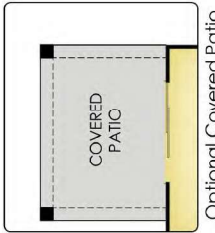


Rear Elevation shown "Enhanced" and with Optional Covered Patio

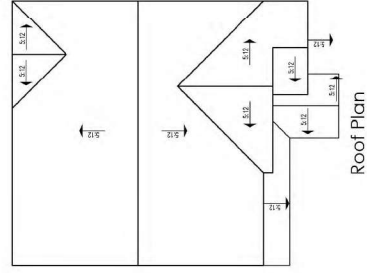


Left Elevation shown "Enhanced" and with Optional Covered Patio

Window Schedule	
1st Floor	2nd Floor
A) 3'-0" x 5'-0" Single Hung	I) 5'-0" x 4'-0" Slider
B) 3'-0" x 5'-0" Fixed	J) 5'-0" x 4'-0" Fixed
C) 2'-0" x 4'-0" Fixed	K) 1'-6" x 3'-0" Fixed
D) 2'-0" x 5'-0" Fixed	L) 5'-0" x 4'-0" Slider
E) 2'-0" x 5'-0" Fixed	M) 3'-0" x 5'-0" Fixed
F) 6'-0" x 8'-0" Sliding Glass Door	N) 2'-6" x 4'-0" Fixed
G) 6'-0" x 5'-0" Slider	O) 6'-0" x 4'-0" Slider
H) 6'-0" x 5'-0" Fixed	P) 6'-0" x 4'-0" Fixed
	Q) 5'-0" x 4'-0" Slider
	R) 5'-0" x 4'-0" Fixed
	S) 2'-6" x 4'-0" Fixed



Exterior Wall Light
at Elevation 'C'



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,243 SQ. FT.
2nd Floor	1,581 SQ. FT.
Total	2,824 SQ. FT.
2 - Car Garage	446 SQ. FT.
Porch	141 SQ. FT.
Opt. Covered Patio	146 SQ. FT.

TO RIDGE
42.84'

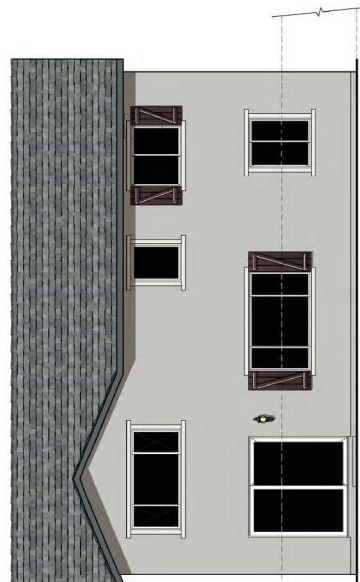


Exterior Materials

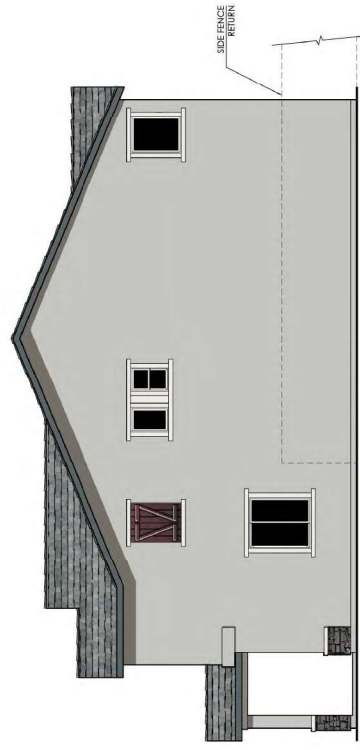
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. STUCCO WITH CONCRETE TILE ROOFING
- D. DECORATIVE GABLE DETAILING
- E. DECORATIVE STONE
- F. DECORATIVE WINDOW TRIM
- G. RECESSED WINDOW LOCATION
- H. DECORATIVE SHUTTERS
- I. DECORATIVE WINDOW TRIM
- J. DISTINCT 'C' ELEVATION WINDOW GRIDS
- K. DISTINCT 'C' ELEVATION GARAGE DOOR W/ OPT WINDOWS

Front Elevation 'C' - Craftsman

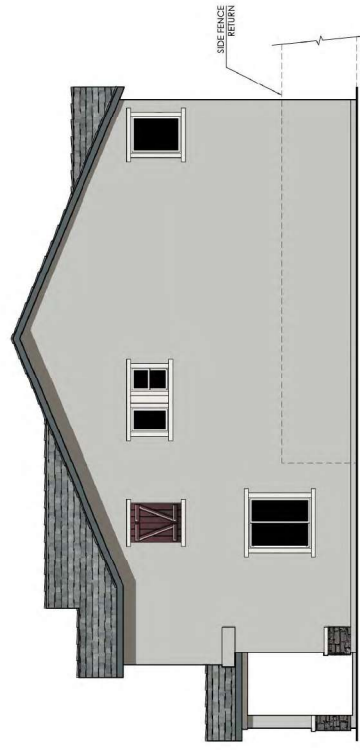
COLORS IN RENDERING MAY VARY BE
PROCESSED INTO THE COLOR PLAN
CARE IN THE 3D PLAN BOOK



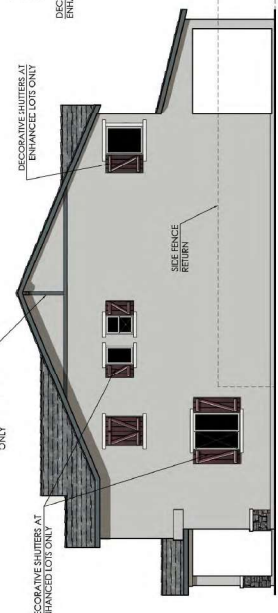
Rear Elevation



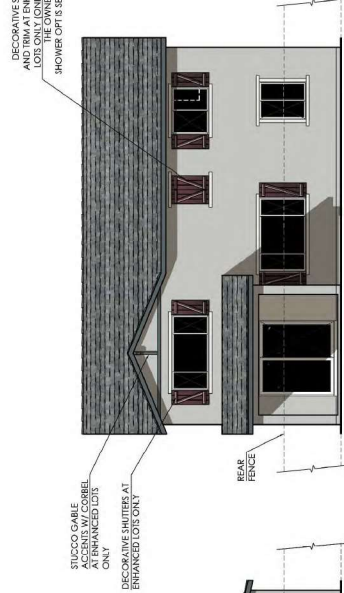
Left Elevation



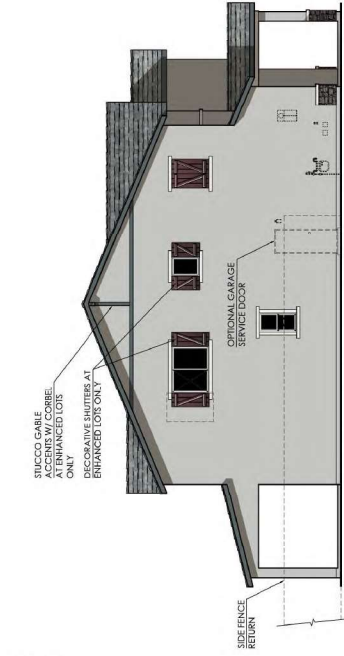
Right Elevation



Right Elevation shown "Enhanced"
and with Optional Covered Patio



Rear Elevation shown "Enhanced"
and with Optional Covered Patio



Left Elevation shown "Enhanced"
and with Optional Covered Patio



Linden at Alberhill Ranch

Lake Elsinore, CA



Design Review

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Date: December 23, 2022



4829-1 A
SPANISH | Color Scheme 19



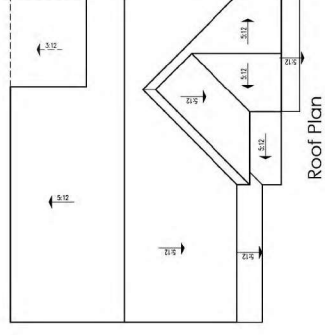
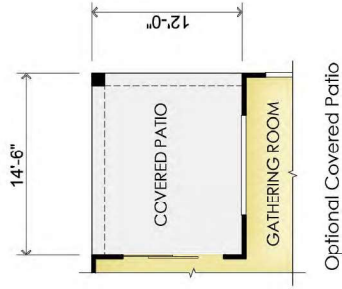
5027-1 B
PRAIRIE | Color Scheme 22



4932-1 C
CRAFTSMAN | Color Scheme 26

Window Schedule

1st Floor	2nd Floor
A) 2'-0" x 3'-0" Fixed	I) 3'-0" x 5'-0" Single Hung
B) 4'-0" x 5'-0" Slider	J) 3'-0" x 5'-0" Single Hung
C) 3'-0" x 5'-0" Fixed	K) 3'-0" x 5'-0" Single Hung
D) 3'-0" x 5'-0" Fixed	L) 2'-0" x 3'-0" Fixed
E) 8'-0" x 5'-0" Slider/Fixed/Slider	M) 4'-0" x 5'-0" Fixed
F) 8'-0" x 8'-0" Sliding Glass Door	N) 4'-0" x 5'-0" Fixed
G) 5'-0" x 5'-0" Slider	O) 3'-0" x 5'-0" Single Hung
H) 4'-0" x 4'-6" Slider	P) 3'-0" x 5'-0" Single Hung
	Q) 3'-0" x 5'-0" Fixed/Fixed/Slider
	R) 3'-0" x 5'-0" Fixed
	S) 8'-0" x 5'-0" Slider/Fixed/Slider
	T) 5'-0" x 5'-0" Slider
	U) 5'-0" x 5'-0" Slider



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,166 SQ. FT.
2nd Floor	1,508 SQ. FT.
Garage	217 SQ. FT.
2 - Car Garage	437 SQ. FT.
Porch	68 SQ. FT.
Opt. Covered Patio	174 SQ. FT.

5027-1

2,792 SQ. FT.

LINDEN AT ALBERHILL RANCH

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ELEVATION 'A'

03/24/2022



A - SPANISH
Color Scheme 20



C - CRAFTSMAN
Color Scheme 25



B - PRAIRIE
Color Scheme 22

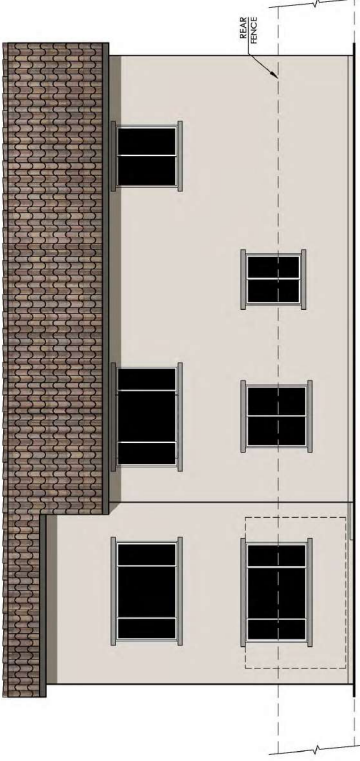
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO CORBEL FAIS
- E. STUCCO CORBEL FAIS
- F. STUCCO CORBEL FAIS
- G. STUCCO CORBEL FAIS
- H. STUCCO CORBEL FAIS
- I. STUCCO CORBEL FAIS
- J. STUCCO CORBEL FAIS
- K. STUCCO CORBEL FAIS
- L. STUCCO CORBEL FAIS
- M. STUCCO CORBEL FAIS
- N. STUCCO CORBEL FAIS
- O. STUCCO CORBEL FAIS
- P. STUCCO CORBEL FAIS
- Q. STUCCO CORBEL FAIS
- R. STUCCO CORBEL FAIS
- S. STUCCO CORBEL FAIS
- T. STUCCO CORBEL FAIS
- U. STUCCO CORBEL FAIS
- V. STUCCO CORBEL FAIS
- W. STUCCO CORBEL FAIS
- X. STUCCO CORBEL FAIS
- Y. STUCCO CORBEL FAIS
- Z. STUCCO CORBEL FAIS



Front Elevation 'A' - Spanish

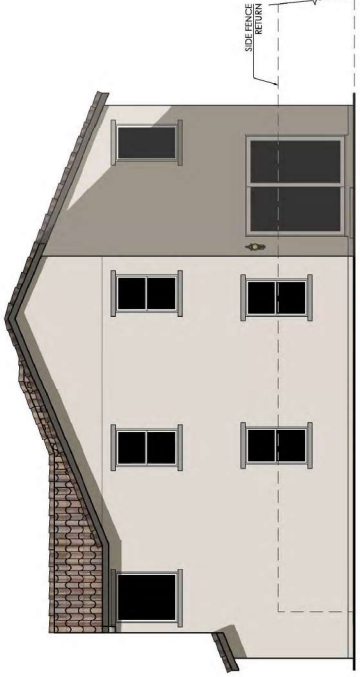
COLORED IN THE RENDERING MAY NOT BE
ACCURATE. PLEASE REFER TO THE ACTUAL
COLORS IN THE RENDERING.



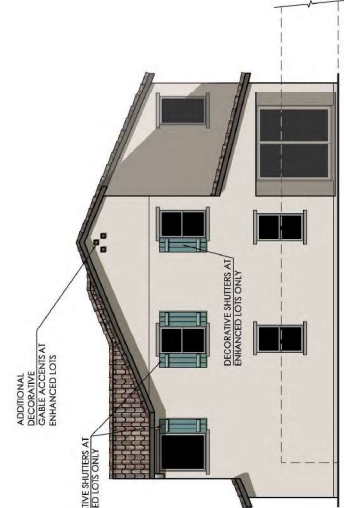
Rear Elevation



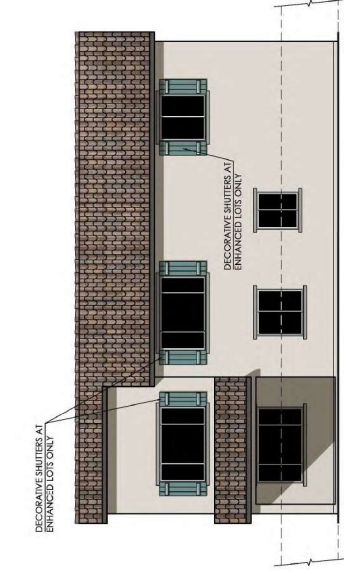
Left Elevation



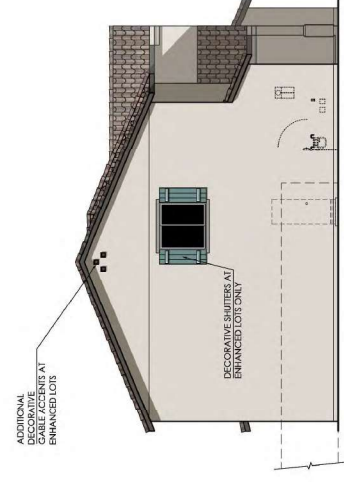
Right Elevation



Right Elevation shown "Enhanced"
and with Optional Covered Patio



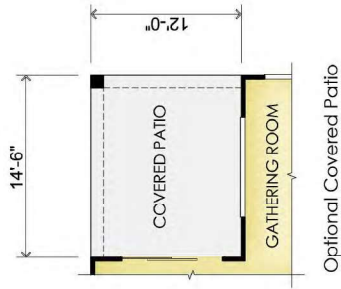
Rear Elevation shown "Enhanced"
and with Optional Covered Patio



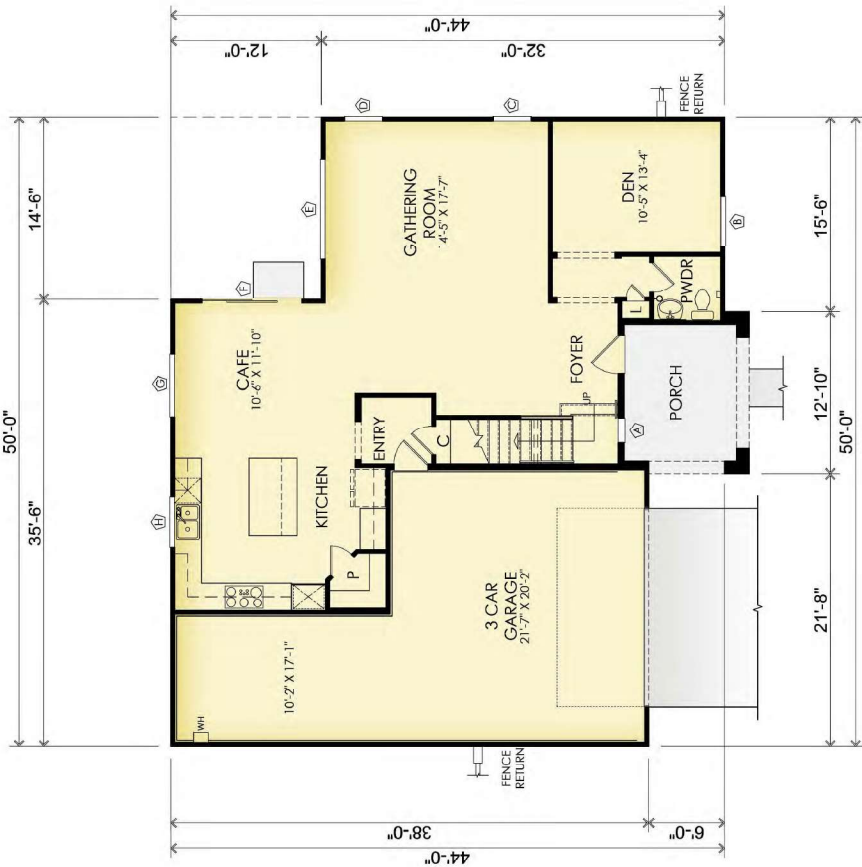
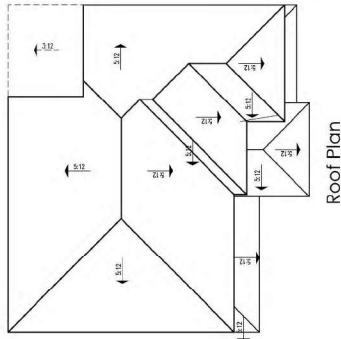
Left Elevation shown "Enhanced"
and with Optional Covered Patio

Window Schedule

1st Floor	
A)	2'-0" x 3'-0" Fixed
B)	4'-0" x 5'-0" Slider
C)	3'-0" x 5'-0" Single Hung
D)	3'-0" x 5'-0" Single Hung
E)	3'-0" x 5'-0" Single Hung
F)	8'-0" x 5'-0" Slider/Fixed/Slider
G)	8'-0" x 5'-0" Slider/Fixed/Slider
H)	4'-0" x 4'-6" Slider
2nd Floor	
I)	3'-0" x 5'-0" Single Hung
J)	3'-0" x 5'-0" Single Hung
K)	3'-0" x 5'-0" Single Hung
L)	3'-0" x 5'-0" Single Hung
M)	4'-0" x 5'-0" Slider
N)	4'-0" x 5'-0" Fixed
O)	3'-0" x 5'-0" Single Hung
P)	3'-0" x 5'-0" Single Hung
Q)	8'-0" x 5'-0" Slider/Fixed/Slider
R)	8'-0" x 5'-0" Slider/Fixed/Slider
S)	8'-0" x 5'-0" Slider/Fixed/Slider
T)	5'-0" x 5'-0" Slider
U)	5'-0" x 5'-0" Slider



Exterior Wall Light
at Elevation 'B'



Floor Area Table	
1st Floor	1,166 SQ. FT.
2nd Floor	1,622 SQ. FT.
Loft	2,792 SQ. FT.
3 Car Garage	437 SQ. FT.
Porch	91 SQ. FT.
Opt. Covered Patio	174 SQ. FT.

5027-1 ■ 2,792 SQ. FT.

LINDEN AT ALBERHILL RANCH

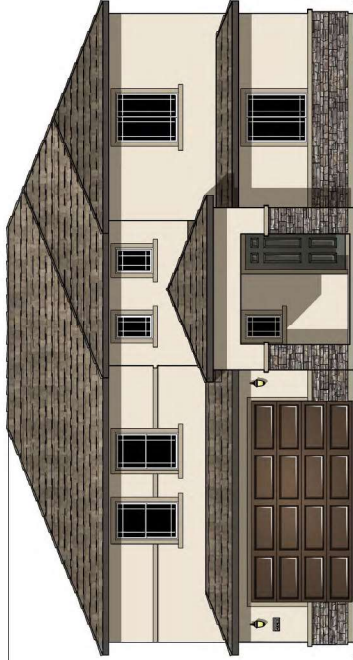
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ELEVATION 'B'

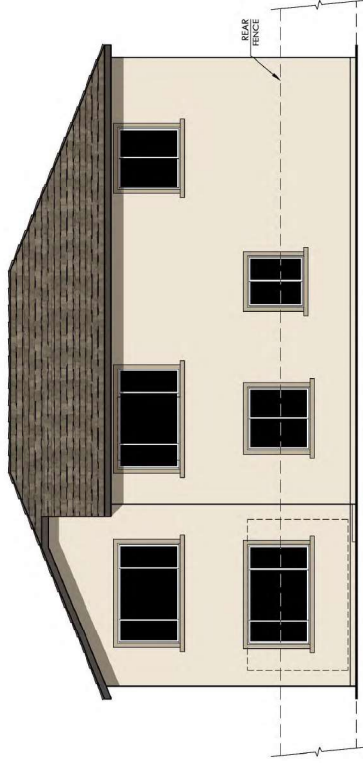
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DARK GRAY SHUTTERS AT ENHANCED LOTS
- D. STUCCO WINDOW TRIM
- E. STUCCO GARAGE DOOR
- F. DISTINCT 1" ELEVATION GARAGE DOOR W/ OPT WINDOWS
- G. STUCCO 1" ELEVATION WINDOW GRIDS

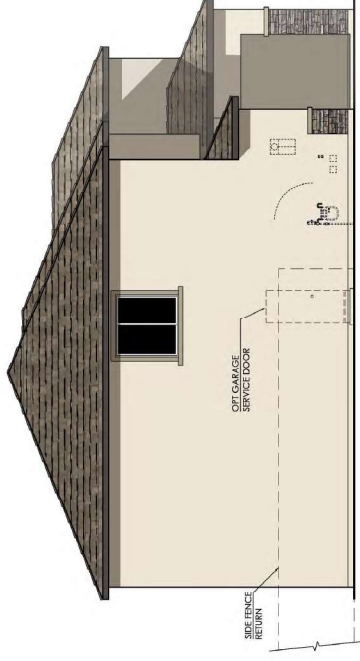


Front Elevation 'B' - Prairie

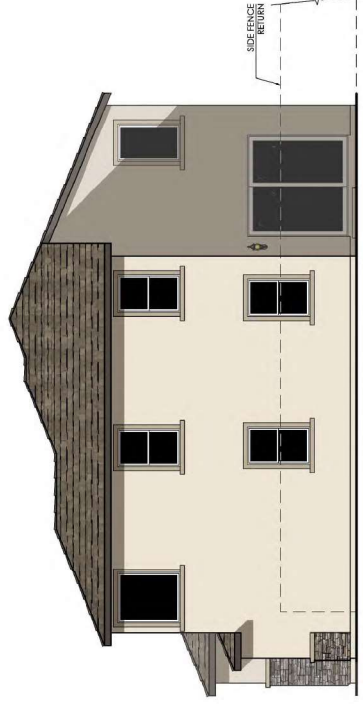
COLORS IN THE RENDERING MAY NOT BE ACCURATE. PLEASE REFER TO THE ACTUAL PAINT CHIPS IN THE DR PACKAGE.



Rear Elevation



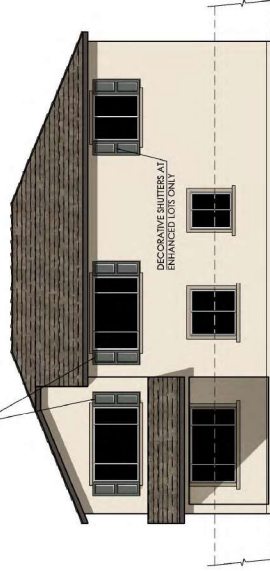
Left Elevation



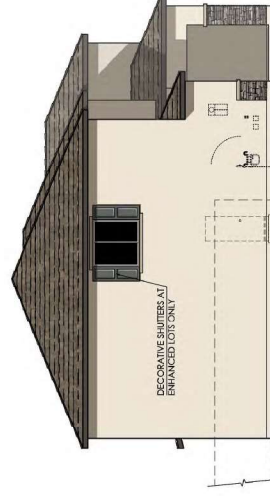
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio



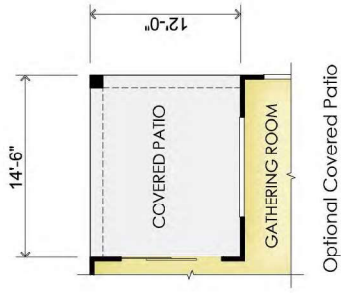
Rear Elevation shown "Enhanced" and with Optional Covered Patio



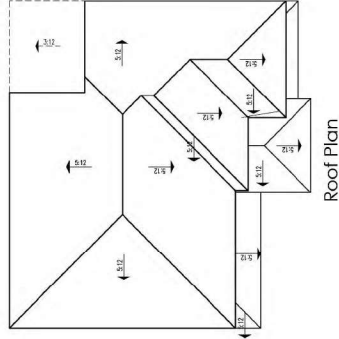
Left Elevation shown "Enhanced" and with Optional Covered Patio

Window Schedule

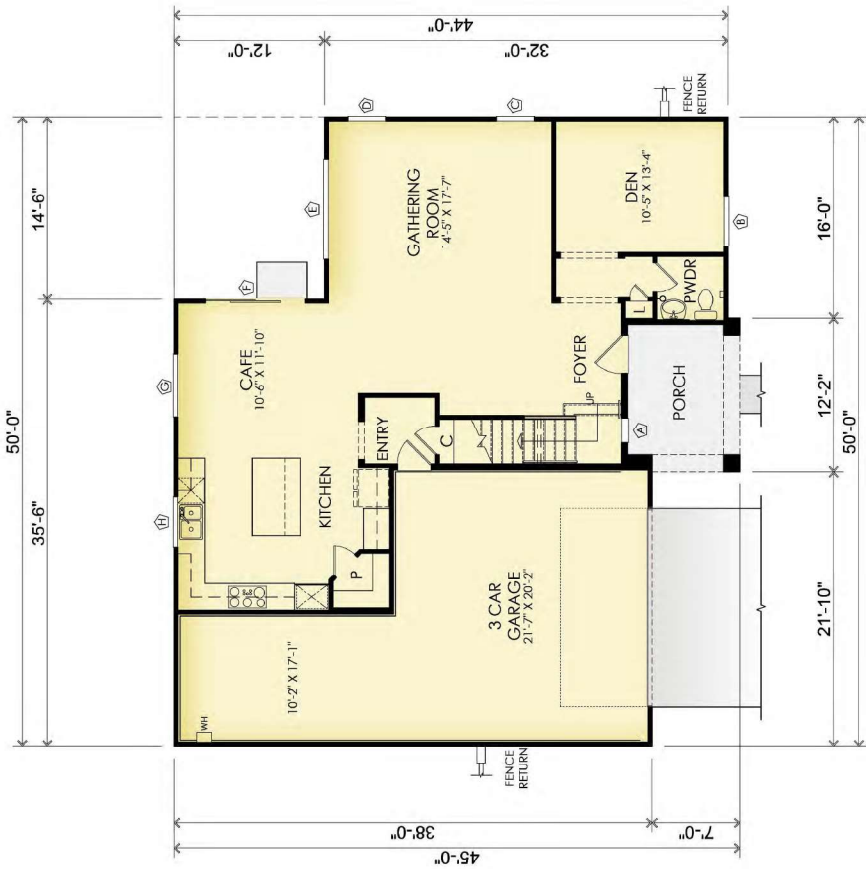
1st Floor	
A)	2'-0" x 3'-0" Fixed
B)	4'-0" x 5'-0" Slider
C)	3'-0" x 5'-0" Single Hung
D)	3'-0" x 5'-0" Slider/Fixed
E)	8'-0" x 5'-0" Slider/Fixed/Slider
F)	8'-0" x 8'-0" Sliding Glass Door
G)	5'-0" x 5'-0" Slider
H)	4'-0" x 4'-6" Slider
2nd Floor	
I)	3'-0" x 5'-0" Single Hung
J)	3'-0" x 5'-0" Single Hung
K)	3'-0" x 5'-0" Fixed
L)	2'-0" x 3'-0" Slider
M)	4'-0" x 5'-0" Slider
N)	4'-0" x 5'-0" Fixed
O)	3'-0" x 5'-0" Single Hung
P)	3'-0" x 5'-0" Slider/Fixed/Slider
Q)	3'-0" x 5'-0" Slider/Fixed/Slider
R)	3'-0" x 5'-0" Slider/Fixed/Slider
S)	8'-0" x 5'-0" Slider/Fixed/Slider
T)	5'-0" x 5'-0" Slider
U)	5'-0" x 5'-0" Slider



Exterior Wall Light
at Elevation 'C'



Roof Plan



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,166 SQ. FT.
2nd Floor	1,628 SQ. FT.
Garage	2,792 SQ. FT.
2nd Car Garage	2,792 SQ. FT.
Porch	104 SQ. FT.
Opt. Covered Patio	174 SQ. FT.

5027-1 ■ 2,792 SQ. FT.

LINDEN AT ALBERHILL RANCH

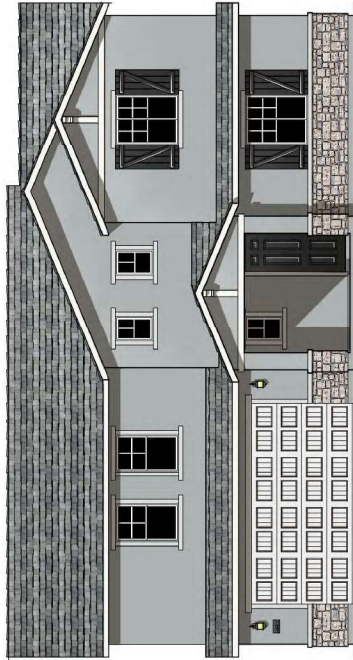
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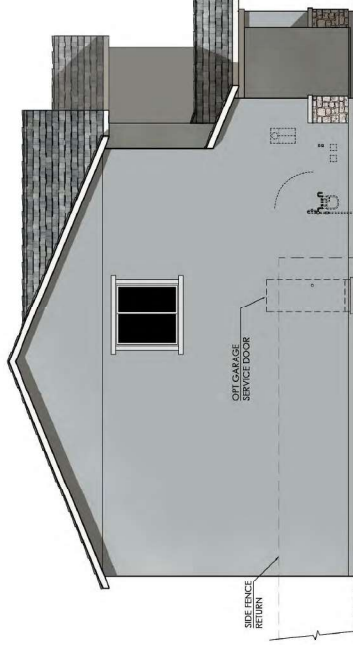
ELEVATION 'C'

Exterior Materials

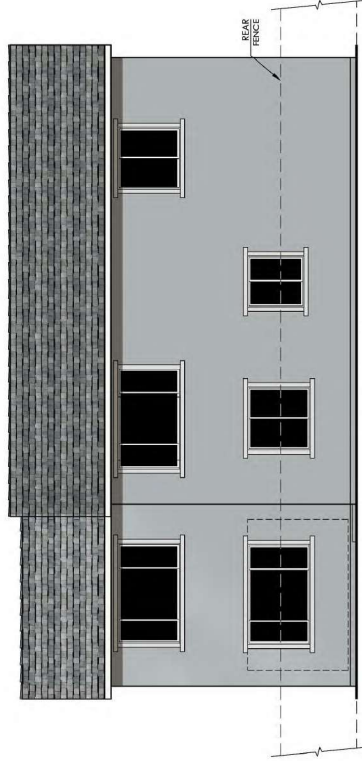
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO WINDOW TRIM
- E. STUCCO WINDOW TRIM
- F. STANDARD COACH LIGHT
- G. COACH LIGHT
- H. DETACHED ELEVATION WINDOW GRILLS



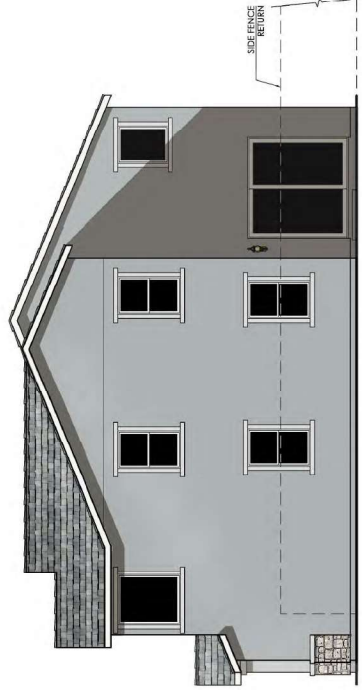
Front Elevation 'C' - Craftsman



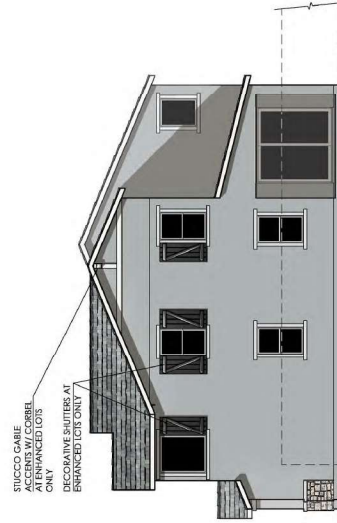
Left Elevation



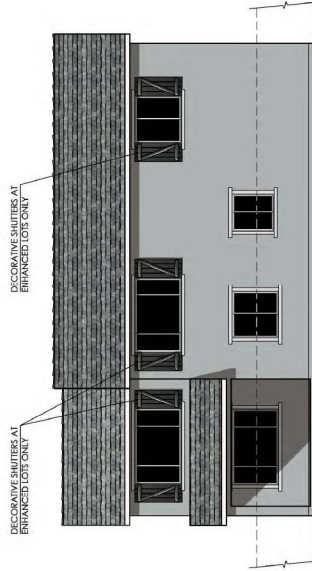
Rear Elevation



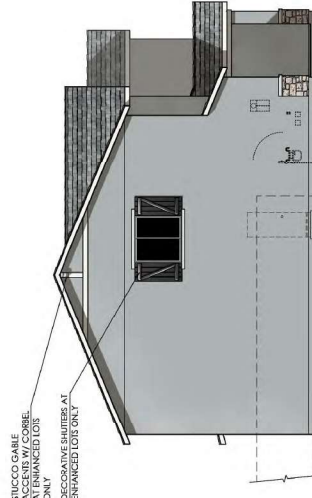
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio

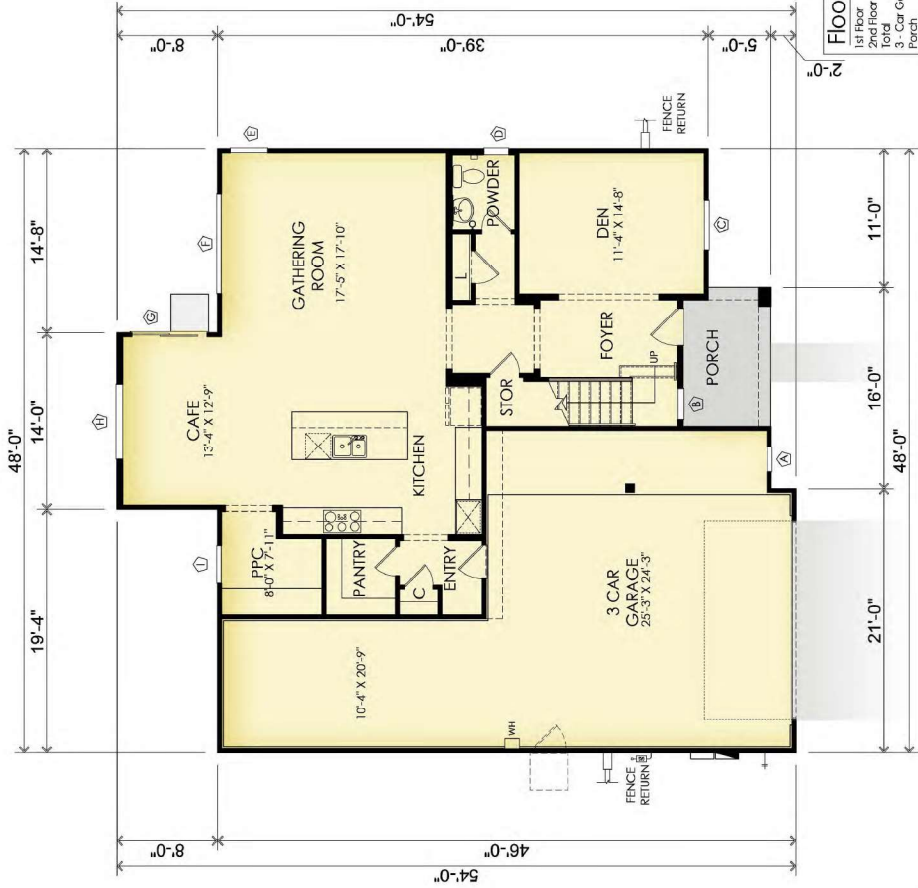
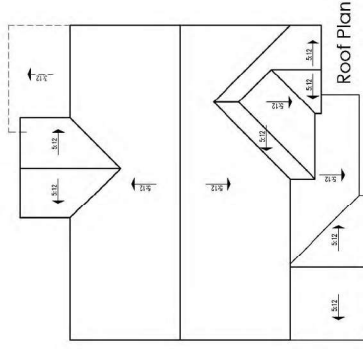
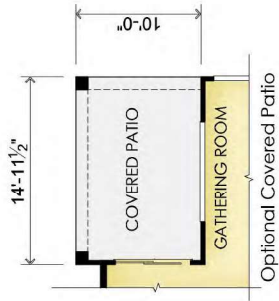


Rear Elevation shown "Enhanced" and with Optional Covered Patio



Left Elevation shown "Enhanced" and with Optional Covered Patio

Window Schedule	
1st Floor	2nd Floor
A) 2'-0" x 4'-0" Fixed	J) 2'-0" x 3'-0" Fixed
B) 2'-0" x 4'-0" Fixed	K) 2'-0" x 3'-0" Fixed
C) 2'-0" x 4'-0" Fixed	L) 2'-0" x 3'-0" Fixed
D) 2'-0" x 4'-0" Fixed	M) 3'-0" x 5'-0" Fixed
E) 3'-0" x 5'-0" Fixed	N) 4'-0" x 5'-0" Fixed
F) 3'-0" x 5'-0" Fixed	O) 2'-0" x 3'-0" Single Hung
G) 8'-0" x 5'-0" Sliding Glass Door	P) 3'-0" x 5'-0" Fixed
H) 6'-0" x 5'-0" Sliding Glass Door	Q) 8'-0" x 5'-0" Sliding Glass Door
I) 3'-0" x 5'-0" Single Hung	R) 6'-0" x 5'-0" Sliding Glass Door
	S) 4'-0" x 5'-0" Fixed
	T) 2'-0" x 3'-0" Fixed
	U) 5'-0" x 5'-0" Fixed
	V) 5'-0" x 5'-0" Sliding Glass Door
	W) 6'-0" x 3'-0" Sliding Glass Door



Floor Area Table	
1st Floor	1,282 SQ. FT.
2nd Floor	1,706 SQ. FT.
Total	2,988 SQ. FT.
3 - Car Garage	853 SQ. FT.
Porch	75 SQ. FT.
Opt. Covered Patio	147 SQ. FT.

4829-1 ■ 2,988 SQ. FT.

First Floor Plan

Second Floor Plan

LINDEN AT ALBERHILL RANCH

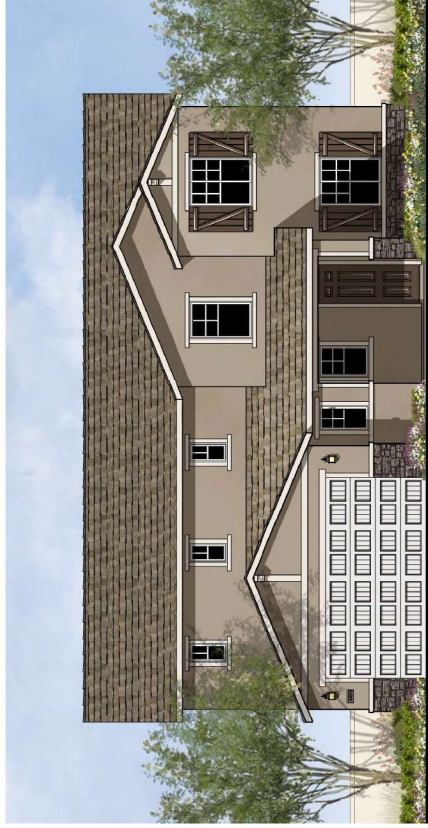
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ELEVATION 'A'



A - SPANISH
Color Scheme 19



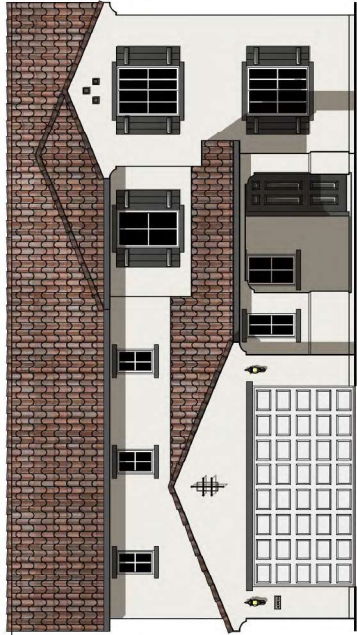
C - CRAFTSMAN
Color Scheme 27



B - PRAIRIE
Color Scheme 24

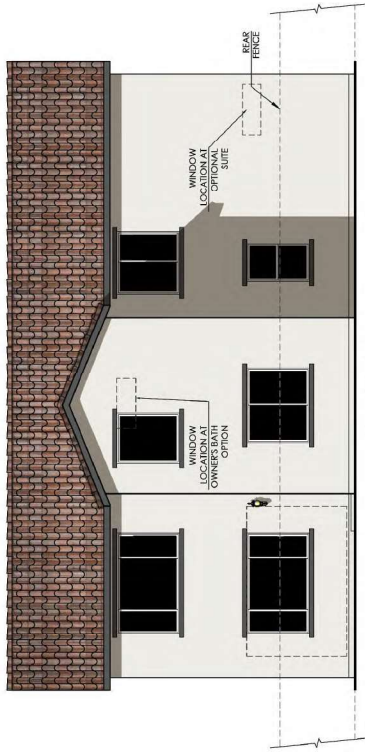
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO CORBEL LAYERS
- E. STUCCO CORBEL LAYERS
- F. STUCCO WINDOW TRIM
- G. STUCCO WINDOW TRIM
- H. DISTRICT 'A' ELEVATION GARAGE
- I. DOOR W/ OPT WINDOW
- J. DISTRICT 'A' ELEVATION WINDOW
- K. GRIDS

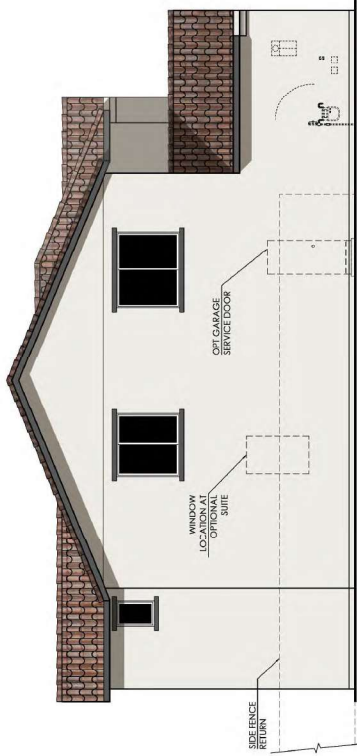


Front Elevation 'A' - Spanish

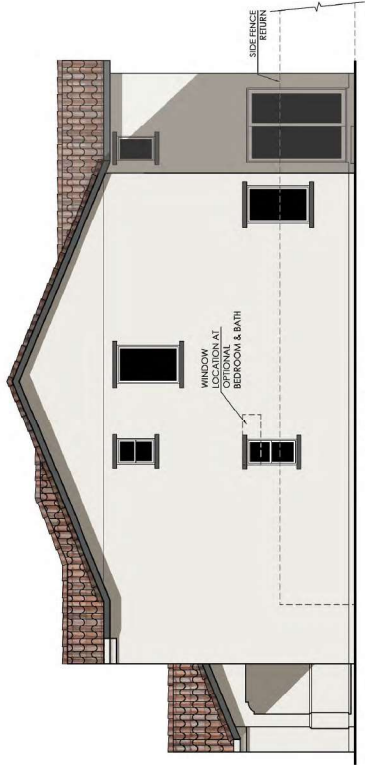
NOTES: 1. ALL MATERIALS ARE TO BE USED AS SHOWN. 2. ALL MATERIALS ARE TO BE USED AS SHOWN. 3. ALL MATERIALS ARE TO BE USED AS SHOWN.



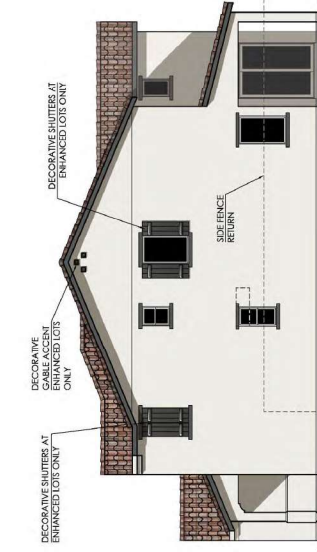
Rear Elevation



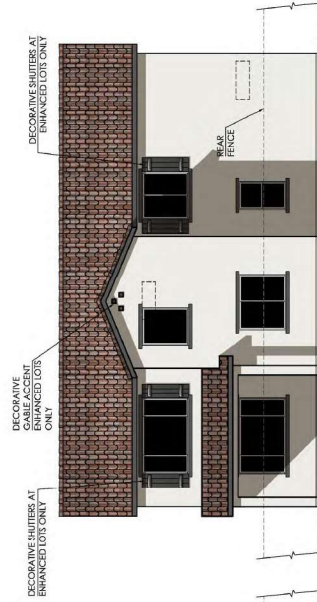
Left Elevation



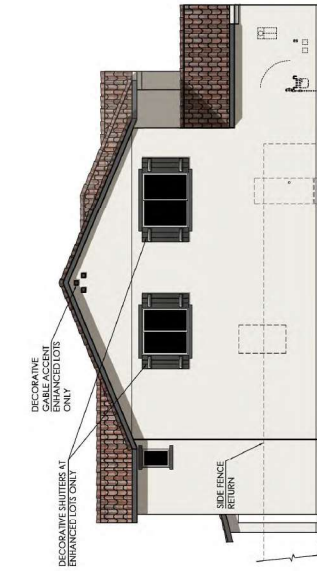
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio

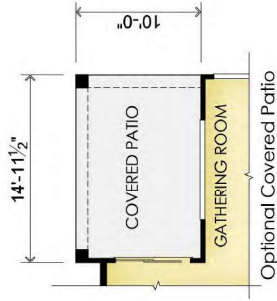


Rear Elevation shown "Enhanced" and with Optional Covered Patio

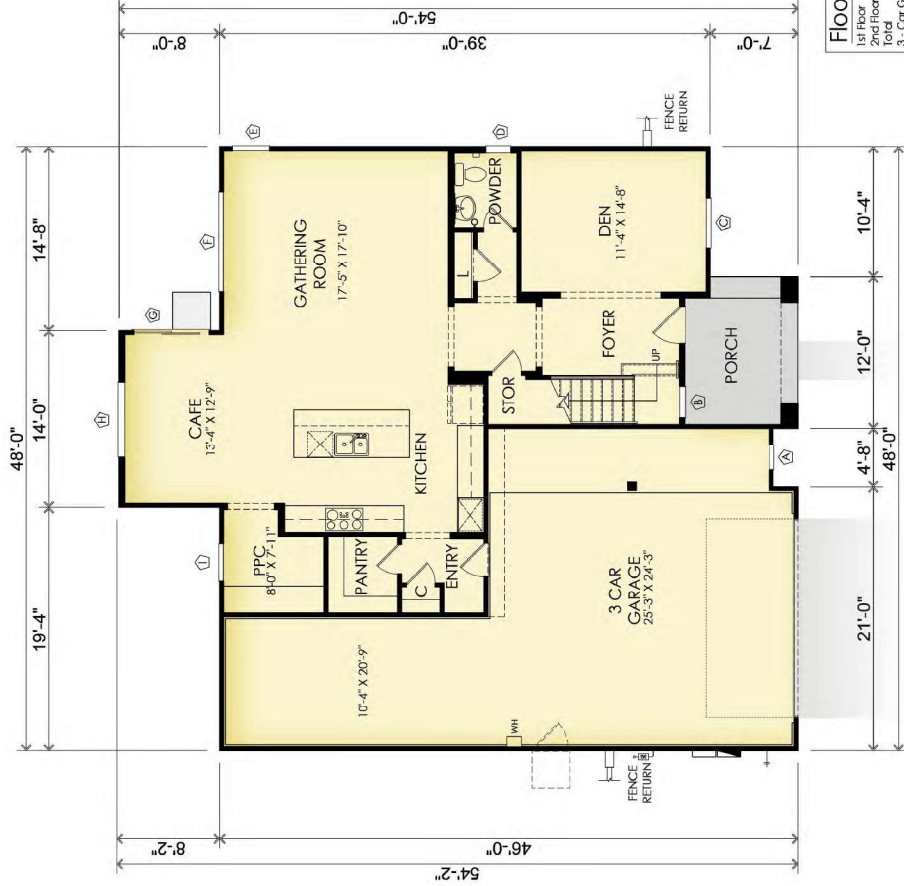
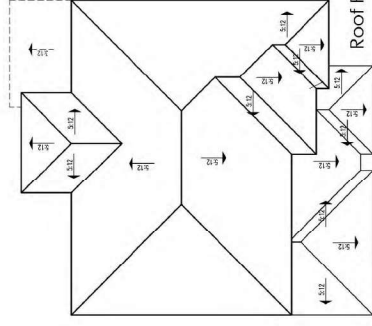


Left Elevation shown "Enhanced" and with Optional Covered Patio

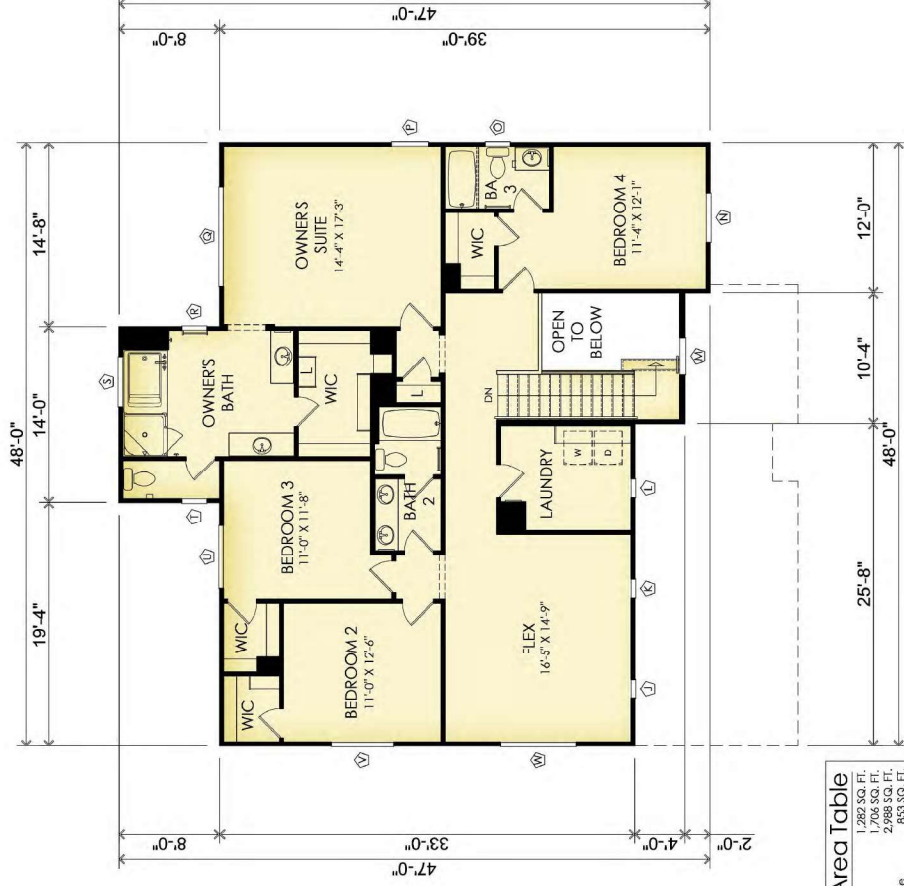
Window Schedule	
1st Floor	2nd Floor
A) 2'-0" x 4'-0" Fixed	J) 1'-6" x 3'-0" Fixed
B) 2'-0" x 4'-0" Fixed	K) 1'-6" x 3'-0" Fixed
C) 2'-0" x 4'-0" Fixed	L) 1'-6" x 3'-0" Fixed
D) 2'-0" x 4'-0" Fixed	M) 3'-0" x 5'-0" Fixed
E) 3'-0" x 5'-0" Fixed	N) 4'-0" x 5'-0" Fixed
F) 3'-0" x 5'-0" Fixed	O) 2'-0" x 3'-0" Single Hung
G) 6'-0" x 8'-0" Sliding Glass Door	P) 2'-0" x 3'-0" Sliding Glass Door
H) 6'-0" x 5'-0" Sliding Glass Door	Q) 8'-0" x 5'-0" Sliding Glass Door
I) 3'-0" x 5'-0" Single Hung	R) 4'-0" x 5'-0" Sliding Glass Door
	S) 4'-0" x 5'-0" Fixed
	T) 2'-0" x 3'-0" Fixed
	U) 2'-0" x 3'-0" Fixed
	V) 5'-0" x 5'-0" Sliding Glass Door
	W) 6'-0" x 5'-0" Sliding Glass Door



Exterior Wall Light
at Elevation 'B'



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,282 SQ. FT.
2nd Floor	1,706 SQ. FT.
Total	2,988 SQ. FT.
3 - Car Garage	853 SQ. FT.
Porch	102 SQ. FT.
Opt. Covered Patio	147 SQ. FT.

4829-1 ■ 2,988 SQ. FT.



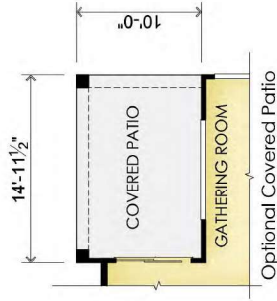
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LINDEN AT ALBERHILL RANCH

5/26/2022

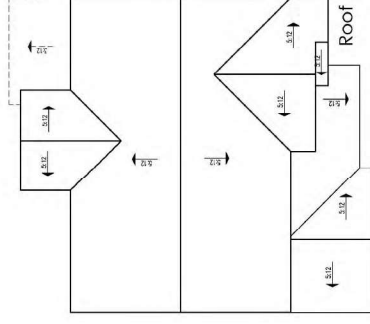
ELEVATION 'B'

Window Schedule	
1st Floor	2nd Floor
A) 2'-0" x 4'-0" Fixed	J) 1'-6" x 3'-0" Fixed
B) 2'-6" x 4'-0" Fixed	K) 1'-6" x 3'-0" Fixed
C) 3'-0" x 4'-0" Fixed	L) 1'-6" x 3'-0" Fixed
D) 2'-6" x 4'-0" Fixed	M) 3'-0" x 5'-0" Fixed
E) 3'-0" x 5'-0" Fixed	N) 4'-0" x 5'-0" Fixed
F) 88'-0" x 5'-0" Slider/Fixed/Slider	O) 2'-0" x 3'-0" Single Hung
G) 6'-0" x 8'-0" Slider/Fixed/Slider	P) 3'-0" x 3'-0" Fixed
H) 6'-0" x 5'-0" Slider	Q) 8'-0" x 5'-0" Slider/Fixed/Slider
I) 3'-0" x 5'-0" Single Hung	R) 8'-0" x 5'-0" Fixed
	S) 4'-0" x 5'-0" Fixed
	T) 2'-0" x 3'-0" Fixed
	U) 5'-0" x 5'-0" Slider
	V) 5'-0" x 5'-0" Slider
	W) 6'-0" x 5'-0" Slider

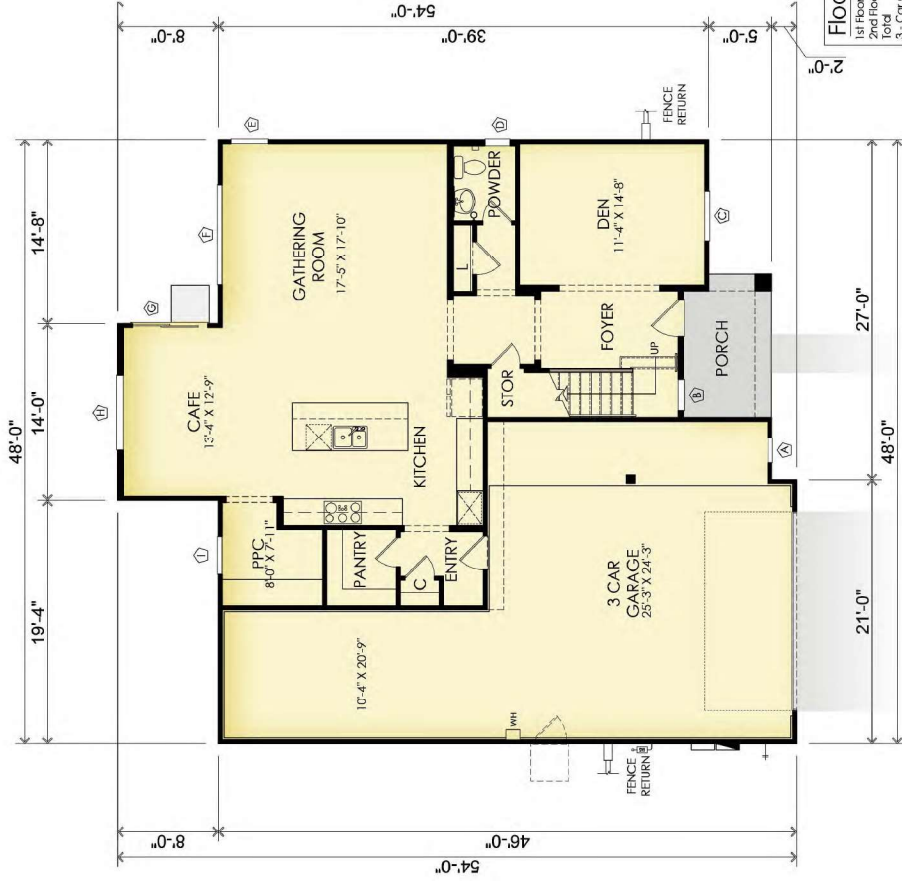


Exterior Wall Light
at Elevation 'C'

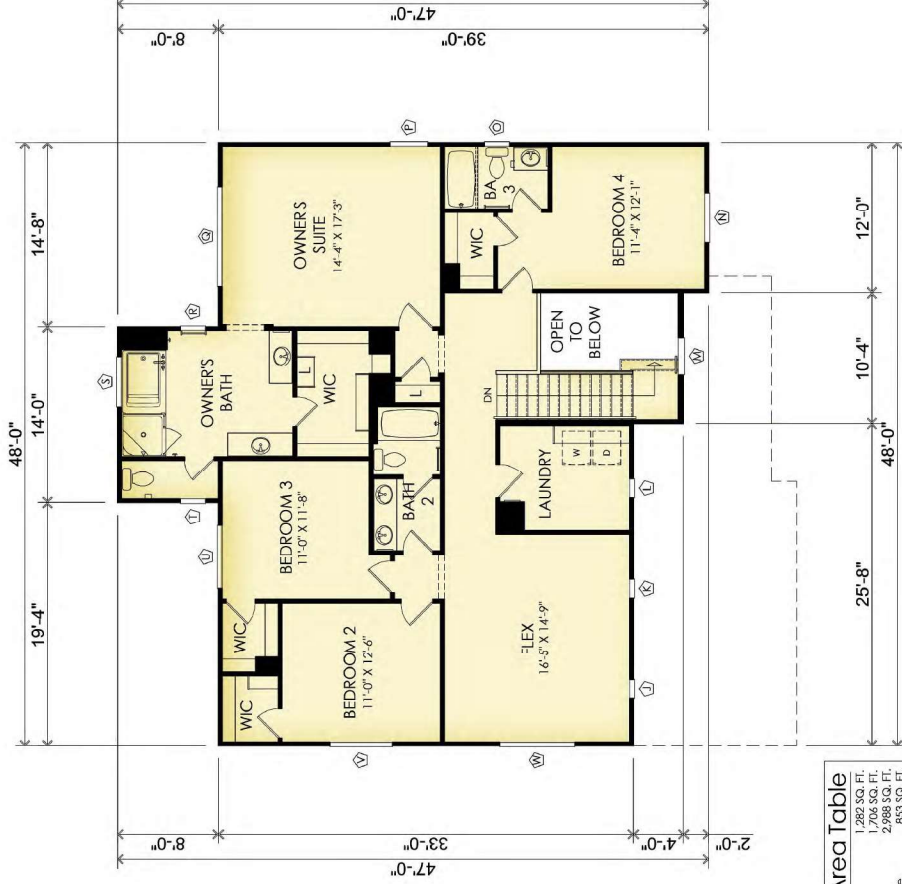
MODEL
#84530615-112



Roof Plan



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,282 SQ. FT.
2nd Floor	1,706 SQ. FT.
Total	2,988 SQ. FT.
3 - Car Garage	853 SQ. FT.
Porch	77 SQ. FT.
Opt. Covered Patio	147 SQ. FT.

4829-1 ■ 2,988 SQ. FT.



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LINDEN AT ALBERHILL RANCH

5/26/2022

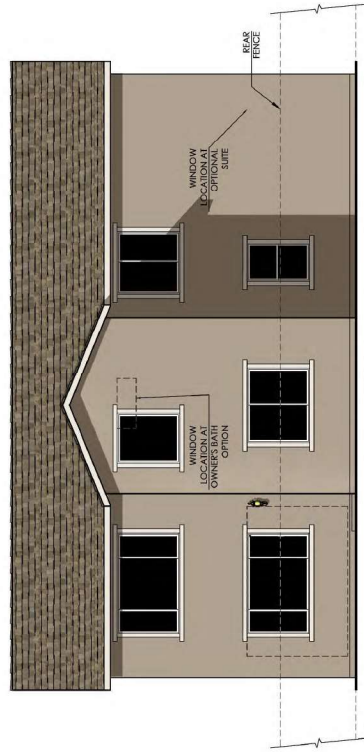
ELEVATION 'C'

Exterior Materials

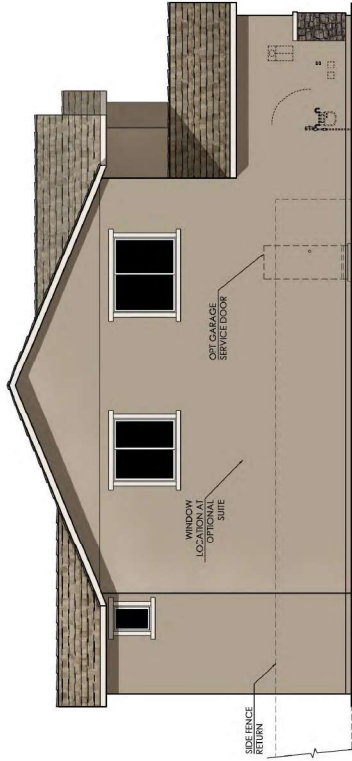
- A. STUCCO
- B. DECORATIVE GABLE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE GABLE ACCENTS
- E. DECORATIVE SHUTTERS AT ENHANCED LOTS ONLY
- F. DISTINCT 'C' ELEVATION GARAGE DOOR W/ OPT WINDOWS
- G. DISTINCT 'C' ELEVATION WINDOW GRIDS



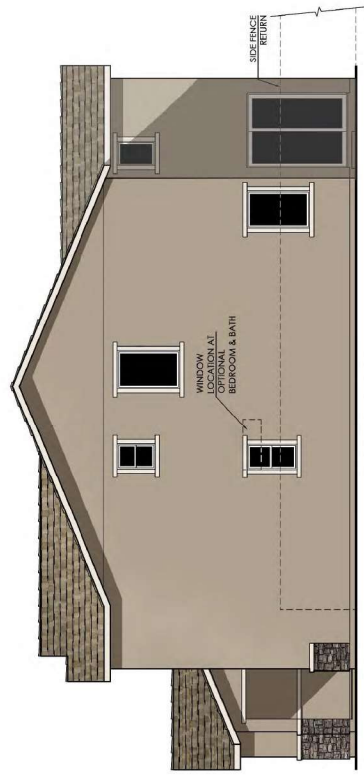
Front Elevation 'C' - Craftsman



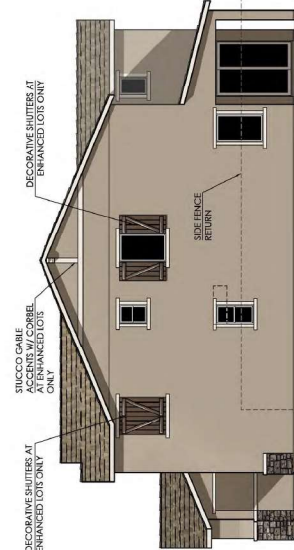
Rear Elevation



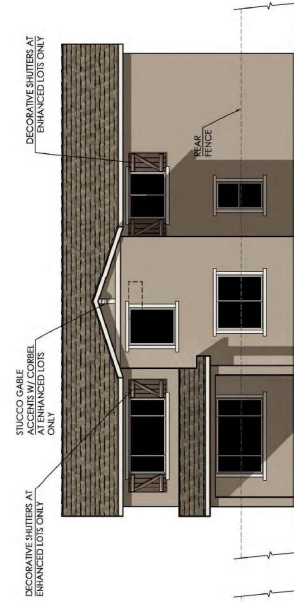
Left Elevation



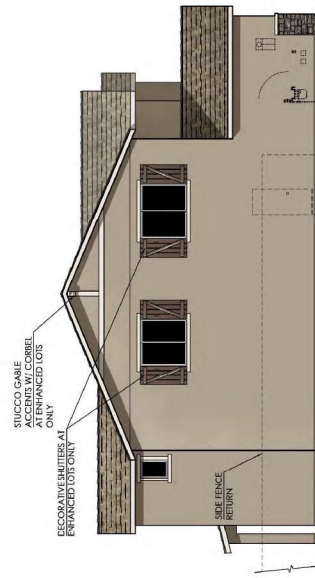
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio



Rear Elevation shown "Enhanced" and with Optional Covered Patio



Left Elevation shown "Enhanced" and with Optional Covered Patio

4829-1

■ 2,988 SQ. FT.

LINDEN AT ALBERHILL RANCH

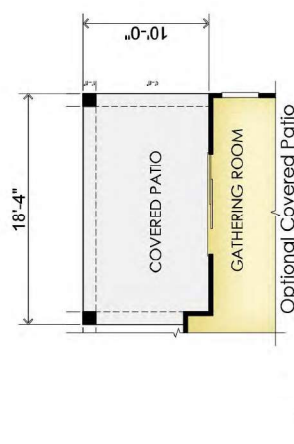
(c) Copyright 2022 Pullite Group, Inc.

Note: Colors in this rendering may not be accurately represented due to printing. Please refer to the actual paint chips in the DR package.

5/26/2022

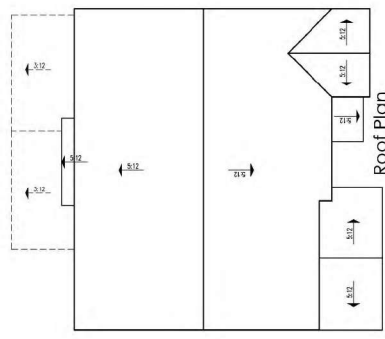
Window Schedule

1st Floor	2nd Floor
A) 5'-0" x 5'-0" Slider	H) 2'-0" x 3'-0" Fixed
B) 6'-0" x 5'-0" Fixed	I) 2'-0" x 3'-0" Fixed
C) 4'-0" x 1'-6" Fixed	J) 3'-0" x 5'-0" Single Hung
D) 3'-0" x 5'-0" Fixed	K) 3'-0" x 5'-0" Single Hung
E) 8'-0" x 8'-0" Sliding Glass Door	L) 3'-0" x 5'-0" Fixed
F) 6'-0" x 5'-0" Sliding Glass Door	M) 4'-0" x 6'-0" Single Hung
G) 3'-0" x 5'-0" Single Hung	N) 4'-0" x 6'-0" Single Hung
	O) 8'-0" x 5'-0" Slider/Fixed/Slider
	P) 8'-0" x 5'-0" Slider/Fixed/Slider
	Q) 2'-0" x 3'-0" Fixed
	R) 4'-0" x 5'-0" Fixed
	S) 2'-0" x 3'-0" Single Hung
	T) 3'-0" x 5'-0" Slider



Optional Covered Patio

Exterior Wall Light at Elevation 'A'



Roof Plan



First Floor Plan



Second Floor Plan

Floor Area Table	
1st Floor	1,444 SQ. FT.
2nd Floor	1,873 SQ. FT.
Total	3,337 SQ. FT.
3 - Car Garage	741 SQ. FT.
Porch	35 SQ. FT.
Opt. Covered Patio	184 SQ. FT.

4932-1

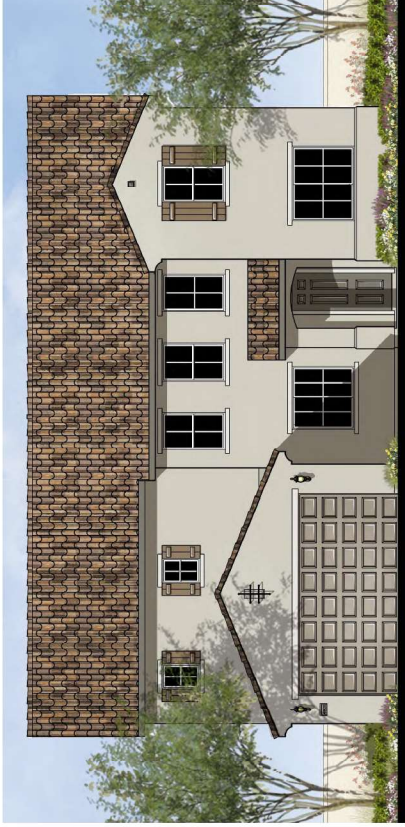
3,337 SQ. FT.

LINDEN AT ALBERHILL RANCH

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ELEVATION 'A'



A - SPANISH
Color Scheme 21



C - CRAFTSMAN
Color Scheme 26



B - PRAIRIE
Color Scheme 23

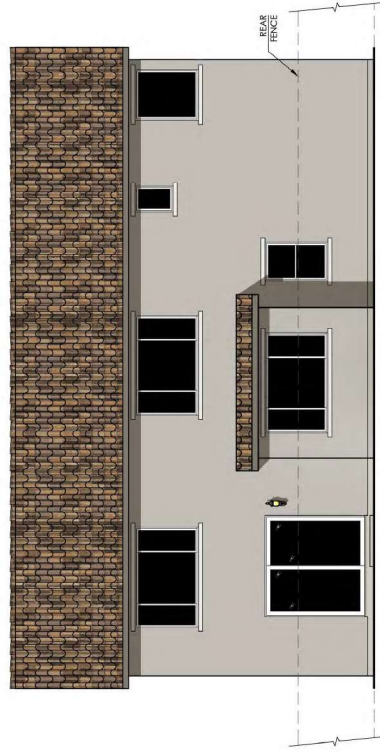
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO CORBEL EAVES
- E. STUCCO CORREL EAVES
- F. STUCCO WINDOW TRIM
- G. STUCCO WINDOW TRIM
- H. DISTRICT 'A' ELEVATION GARAGE
- I. DISTRICT 'A' ELEVATION WINDOW
- J. DISTRICT 'A' ELEVATION WINDOW
- K. DISTRICT 'A' ELEVATION WINDOW
- L. DISTRICT 'A' ELEVATION WINDOW



Front Elevation 'A' - Spanish

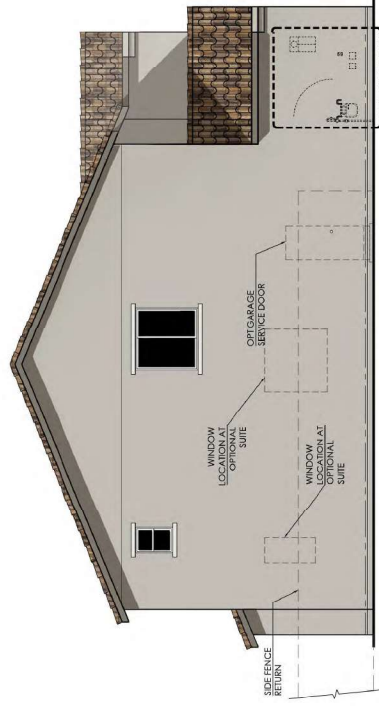
COLORS IN THIS RENDERING MAY VARY.
ACTUAL COLORS MAY VARY.
PLEASE REFER TO THE DR PACKAGE FOR THE DR PACKAGE.



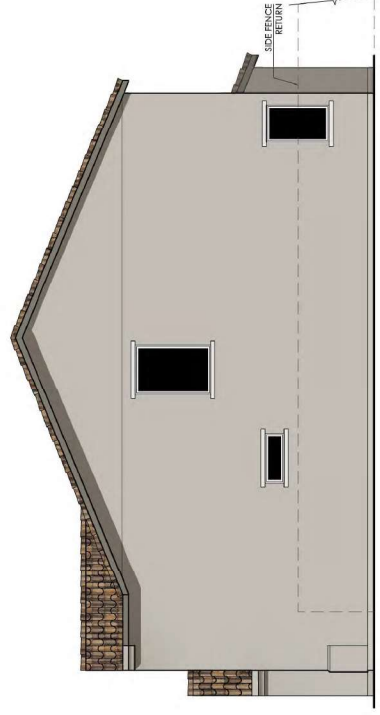
Rear Elevation



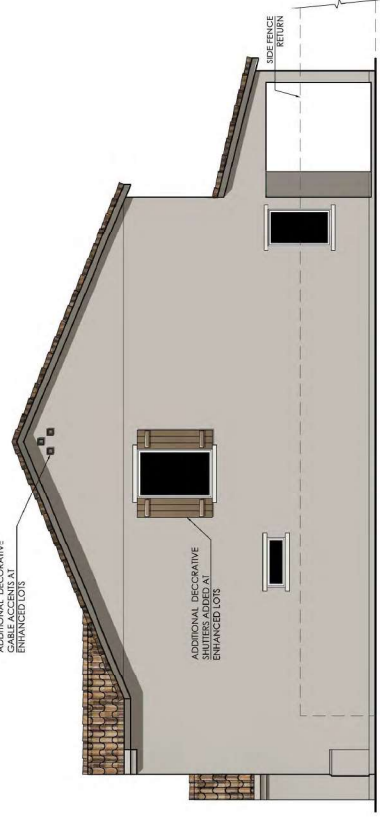
Enhanced Rear Elevation
with Optional Covered Patio



Left Elevation



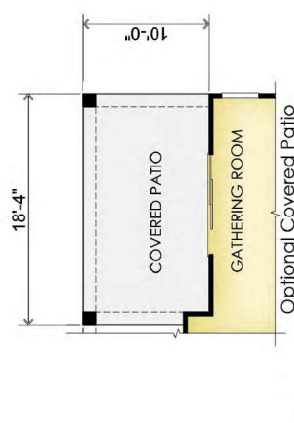
Right Elevation



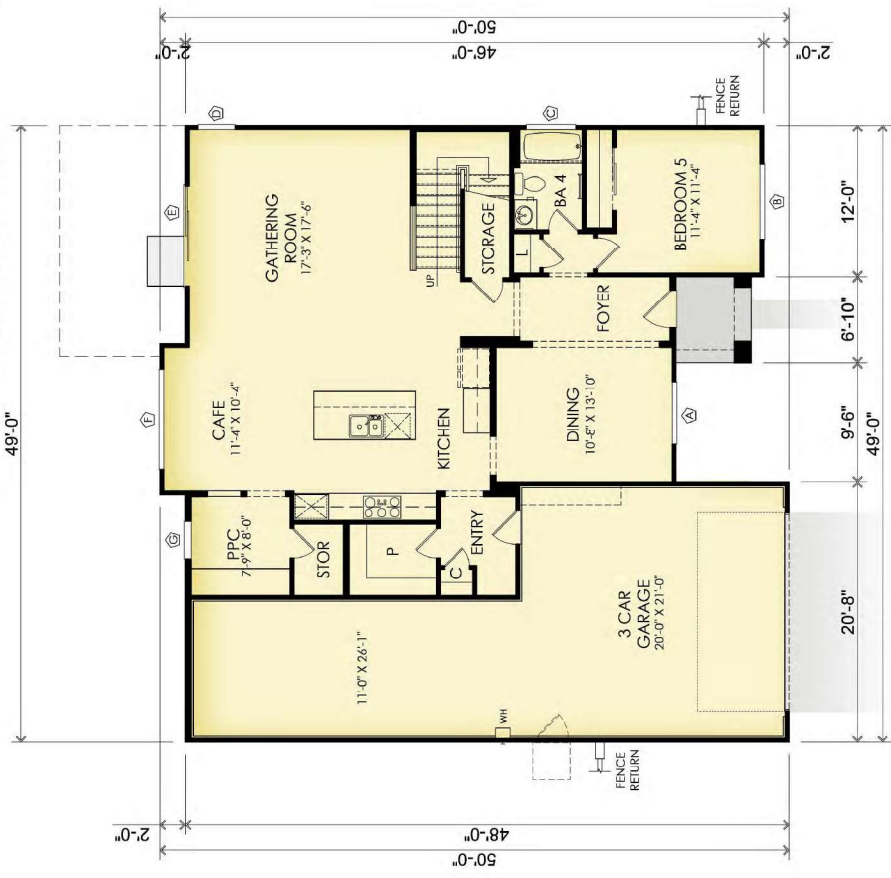
Enhanced Right Elevation
with Optional Covered Patio

Window Schedule

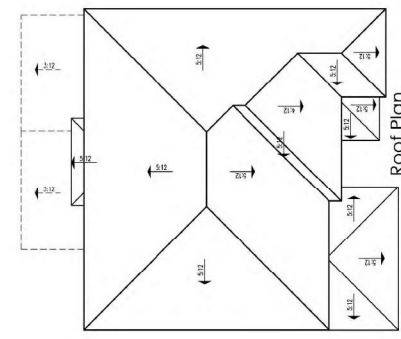
- 1st Floor
- A) 5'-0" x 5'-0" Slider
 - B) 6'-0" x 5'-0" Slider
 - C) 4'-0" x 1'-6" Fixed
 - D) 3'-0" x 5'-0" Fixed
 - E) 8'-0" x 8'-0" Sliding Glass Door
 - F) 6'-0" x 5'-0" Slider
 - G) 3'-0" x 5'-0" Single Hung
- 2nd Floor
- H) 2'-0" x 3'-0" Fixed
 - I) 2'-0" x 3'-0" Single Hung
 - J) 5'-0" x 5'-0" Slider
 - K) 2'-0" x 4'-0" Fixed
 - L) 5'-0" x 5'-0" Slider
 - M) 5'-0" x 5'-0" Fixed
 - N) 8'-0" x 5'-0" Slider
 - O) 8'-0" x 5'-0" Slider/Fixed/Slider
 - P) 8'-0" x 5'-0" Slider/Fixed/Slider
 - Q) 2'-0" x 3'-0" Fixed
 - R) 4'-0" x 5'-0" Fixed
 - S) 2'-0" x 3'-0" Single Hung
 - T) 5'-0" x 5'-0" Slider



Optional Covered Patio



First Floor Plan



Roof Plan



Second Floor Plan



Exterior Wall Light at Elevation 'B'

Floor Area Table	
1st Floor	1,444 SQ. FT.
2nd Floor	1,873 SQ. FT.
Total	3,337 SQ. FT.
3 - Car Garage	741 SQ. FT.
Porch	48 SQ. FT.
Opt. Covered Patio	184 SQ. FT.

LINDEN AT ALBERHILL RANCH

4932-1 ■ 3,337 SQ. FT.



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ELEVATION 'B'

Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. ENHANCED LOTUS
- D. STUCCO WINDOW TRIM
- E. STUCCO GARAGE TRIM
- F. DISTRICT 'E' ELEVATION GARAGE
- G. DISTRICT 'E' ELEVATION WINDOW
- H. DISTRICT 'E' ELEVATION WINDOW
- I. DISTRICT 'E' ELEVATION WINDOW
- J. DISTRICT 'E' ELEVATION WINDOW
- K. DISTRICT 'E' ELEVATION WINDOW
- L. DISTRICT 'E' ELEVATION WINDOW
- M. DISTRICT 'E' ELEVATION WINDOW
- N. DISTRICT 'E' ELEVATION WINDOW
- O. DISTRICT 'E' ELEVATION WINDOW
- P. DISTRICT 'E' ELEVATION WINDOW
- Q. DISTRICT 'E' ELEVATION WINDOW
- R. DISTRICT 'E' ELEVATION WINDOW
- S. DISTRICT 'E' ELEVATION WINDOW
- T. DISTRICT 'E' ELEVATION WINDOW
- U. DISTRICT 'E' ELEVATION WINDOW
- V. DISTRICT 'E' ELEVATION WINDOW
- W. DISTRICT 'E' ELEVATION WINDOW
- X. DISTRICT 'E' ELEVATION WINDOW
- Y. DISTRICT 'E' ELEVATION WINDOW
- Z. DISTRICT 'E' ELEVATION WINDOW

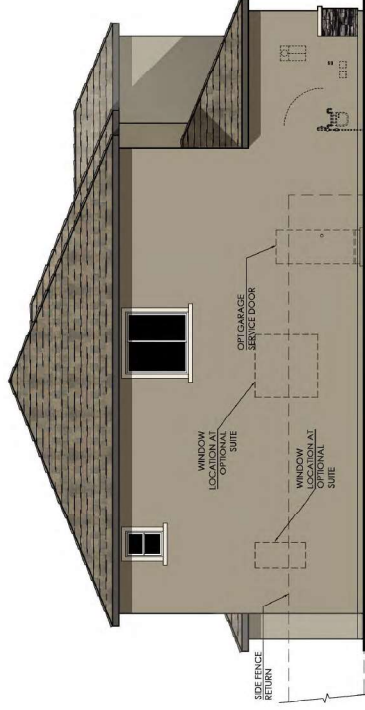


Front Elevation 'B' - Prairie

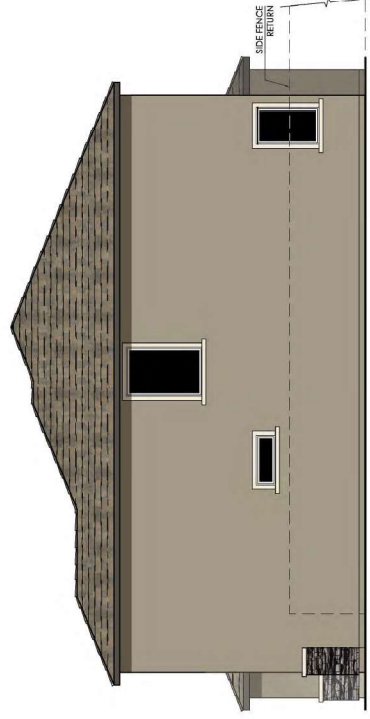
Colors in this rendering may not be accurate. Please refer to the actual paint chips in the DR package.



Rear Elevation



Left Elevation



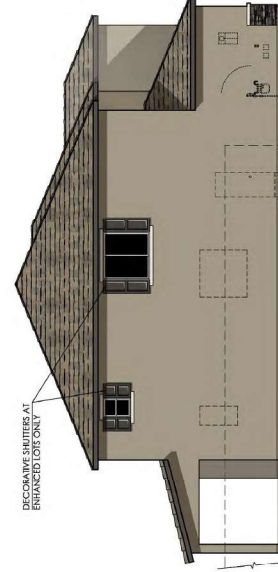
Right Elevation



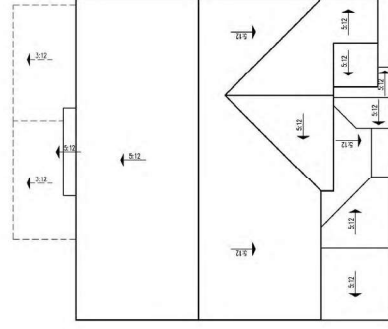
Right Elevation shown "Enhanced" and with Optional Covered Patio



Rear Elevation shown "Enhanced" and with Optional Covered Patio



Left Elevation shown "Enhanced" and with Optional Covered Patio



Exterior Wall Light
at Elevation 'C'



First Floor Plan



Second Floor Plan

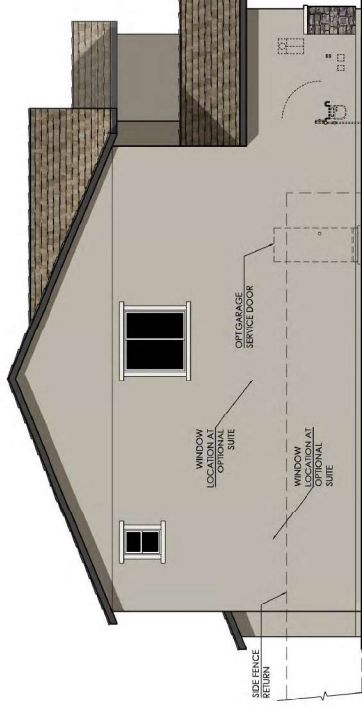
1st Floor	1,464 SQ. Ft.
2nd Floor	1,873 SQ. Ft.
Total	3,337 SQ. Ft.
3 - Car Garage	741 SQ. Ft.
Porch	120 SQ. Ft.
Opt. Covered Patio	184 SQ. Ft.

Exterior Materials

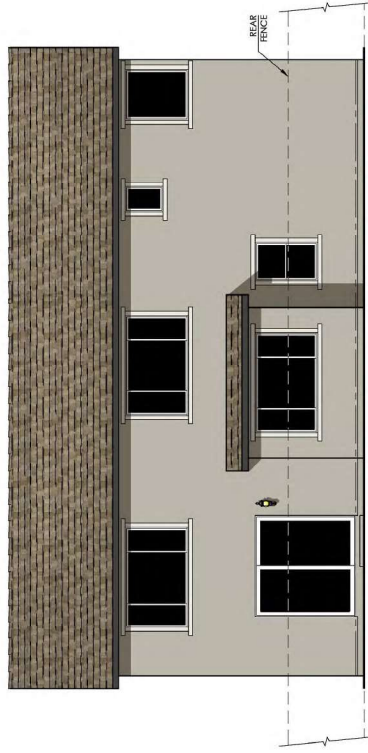
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO CORBELS
- E. STUCCO WINDOW TRIM
- F. STANDARD COACHLIGHT
- G. STANDARD COACHLIGHT GARAGE DOOR W/ OPT WINDOWS
- H. DISTINCT 'C' ELEVATION WINDOW GRIDS



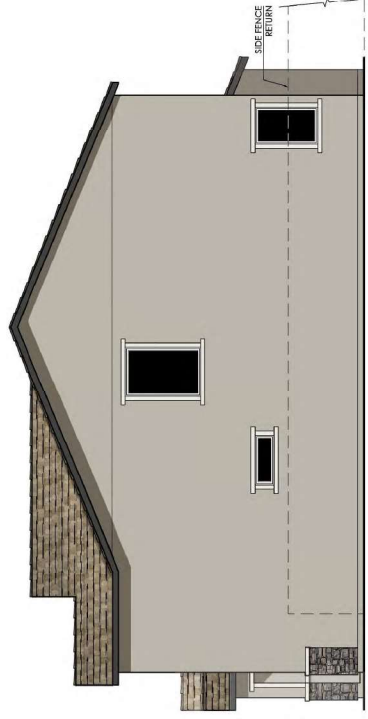
Front Elevation 'C' - Craftsman



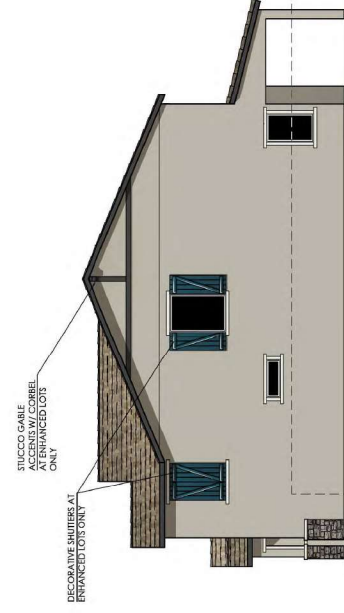
Left Elevation



Rear Elevation



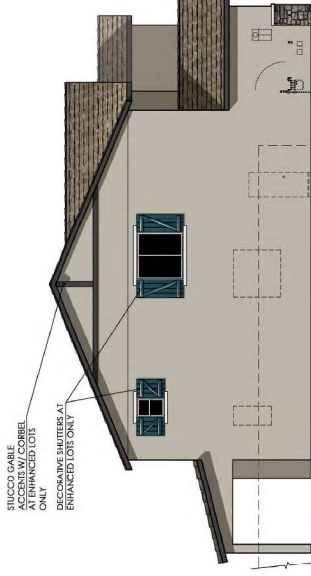
Right Elevation



Right Elevation shown "Enhanced" and with Optional Covered Patio



Rear Elevation shown "Enhanced" and with Optional Covered Patio



Left Elevation shown "Enhanced" and with Optional Covered Patio



Ridgeline at Alberhill Ranch

Lake Elsinore, CA



Design Review

Date: December 23, 2022

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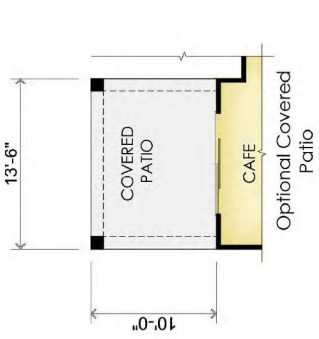
5020-1 A
SPANISH | Scheme 29



5026-2 C
CRAFTSMAN | Scheme 36



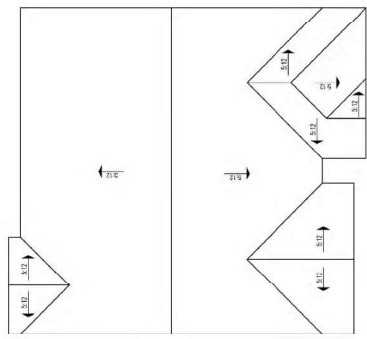
4923-1 B
PRAIRE | Scheme 33



Window Schedule

Floor Plan

Window	Size	Notes
A1	4'-0" x 5'-0" Slider	
A2	4'-0" x 5'-0" Slider	
C1	5'-0" x 5'-0" Slider	
D1	3'-0" x 5'-0" Fixed	
E1	3'-0" x 5'-0" Fixed	
F1	6'-0" x 5'-0" Slider	
G1	5'-0" x 5'-0" Slider	
H1	5'-0" x 5'-0" Slider	
I1	8'-0" x 8'-0" Slider	
J1	3'-0" x 5'-0" Fixed	



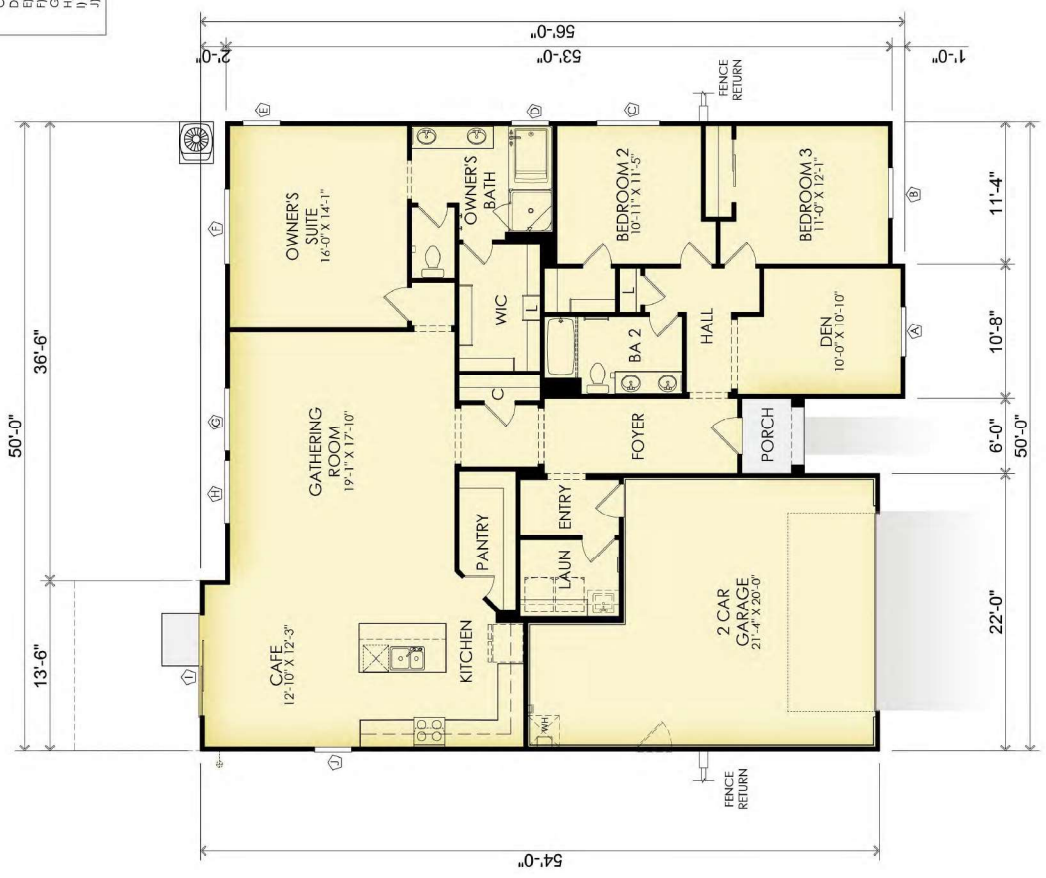
Roof Plan

Floor Area Table

Floor	SQ. FT.
1st Floor	2,070
2nd Floor	N/A
Total	2,070
2-Car Garage	524
Porch	30
Cpt. Covered Patio	135



Exterior Wall Light
at Elevation 'A'



Floor Plan

ELEVATION 'A'

RIDGELINE AT ALBERHILL RANCH

2,070 SQ. FT.

5020-1



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5/26/2022



A - SPANISH
SCHEME 29



C - CRAFTSMAN
SCHEME 35

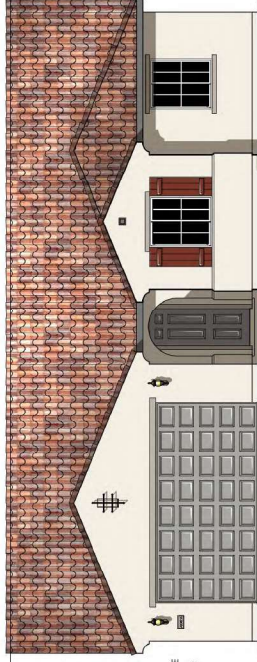


B - PRAIRIE
SCHEME 31

5020-1

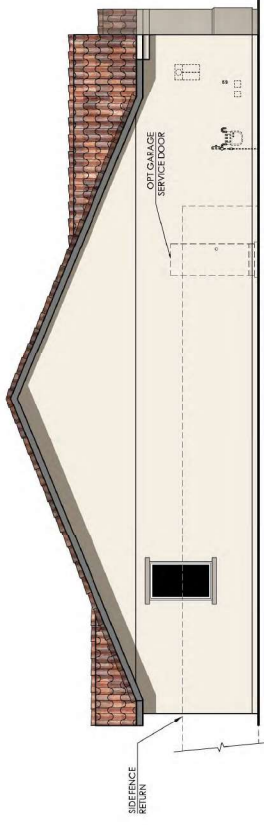
Exterior Materials

- A. STUCCO
- B. CLAY TILE ROOFING
- C. CLAY TILE CHIMNEY
- D. DECORATIVE GABLE ACCENTS
- E. DECORATIVE SHUTTERS
- F. STUCCO WINDOW TRIM
- G. STANDARD COACH LIGHT
- H. DOOR W/ OPT WINDOWS
- I. DISTINCT 'A' ELEVATION WINDOW GRIDS

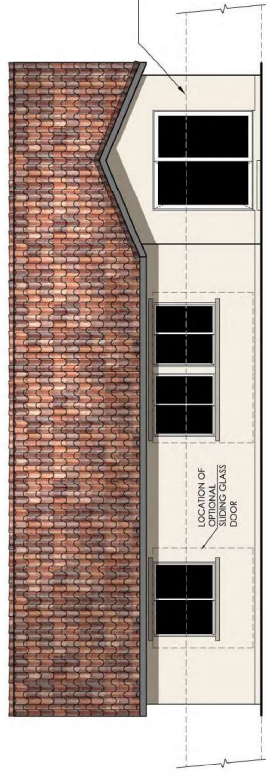


Front Elevation 'A' - Spanish

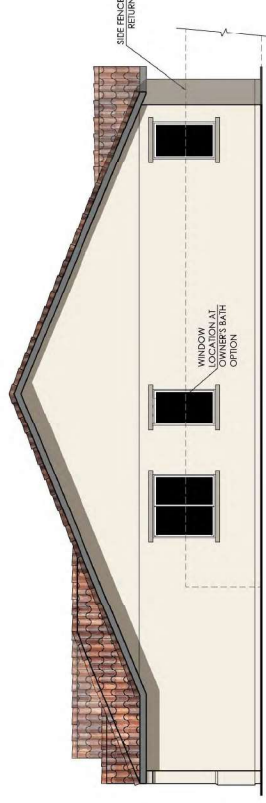
OPTIONAL: 1/2\"/>



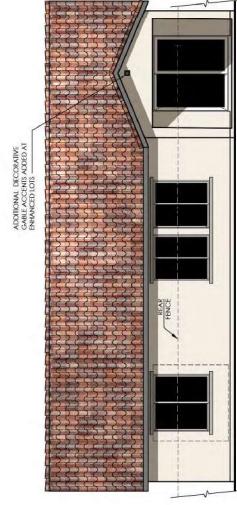
Left Elevation



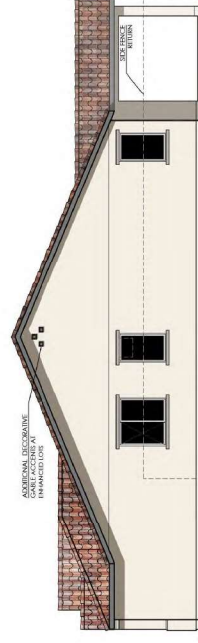
Rear Elevation



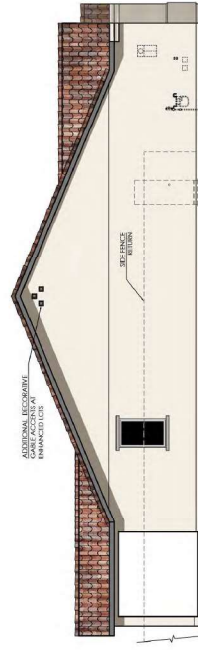
Right Elevation



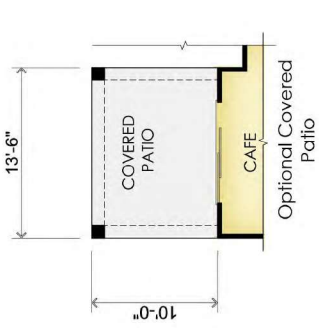
Enhanced Rear Elevation
with Optional Covered Patio



Right Elevation
with Optional Covered Patio



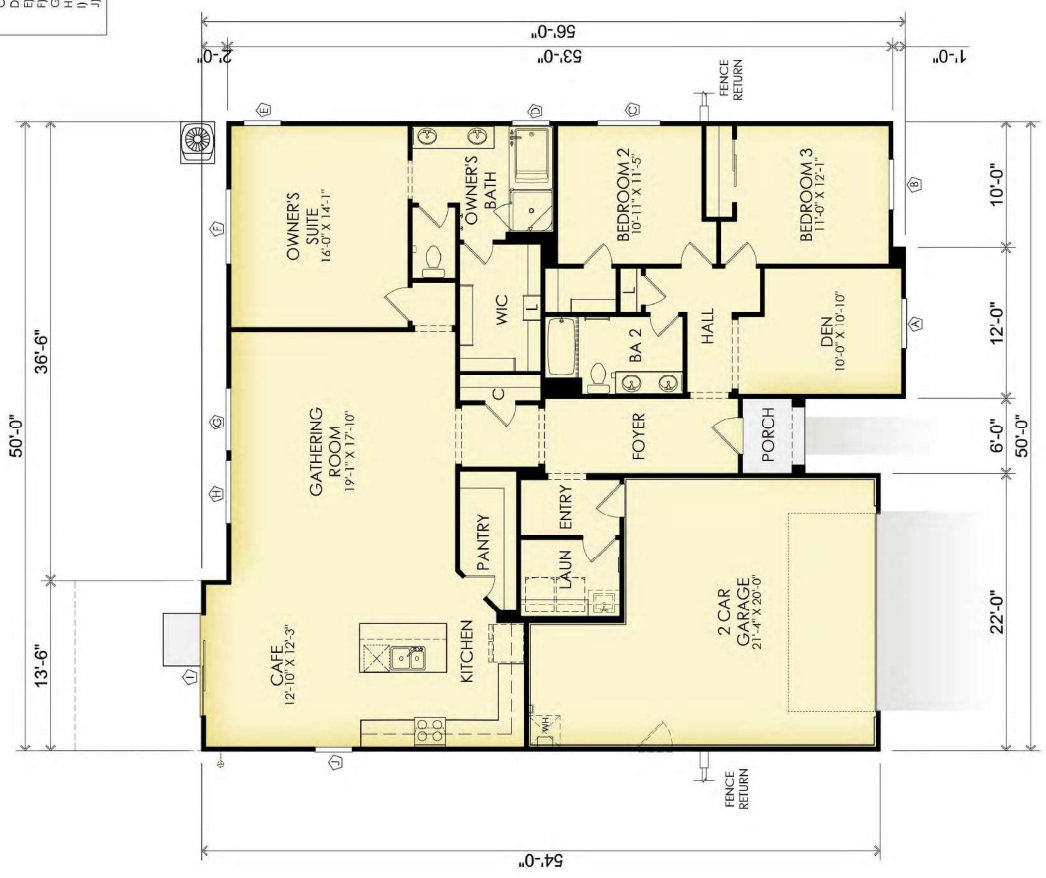
Left Elevation
with Optional Covered Patio



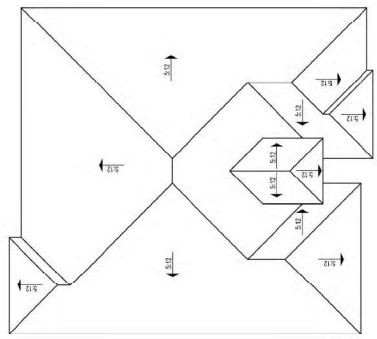
Window Schedule

Floor Plan

A)	4'-0" x 5'-0" Slider
B)	4'-0" x 5'-0" Slider
C)	5'-0" x 5'-0" Slider
D)	3'-0" x 5'-0" Fixed
E)	3'-0" x 5'-0" Fixed
F)	6'-0" x 5'-0" Slider
G)	5'-0" x 5'-0" Slider
H)	5'-0" x 5'-0" Slider
I)	8'-0" x 5'-0" Slider
J)	3'-0" x 5'-0" Fixed



Floor Plan



Roof Plan

Floor Area Table

1st Floor	2,070 SQ. FT.
2nd Floor	N/A SQ. FT.
Total	2,070 SQ. FT.
2- Car Garage	524 SQ. FT.
Porch	30 SQ. FT.
Opt. Covered Patio	135 SQ. FT.



Exterior Wall Light
at Elevation 'B'

5020-1

■ 2,070 SQ FT

RIDGELINE AT ALBERHILL RANCH

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5/16/2022



ELEVATION 'B'

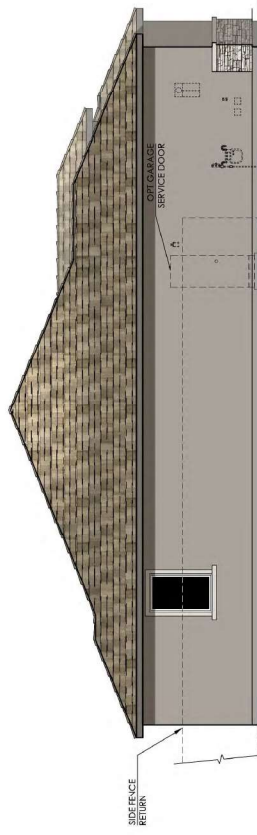
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. GARAGE DOOR
- E. STUCCO WINDOW TRIM
- F. STUCCO WINDOW TRIM
- G. DISTINCT 'B' ELEVATION GARAGE DOOR W/ OPT WINDOWS
- H. DISTINCT 'B' ELEVATION ENTRY DOOR
- I. DISTINCT 'B' ELEVATION WINDOW GRIDS

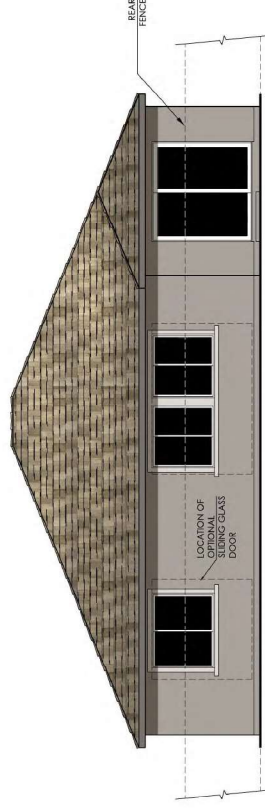


Front Elevation 'B' - Prairie

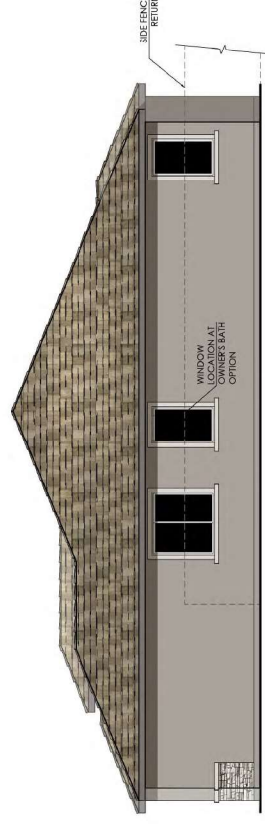
OPTIONAL SIDE FENCE RETURN
OPTIONAL SIDE FENCE RETURN
OPTIONAL SIDE FENCE RETURN



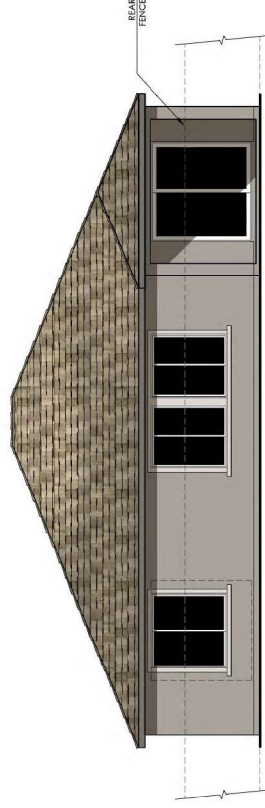
Left Elevation



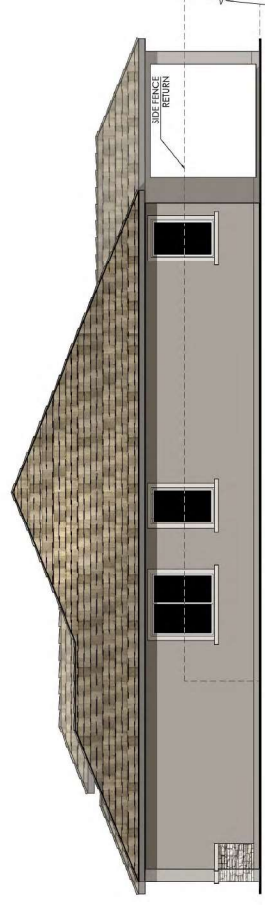
Rear Elevation



Right Elevation



Enhanced Rear Elevation
with Optional Covered Patio



Right Elevation
with Optional Covered Patio

5020-1

■ 2,070 SQ FT

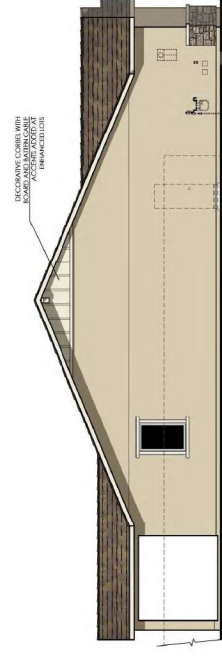
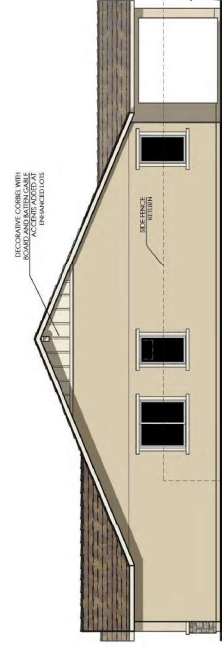
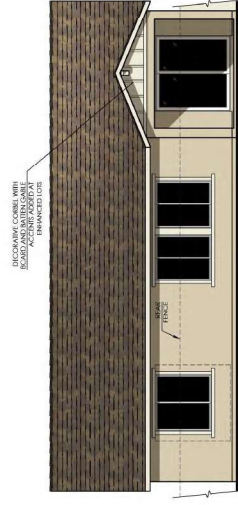
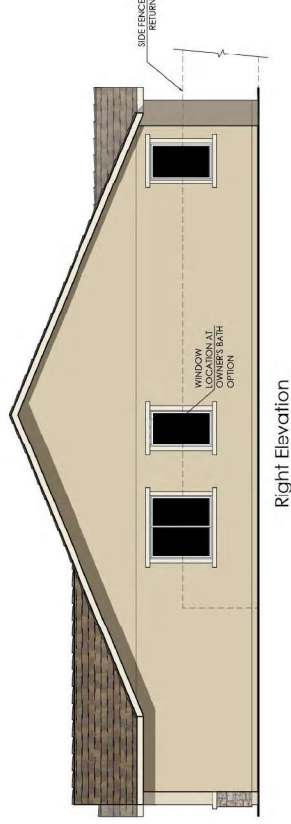
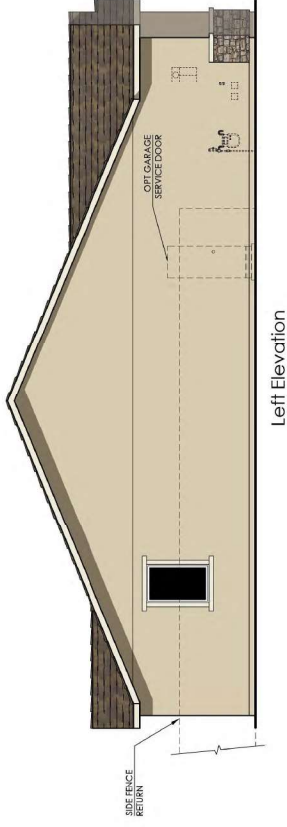
RIDGELINE AT ALBERHILL RANCH

ELEVATION 'B'

5

Exterior Materials

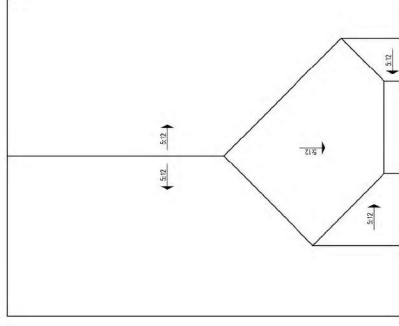
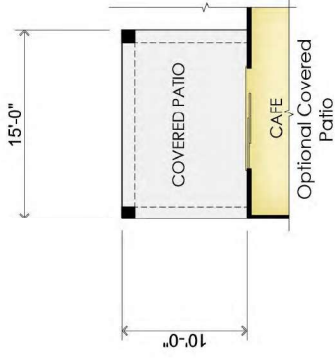
- A. STUCCO
- B. GABLE ROOFING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE GABLE ACCENTS
- E. STUCCO GARAGE DOOR
- F. STUCCO WINDOW TRIM
- G. STANDARD COACH LIGHT
- H. STANDARD COACH LIGHT
- I. DISTINCT 'C' ELEVATION ENTRY
- J. DISTINCT 'C' ELEVATION WINDOW GRIDS



Window Schedule	
Floor Plan	
A	5'-0" x 5'-0" Slider
B	4'-0" x 5'-0" Slider
C	5'-0" x 5'-0" Slider
D	4'-0" x 5'-0" Slider
E	3'-0" x 5'-0" Fixed
F	3'-0" x 5'-0" Fixed
G	5'-0" x 5'-0" Slider
H	5'-0" x 5'-0" Slider
I	8'-0" x 8'-0" Sliding Glass Door
J	3'-0" x 5'-0" Fixed



Floor Plan

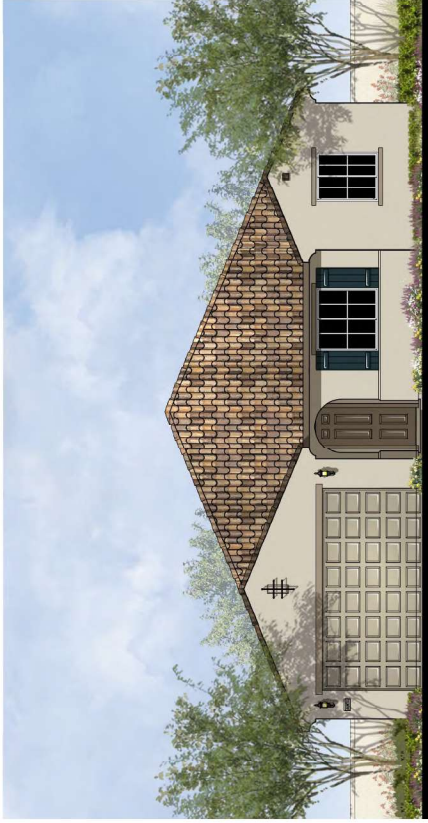


Roof Plan

Floor Area Table	
1st Floor	2,304 SQ. FT.
2nd Floor	n/a SQ. FT.
Total	2,304 SQ. FT.
3 - Car Garage	48 SQ. FT.
Porch	140 SQ. FT.
Opt. Covered Patio 2	140 SQ. FT.



Exterior Wall Light at Elevation 'A'



A - SPANISH
SCHEME 30



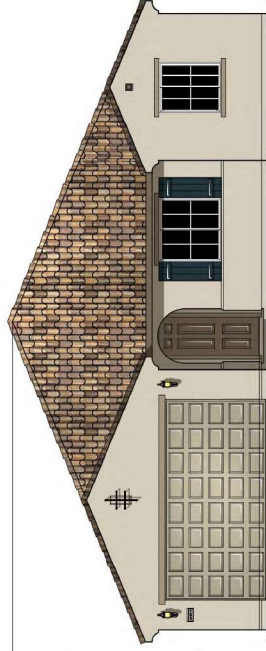
C - CRAFTSMAN
SCHEME 34



B - PRAIRIE
SCHEME 33

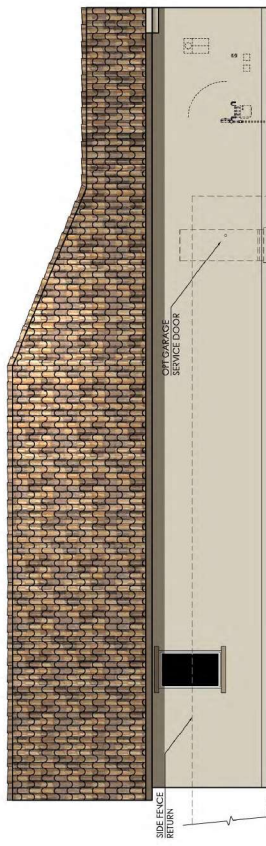
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO CORBEL LEAVES
- E. STUCCO CORREL LEAVES
- F. STUCCO WINDOW TRIM
- G. STUCCO GARAGE TRIM
- H. DISTINCT 'A' ELEVATION GARAGE
- I. DOOR W/ OPT WINDOWS
- J. DISTINCT 'A' ELEVATION WINDOW
- K. GROS

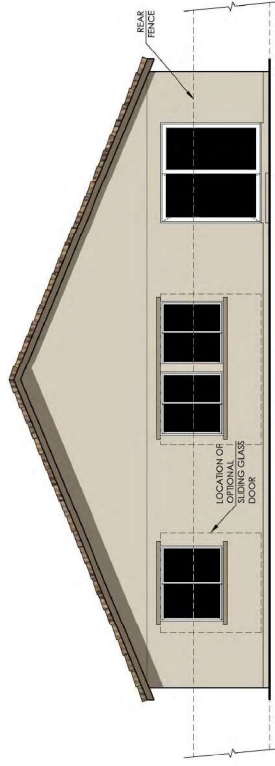


Front Elevation 'A' - Spanish

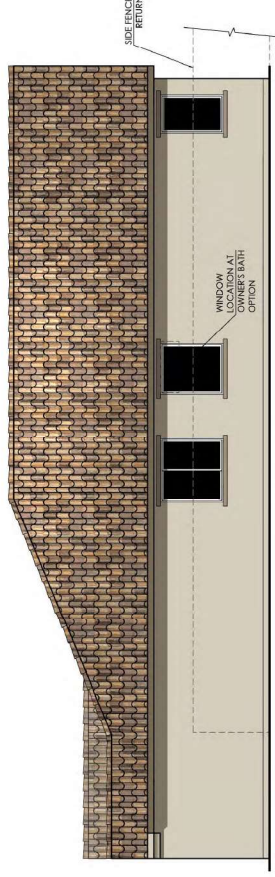
COLORED IN THE RENDERING MAY NOT BE
ACCURATE TO THE ACTUAL COLOR. PLEASE
REFER TO THE COLOR CHART.



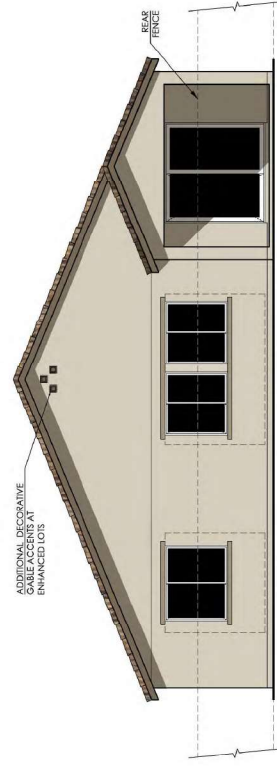
Left Elevation



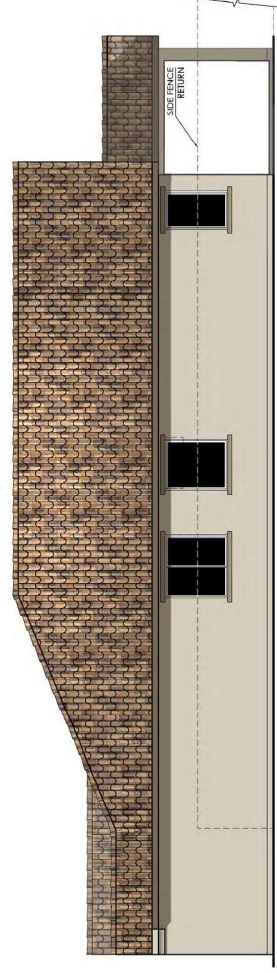
Rear Elevation



Right Elevation



Rear Elevation
with Optional Covered Patio

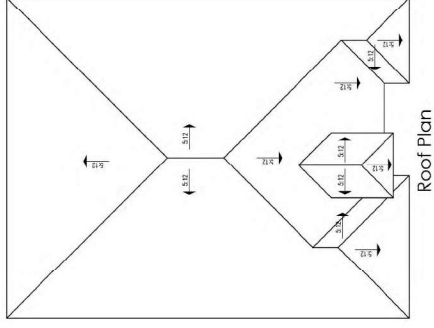
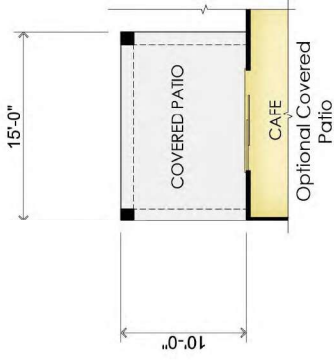


RIGHT ELEVATION WITH
OPTIONAL COVERED PATIO

Window Schedule	
Floor Plan	
A)	4'-0" x 5'-0" Slider
B)	4'-0" x 5'-0" Slider
C)	5'-0" x 5'-0" Slider
D)	4'-0" x 5'-0" Fixed
E)	4'-0" x 5'-0" Fixed
F)	4'-0" x 5'-0" Fixed
G)	5'-0" x 5'-0" Slider
H)	5'-0" x 5'-0" Slider
I)	8'-0" x 8'-0" Sliding Glass Door
J)	3'-0" x 5'-0" Fixed



Floor Plan



Floor Area Table	
1st Floor	2,304 SQ. FT.
2nd Floor	n/a SQ. FT.
Total	2,304 SQ. FT.
3 - Car Garage	603 SQ. FT.
Opt. Covered Patio 1	146 SQ. FT.
Opt. Covered Patio 2	146 SQ. FT.



Exterior Wall Light
at Elevation 'B'

TO RIDGE
11'-2"

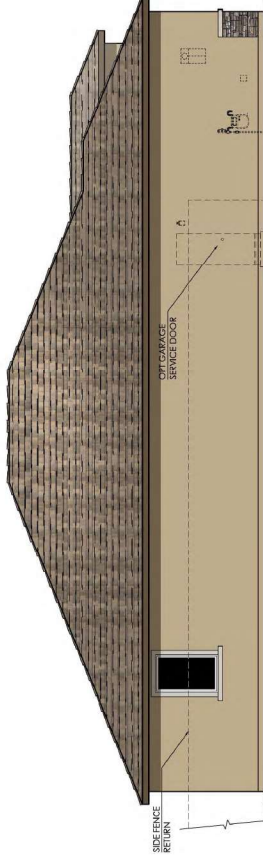
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. STANDARD COACH LIGHT
- D. DISTINCT 'B' ELEVATION GARAGE
- E. DISTINCT 'B' ELEVATION WINDOW GRIDS
- F. DISTINCT 'B' ELEVATION WINDOW GRIDS

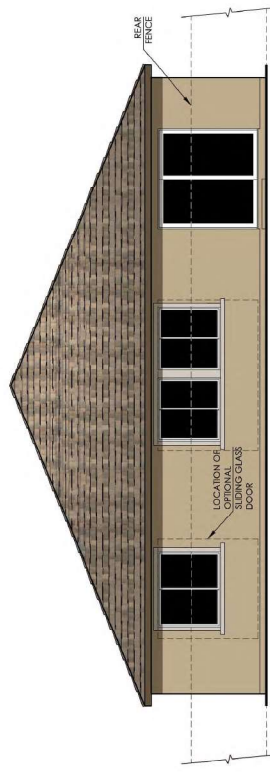


Front Elevation 'B' - Prairie

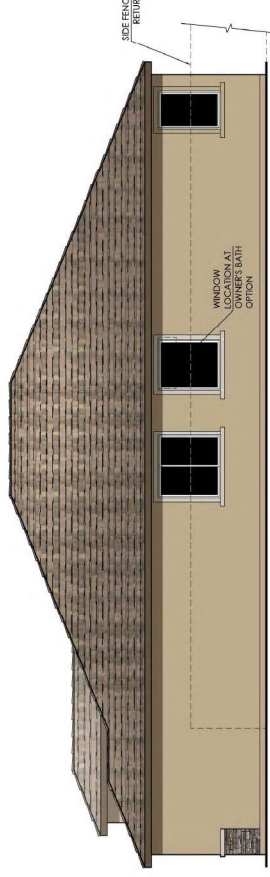
COVERED BY THE RIDGELINE AT ABLERHILL RANCH
ACCURATE REPRESENTATION OF THE PACKAGE
COVERED BY THE PACKAGE



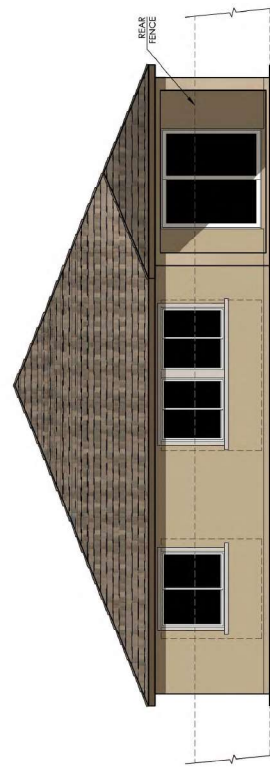
Left Elevation



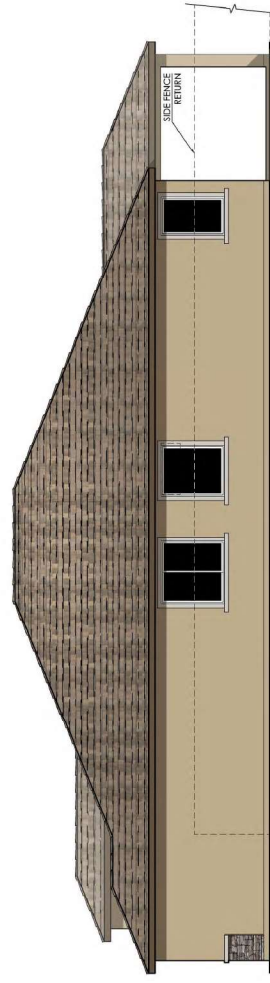
Rear Elevation



Right Elevation



Rear Elevation
with Optional Covered Patio



RIGHT ELEVATION WITH
OPTIONAL COVERED PATIO

4923-1

■ 2,304 SQ FT

RIDGELINE AT ABLERHILL RANCH

5/26/2022

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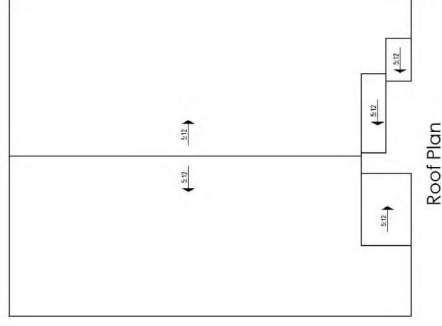
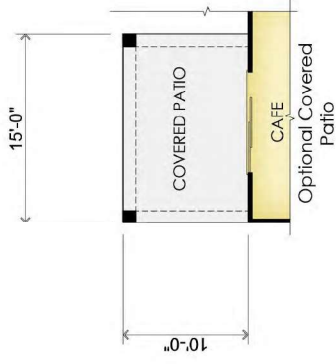


ELEVATION 'B'

Window Schedule	
Floor Plan	
A)	4'-0" x 5'-0" Slider
B)	4'-0" x 5'-0" Slider
C)	5'-0" x 5'-0" Slider
D)	4'-0" x 5'-0" Fixed
E)	3'-0" x 5'-0" Fixed
F)	4'-0" x 5'-0" Slider
G)	5'-0" x 5'-0" Slider
H)	5'-0" x 5'-0" Slider
I)	8'-0" x 8'-0" Sliding Glass Door
J)	3'-0" x 5'-0" Fixed



Floor Plan



Roof Plan

Floor Area Table	
1st Floor	2,304 SQ. FT.
2nd Floor	n/a SQ. FT.
Total	2,304 SQ. FT.
3 - Car Garage	48 SQ. FT.
Porch	48 SQ. FT.
Opt. Covered Patio	140 SQ. FT.



Exterior Wall Light
at Elevation 'C'

TO RIDGE
119'-7"

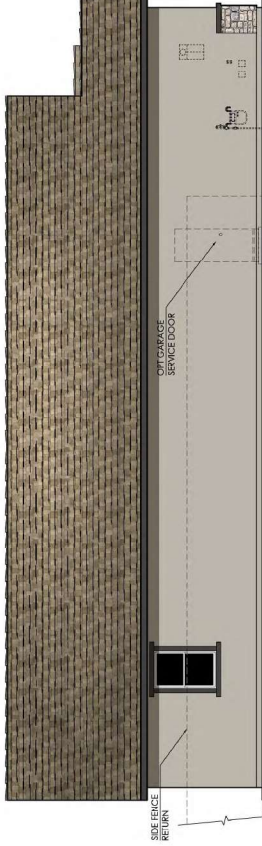
Exterior Materials

- A. TRUSCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. BRICK ON MAIN WALLS
- E. BRICK ON WINDOW ACCENTS
- F. STANDARD COACH LIGHT
- G. STANDARD COACH LIGHT GARAGE DOOR W/ OPTION WINDOWS
- H. DISTINCT 'C' ELEVATION WINDOW GRIDS

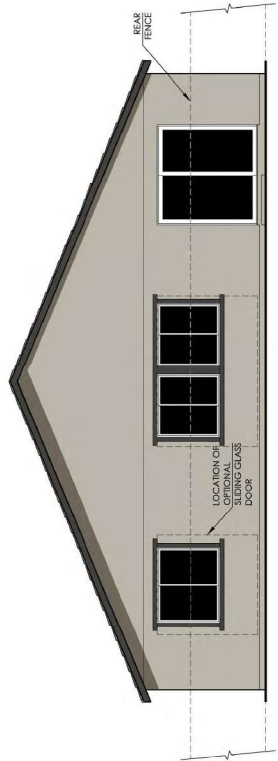


Front Elevation 'C' - Craftsman

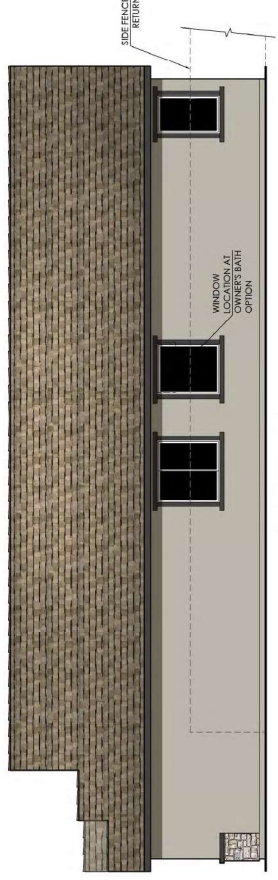
ACCENT AT THE GARAGE AND PORCH
ACCENT AT THE WINDOW
ACCENT AT THE PORCH
ACCENT AT THE PORCH



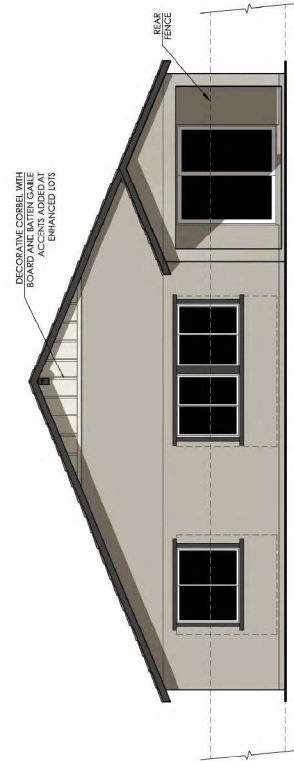
Left Elevation



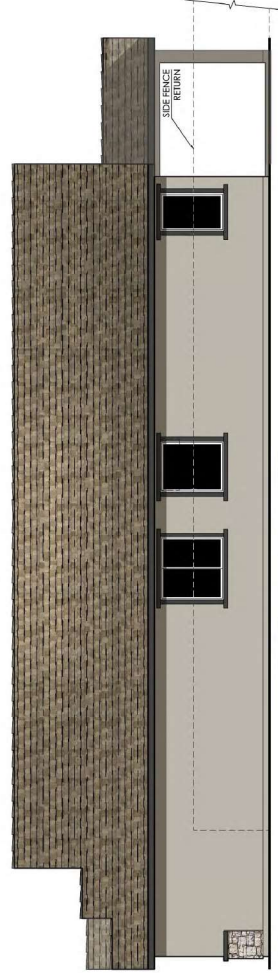
Rear Elevation



Right Elevation



Rear Elevation
with Optional Covered Patio



RIGHT ELEVATION WITH
OPTIONAL COVERED PATIO



A - SPANISH
SCHEME 28



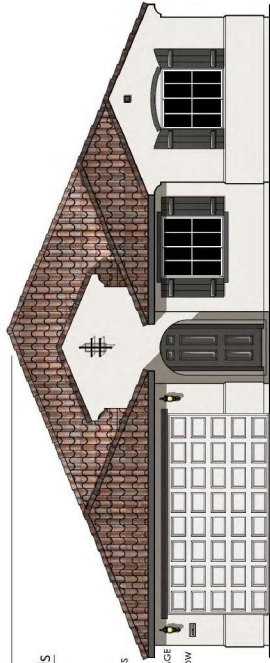
C - CRAFTSMAN
SCHEME 36



B - PRAIRIE
SCHEME 32

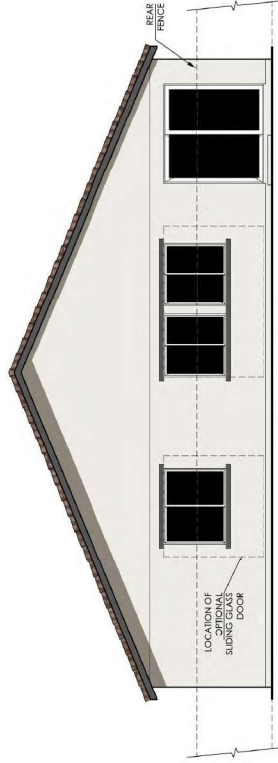
Exterior Materials

- A. TRUSS
- B. CONCRETE TILE ROOFING
- C. DECORATIVE SHUTTERS
- D. STUCCO
- E. STUCCO CORBEL LAYS
- F. STUCCO WINDOW TRIM
- G. STUCCO GARAGE DOOR
- H. DESIGN 'A' ELEVATION GARAGE DOOR
- I. DOOR W/ OPT WINDOWS
- J. DESIGN 'A' ELEVATION WINDOW ORBS

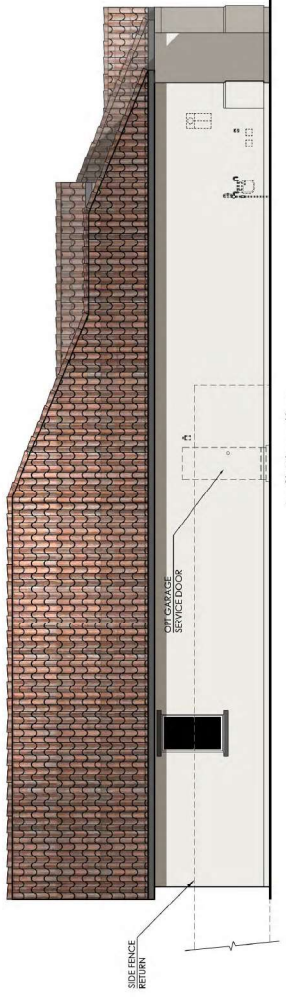


Front Elevation 'A' - Spanish

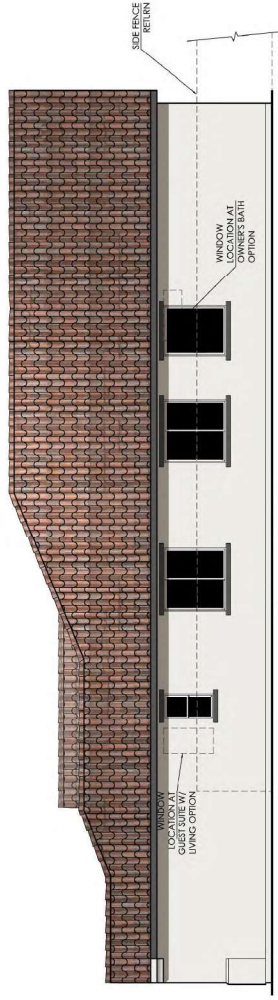
CONSIDER THIS RENDERING MAY NOT BE
ACCURATE. PLEASE REFER TO THE ARCHITECT'S
DRAWINGS FOR THE ACTUAL FINISHES.
COLORS ARE NOT TO SCALE.



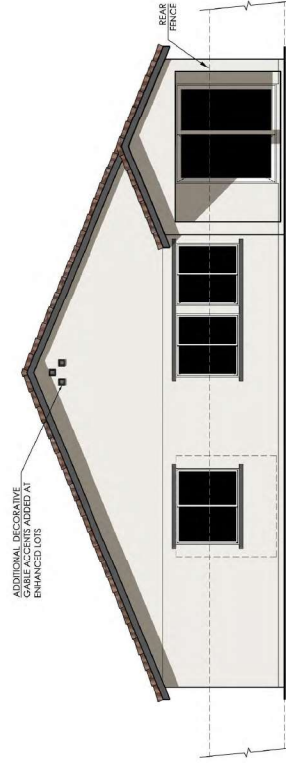
Rear Elevation



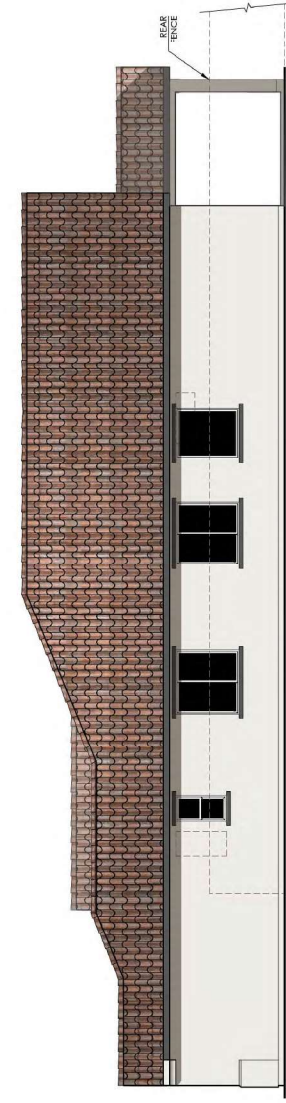
Left Elevation



Right Elevation



Rear Elevation
with Optional Covered Patio



Enhanced Right Elevation
with Optional Covered Patio

5026-2

■ 2,641 SQ FT

RIDGELINE AT ALBERHILL RANCH

5/26/2022

(c) Copyright 2022 PulteGroup, Inc. Note: Colors in this rendering may not be accurately represented due to printing. Please refer to the actual paint chips in the DR package.

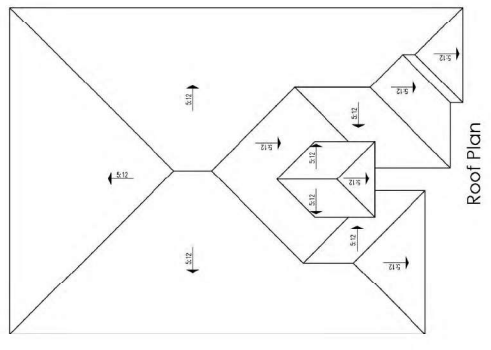
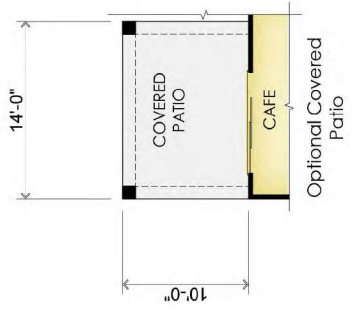
Floor Plan



Window Schedule

Floor Plan

A)	5'-0" x 5'-0" Slider
B)	5'-0" x 5'-0" Slider
C)	2'-0" x 4'-0" Single Hung
D)	5'-0" x 5'-0" Slider
E)	5'-0" x 5'-0" Slider
F)	4'-0" x 5'-0" Fixed
G)	6'-0" x 5'-0" Slider
H)	5'-0" x 5'-0" Slider
I)	5'-0" x 5'-0" Slider
J)	8'-0" x 8'-0" Sliding Glass Door
K)	3'-0" x 5'-0" Fixed
L)	4'-0" x 5'-0" Slider



Floor Area Table

1st Floor	2,641 SQ. FT.
2nd Floor	N/A SQ. FT.
Total	2,641 SQ. FT.
2- Car Garage	579 SQ. FT.
Porch	35 SQ. FT.
Opt. Covered Patio	140 SQ. FT.



Exterior Wall Light
at Elevation 'B'



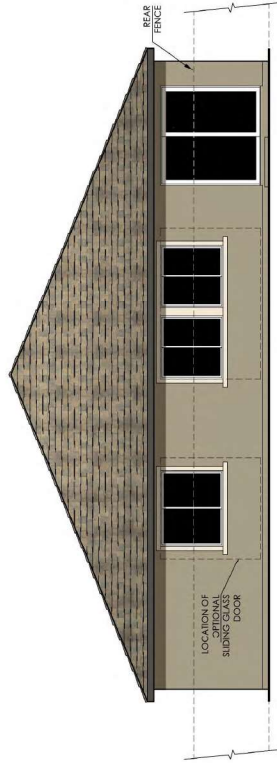
Exterior Materials

- A. STUCCO
- B. SHINGLED ROOFING
- C. SIDING
- D. STANDARD COACH LIGHT
- E. DOOR
- F. DOOR
- G. DOOR

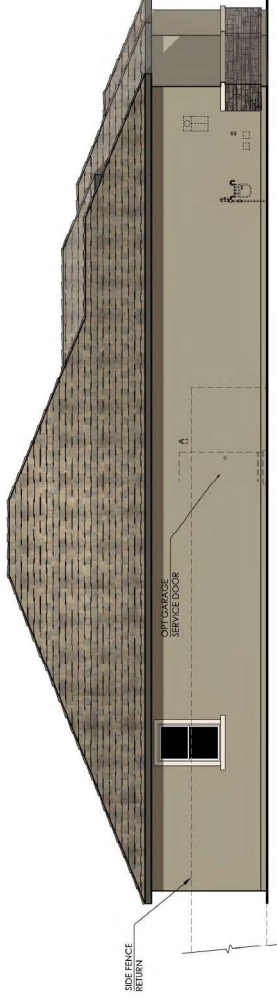


Front Elevation 'B' - Prairie

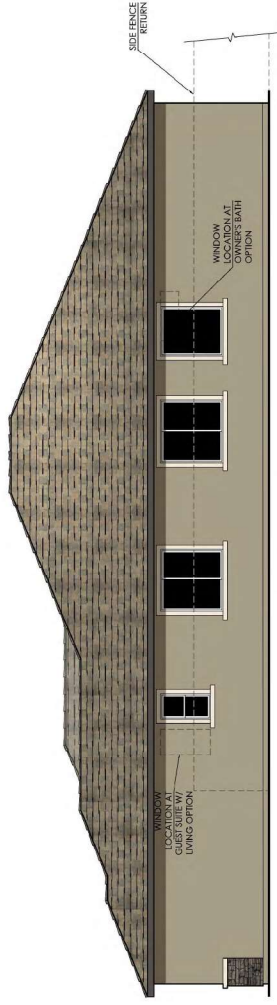
NOTES:
1. EXTERIOR MATERIALS ARE SUBJECT TO CHANGE.
2. ACCORDING TO THE LATEST PULTE GROUP DESIGN.
3. CHANGES TO THE DESIGN ARE SUBJECT TO APPROVAL BY PULTE GROUP.



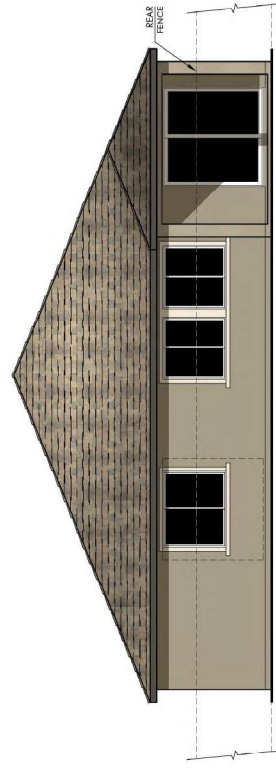
Rear Elevation



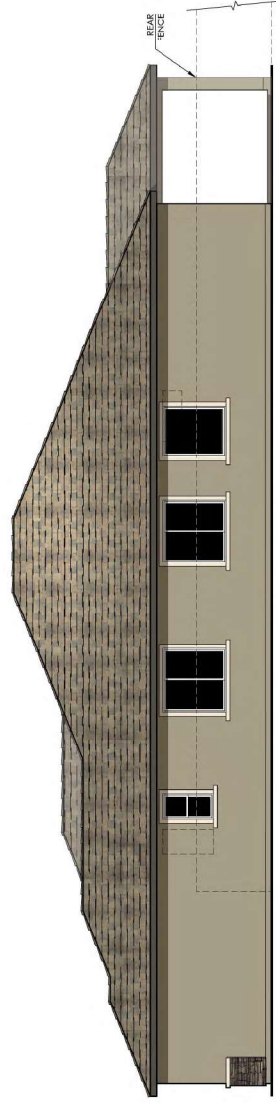
Left Elevation



Right Elevation



Rear Elevation
with Optional Covered Patio



Right Elevation
with Optional Covered Patio



5026-2

■ 2,641 SQ FT

RIDGELINE AT ALBERHILL RANCH

(c) Copyright 2022 PulteGroup, Inc. Note: Colors in this rendering may not be accurately represented due to printing. Please refer to the actual paint chips in the DR package.

5/26/2022

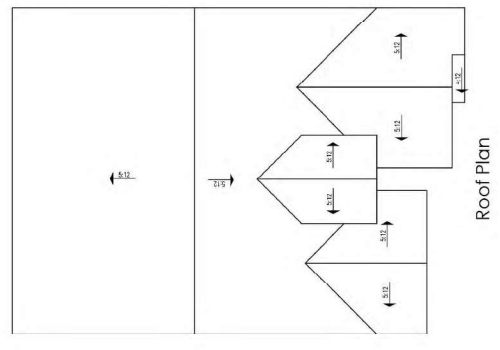
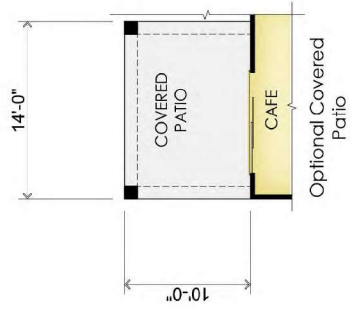
ELEVATION 'B'

Floor Plan

Window Schedule

Fixed Frame

A)	4'-0" x 5'-0" Slider
B)	4'-0" x 5'-0" Slider
C)	2'-0" x 4'-0" Single Hung
D)	5'-0" x 5'-0" Slider
E)	5'-0" x 5'-0" Slider
F)	4'-0" x 5'-0" Slider
G)	4'-0" x 5'-0" Slider
H)	5'-0" x 5'-0" Slider
I)	5'-0" x 5'-0" Slider
J)	8'-0" x 8'-0" Sliding Glass Door
K)	3'-0" x 5'-0" Fixed
L)	4'-0" x 5'-0" Slider



Floor Area Table

1st Floor	2,641 SQ. FT.
2nd Floor	N/A SQ. FT.
Total	2,641 SQ. FT.
2-Car Garage	579 SQ. FT.
Porch	55 SQ. FT.
Opt. Covered Patio	140 SQ. FT.



Exterior Wall Light at Elevation 'C'



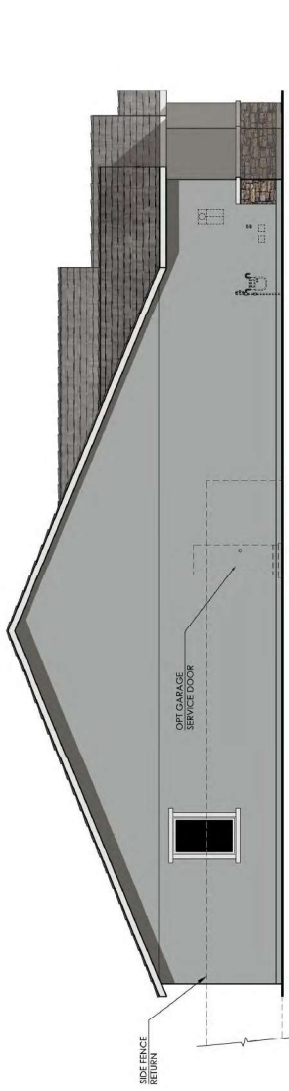
Exterior Materials

- A. BRICK
- B. SIDING
- C. DECORATIVE SHUTTERS
- D. DECORATIVE CABLE ACCENTS
- E. STANDARD COACH LIGHT
- F. DISTINCT 'C' ELEVATION GARAGE
- G. DISTINCT 'C' ELEVATION WINDOW GRIDS
- H. DISTINCT 'C' ELEVATION WINDOW GRIDS

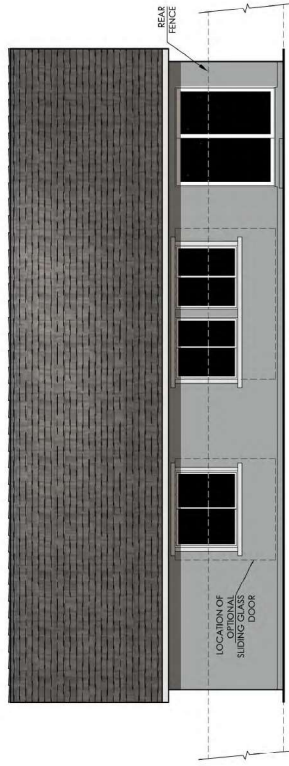


Front Elevation 'C' - Craftsman

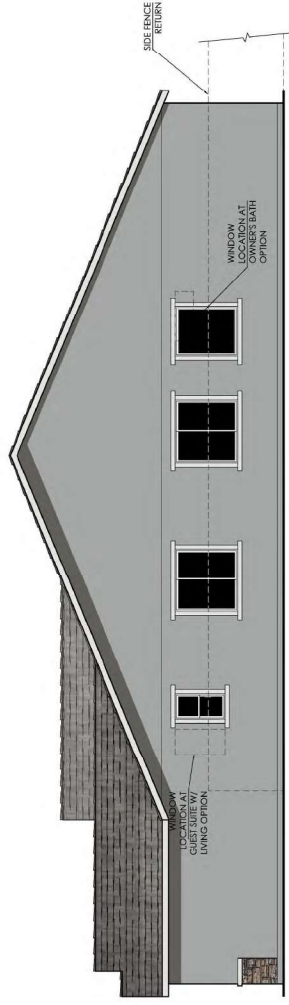
NOTES:
1. GARAGE FINISH IS BRICK.
2. GARAGE DOOR IS WHITE.
3. GARAGE DOOR IS WHITE.
4. GARAGE DOOR IS WHITE.
5. GARAGE DOOR IS WHITE.



Left Elevation



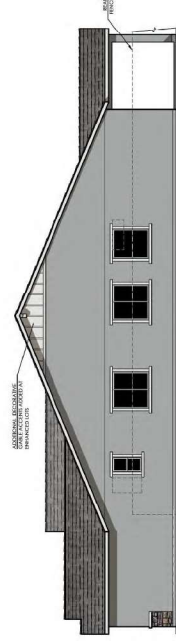
Rear Elevation



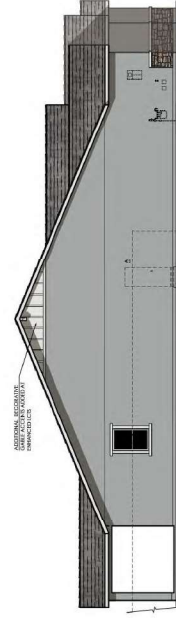
Right Elevation



Rear Elevation
with Optional Covered Patio



Right Elevation
with Optional Covered Patio



Left Elevation
with Optional Covered Patio



5026-2

■ 2,641 SQ FT

RIDGELINE AT ALBERHILL RANCH

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5/26/2022

ELEVATION 'C'

Crestly at Alberhill Ranch- Series 1 - Lake Elsinore, cA

Centex Homes

Exterior Color Schemes Document

COLORS BY:  MICHELLE BRIDGES - ARCHITECTURAL COLORS, INC.
SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022 Per city review B Stucco accent added in
7.25.2022 For approval

STUCCO: Omega Stucco - Lace Finish PAINT: Sherwin Williams or equal ROOF: Borai Roofing or equal GARAGE DOORS: Amarr Gd or equal / or paint	STONE: EL Dorado Stone Veneer or equal BRICK: El Dorado Thin Brick Veneer or equal MORTAR: See below GUTTERS/ DOWNSPOUTS: RGS or equal
--	---

A' - SPANISH ELEVATIONS

COLOR SCHEME COLOR APPLICATION	1	2	3
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 6070 HERON PLUME	SW 7568 NEUTRAL GROUND	SW 7051 ANALYTICAL GRAY
WOOD FASCIA / EAVES / CLAY DÉCOR PIPES/ GABLE DÉCOR	SW 7020 BLACK FOX	SW 6151 QUIVER TAN	SW 7055 ENDURING BRONZE
ALL TRIM / STUCCO ACCENT	SW 7020 BLACK FOX	SW 7546 PRAIRIE GRASS	SW 7046 ANONYMOUS
GARAGE DOORS	DARK BROWN (OR PAINT SW 9183 DARK CLOVE)	SANDTONE (OR PAINT SW 7633 TAUPE TONE)	TERRATONE (OR PAINT SW 7055 ENDURING BRONZE)
ENTRY DOORS / SHUTTERS	SW 2739 CHARCOAL BLUE	SW 2837 AURORA BROWN	SW 9182 ROJO MARRON
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: LOW 'S' PROFILE	1VICS 3940 VILLA CLIFFSIDE	1VICS 7970 VILLA RED CASTLE	1VICS 3182 VILLA GARNET BLEND

B' - PRAIRIE ELEVATIONS

COLOR SCHEME COLOR APPLICATION	4	5	6
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7543 AVENUE TAN	SW 7512 PAVILLION BEIGE	SW 7650 ELLIE GRAY
FASCIA / EAVES	SW 7047 PORPOISE	SW 6075 GARRET GRAY	SW 7674 PEPPERCORN
ALL TRIM	SW 2829 CLASSICAL WHITE	SW 7001 MARSHMALLOW	SW 9166 DRIFT OF MIST
STUCCO ACCENT	SW 7053 ADAPTIVE SHADE	SW 7508 TAVERN TAUPE	SW 7067 CITYSCAPE
GARAGE DOORS	SANDTONE (OR PAINT SW 7633 TAUPE TONE)	SANDTONE (OR PAINT SW 7633 TAUPE TONE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)
ENTRY DOORS	SW 7725 YEARLING	SW 6990 CAVIAR	SW 6237 DARK NIGHT
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SHAKE PROFILE	1FBCJ 0300 BRONZE PEARL BLEND	1FBCJ 3181 SMOKEY TOPAZ BLEND	1FBCJ 1430 CHARCOAL BLEND

C' - CRAFTSMAN ELEVATIONS

COLOR SCHEME COLOR APPLICATION	7	8	9
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7539 CORK WEDGE	SW 9167 POLISHED CONCRETE	SW 9174 MOTH WING
FASCIA / EAVES / CORBELS GABLE VERTICAL & HORIZONTAL TRIM	SW 7645 THUNDER GRAY	SW 7027 WELL BRED BROWN	SW 7040 SMOKEHOUSE
ALL TRIM	SW 7029 AGREEABLE GRAY	SW 7101 FUTON	SW 7051 ANALYTICAL GRAY
GARAGE DOORS	SANDTONE (or paint SW 7633 TAUPE TONE)	DARK BROWN (or paint SW 9183 DARK CLOVE)	SANDTONE (or paint SW 7633 TAUPE TONE)
ENTRY DOORS / SHUTTERS	SW 6097 STURDY BROWN	SW 2740 MINERAL GRAY	SW 6207 RETREAT
STONE VENEER TIGHTFIT/DRYSTACK JOINTS	BOARDWALK CLIFFSTONE	WHITE BARK CLIFFSTONE	MONTECITO CLIFFSTONE
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SLATE PROFILE	1FACS 0141 BUCKSKIN	1FACS 5047 EBONY	1FACS 1132 CHARCOAL BROWN

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MBACI shall not be held liable for any errors or product failure on manufacturers or contractor/subcontractors part in the field (i.e. stucco, masonry, paint manufacturers errors, etc).

NOTE: GUTTERS & DOWNSPOUTS / MANDOORS & VENTS TO BE PAINTED ADJACENT COLOR

NOTE: ALL PAINT BREAKS TO BE TURNED AND FINISHED AT INSIDE CORNERS UNLESS OTHERWISE NOTED INCLUDING UNDER BALCONIES/CANTILEVERS- UNLESS OTHERWISE NOTED

NOTE: SUBSTITUTIONS FOR ANY MATERIALS ARE NOT TO BE MADE WITHOUT THE FINAL APPROVAL FROM MBACI OFFICE.

NOTE: SIDE ENHANCED ELEVATIONS TO RECEIVE TYPICAL TREATMENTS AS FRONT ELEVATIONS. - SEE ELEVATIONS FOR COLOR PLACEMENT

**NOTE: STUCCO has been eye matched to paint by MBACI for rendering use only. Do not use this paint color in field or for an exact match to stucco.

NOTE: All photographs of stone, brick, masonry and roof tiles are for representation only - See actual samples for exact colors.

MBACI not responsible for manufacturer color printed materials being off from actual materials.

Above Color Schemes are exclusive property of MBACI. Any reuse of any C & M Selections other than at above said property must receive approval by MBACI

Crestly at Alberhill Ranch - Series 1 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022

COLOR SCHEME COLOR APPLICATION		
1		
ROOF MATERIAL: LOW 'S' PROFILE		1VICS 3940 VILLA CLIFFSIDE
		To be matched SW 6070 HERON PLUME SW 7020 BLACK FOX SW 7020 BLACK FOX DARK BROWN (OR PAINT SW 9183 DARK CLOVE) SW 2739 CHARCOAL BLUE
2		
ROOF MATERIAL: LOW 'S' PROFILE		1VICS 7970 VILLA RED CASTLE
		To be matched SW 7548 NEUTRAL GROUND SW 6151 QUIVER TAN SW 7546 PRAIRIE GRASS SANDSTONE (OR PAINT SW 7633 TAUPE TONE) SW 2837 AURORA BROWN
3		
ROOF MATERIAL: LOW 'S' PROFILE		1VICS 3182 VILLA GARNET BLEND
		To be matched SW 7051 ANALYTICAL GRAY SW 7055 ENDURING BRONZE SW 7046 ANONYMOUS TERRATONE (OR PAINT SW 7055 ENDURING BRONZE) SW 9182 ROJO MARRON

A' - Spanish Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Baral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Crestly at Alberhill Ranch - Series 1 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022

COLOR SCHEME
COLOR APPLICATION

4



ROOF MATERIAL:
FLAT SHAKE PROFILE

1FBCJ 0300
BRONZE PEARL BLEND

STUCCO BODY	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD.	SW 7543 AVENUE TAN
FASCIA / EAVES	SW 7047 PORPOISE
ALL TRIM	SW 2829 CLASSICAL WHITE
STUCCO ACCENT	SW 7053 ADAPTIVE SHADE
GARAGE DOORS	SANDTONE (OR PAINT SW 7633 TAUPE TONE)
ENTRY DOORS	SW 7725 YEARLING

5



1FBCJ 3181
SMOKEY TOPAZ BLEND

To be matched	SW 7512 PAVILLON BEIGE
	SW 6075 GARRET GRAY
	SW 7001 MARSHMALLOW
	SW 7508 TAVERTAUPE
	SANDTONE (OR PAINT SW 7633 TAUPE TONE)
	SW 6990 CAVIAR

6



1FBCJ 1430
CHARCOAL BLEND

To be matched	SW 7650 ELLIE GRAY
	SW 7674 PEPPERCORN
	SW 9166 DRIFT OF MIST
	SW 7047 CITYSCAPE
	TRUE WHITE (or paint SW 7054 RESERVED WHITE)
	SW 4237 DARK NIGHT

B' - Prairie Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Crestly at Alberhill Ranch - Series 1 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022

COLOR SCHEME
COLOR APPLICATION

7



ROOF MATERIAL:
FLAT SLATE PROFILE

1FACS 0141
BUCKSKIN

STUCCO BODY	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY DO NOT USE IN FIN. FIELD	SW 7539 CORK WEDGE
FASCIA / EAVES / CORBELS / GABLE VERTICAL & HORIZONTAL TRIM	SW 7645 THUNDER GRAY
ALL TRIM	SW 7029 AGREEABLE GRAY
GARAGE DOORS	SANDTONE (or paint SW 7633 TAUPE TONE)
ENTRY DOORS / SHUTTERS	SW 6097 STURDY BROWN



STONE VENEER

BOARDWALK
CLIFFSTONE

8



1FACS 3047
EBONY

To be matched
SW 9167 POLISHED CONCRETE
SW 7027 WELL BREED BROWN
SW 7101 FUTON
DARK BROWN (or paint SW 9183 DARK CLOVE)
SW 2740 MINERAL GRAY



WHITE BARK
CLIFFSTONE

9



1FACS 1132
CHARCOAL BROWN

To be matched
SW 9174 MOTH WING
SW 7040 SMOKEHOUSE
SW 7051 ANALYTICAL GRAY
SANDTONE (or paint SW 7633 TAUPE TONE)
SW 6207 RETREAT



MONTECITO
CLIFFSTONE

C' - Craftsman Elevations

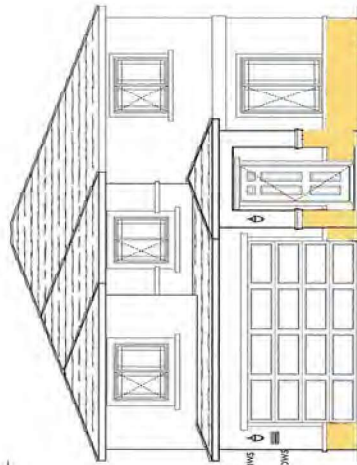
STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

10' 0" 30' 0"

Exterior Materials

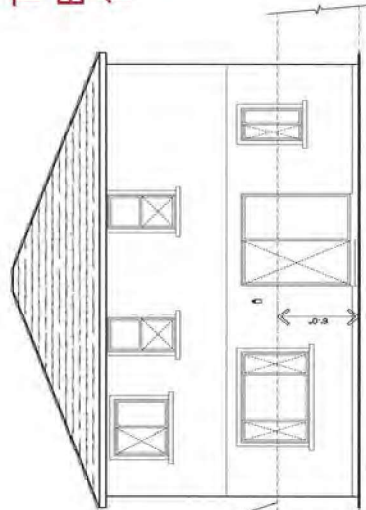
- A. STUCCO
- B. 1/2" x 1/2" x 1/2" x 1/2"
- C. DECORATIVE SHUTTERS AT ENHANCED LOTS
- D. STUCCO WINDOW TRIM AND AKA OF RECESSED WINDOWS
- E. STANDARD COACH LIGHT
- F. STANDARD COACH LIGHT
- G. DISTINCT 8" ELEVATION GARAGE DOOR WINDOW



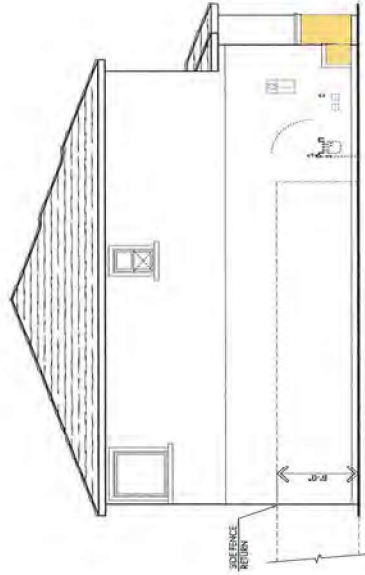
Front Elevation 'B' - Prairie

SECONDARY BODY COLOR

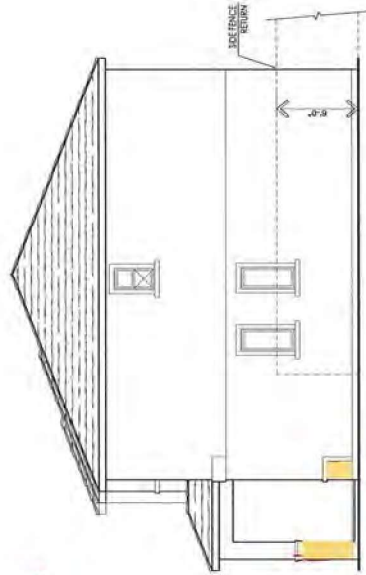
TYPICAL ALL B ELEVS
12.15.2022



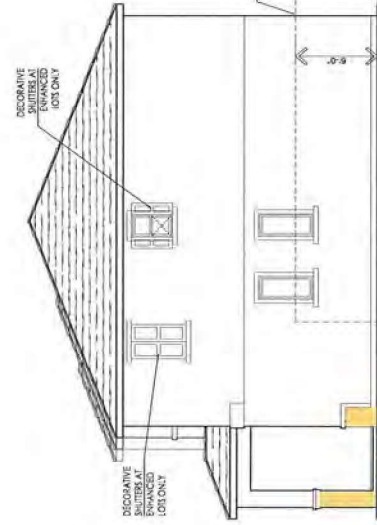
Rear Elevation



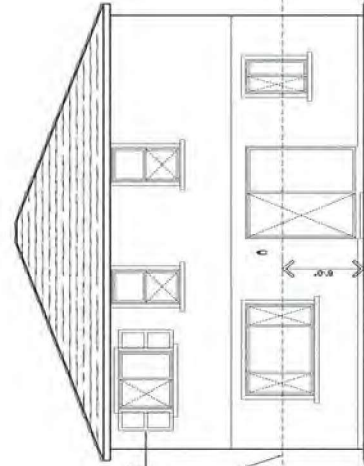
Left Elevation



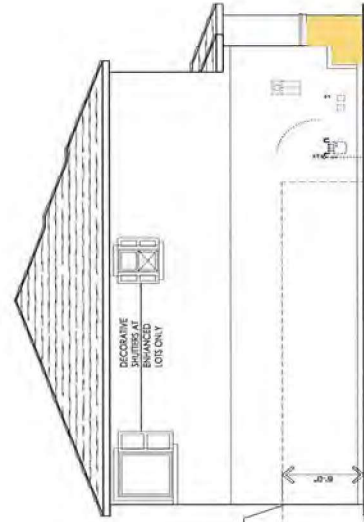
Right Elevation



Right Elevation "Enhanced"



Rear Elevation "Enhanced"



Left Elevation "Enhanced"

Fairfield at Alberhill Ranch- Series 2 - Lake Elsinore, cA

Pulte Homes

Exterior Color Schemes Document

COLORS BY:  MICHELLE BRIDGES - ARCHITECTURAL COLORS, INC.
SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022 Per city review B Stucco accent added in
7.25.2022 For approval

STUCCO: Omega Stucco - Lace Finish PAINT: Sherwin Williams or equal ROOF: Boral Roofing or equal GARAGE DOORS: Amarr Gd or equal / or aint		STONE: EL Dorado Stone Veneer or equal BRICK: El Dorado Thin Brick Veneer or equal MORTAR: See below GUTTERS/ DOWNSPOUTS: RGS or equal	
A' - SPANISH ELEVATIONS			
COLOR SCHEME COLOR APPLICATION	10	11	12
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 6070 HERON PLUME	SW 7628 WINDFRESH WHITE	SW 7507 STONELION
WOOD FASCIA / EAVES / CLAY DÉCOR PIPES/ GABLE DÉCOR	SW 7020 BLACK FOX	SW 7047 PORPOISE	SW 9183 DARK CLOVE
ALL TRIM	SW 7020 BLACK FOX	SW 9169 CHATURA GRAY	SW 7033 BRAINSTORM BROWN
GARAGE DOORS	DARK BROWN (OR PAINT SW 9183 DARK CLOVE)	SANDTONE (or paint SW 7633 TAUPE TONE)	DARK BROWN (OR PAINT SW 9183 DARK CLOVE)
ENTRY DOORS / SHUTTERS	SW 2739 CHARCOAL BLUE	SW 6006 BLACK BEAN	SW 6201 THUNDEROUS
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: LOW 'S' PROFILE	1VICS 3940 VILLA CLIFFSIDE	1VICS 6464 VILLA CAL MISSION BLEND	1VICS 3182 VILLA GARNET BLEND
B' - PRAIRIE ELEVATIONS			
COLOR SCHEME COLOR APPLICATION	13	14	15
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7543 AVENUE TAN	SW 7050 USEFUL GRAY	SW 7023 REQUISITE GRAY
FASCIA / EAVES	SW 7047 PORPOISE	SW 7068 GRIZZLE GRAY	SW 7019 GAUNTLET GRAY
ALL TRIM	SW 2829 CLASSICAL WHITE	SW 6070 HERON PLUME	SW 7021 SIMPLE WHITE
STUCCO ACCENT	SW 7053 ADAPTIVE SHADE	SW 7655 STAMPED CONCRETE	SW 9168 ELEPHANT EAR
GARAGE DOORS	SANDTONE (OR PAINT SW 7633 TAUPE TONE)	GRAY (OR PAINT SW 7650 - ELLIE GRAY)	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)
ENTRY DOORS	SW 7062 ROCK BOTTOM	SW 6990 CAVIAR	SW 7675 SEALSKIN
SHUTTERS	SW 7725 YEARLING	SW 7605 GALE FORCE	SW 2735 ROCKWEED
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SHAKE PROFILE	1FBCJ 0300 BRONZE PEARL BLEND	1FBCJ 1430 CHARCOAL BLEND	1FBCJ 1132 CHARCOAL BROWN BLEND
C' - CRAFTSMAN ELEVATIONS			
COLOR SCHEME COLOR APPLICATION	16	17	18
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 9167 POLISHED CONCRETE	SW 7064 PASSIVE	SW 9084 COCOA WHIP
FASCIA / EAVES / CORBELS GABLE VERTICAL & HORIZONTAL TRIM	SW 7027 WELL BRED BROWN	SW 6236 GRAYS HARBOR	SW 6385 DOVER WHITE
ALL TRIM	SW 7101 FUTON	SW 7004 SNOWBOUND	SW 6385 DOVER WHITE
GARAGE DOORS	DARK BROWN (or paint SW 9183 DARK CLOVE)	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)
ENTRY DOORS / SHUTTERS	SW 2740 MINERAL GRAY	SW 7630 RAISIN	SW 6991 BLACK MAGIC
STONE VENEER TIGHTFIT/DRystack JOINTS	WHITE BARK CLIFFSTONE	BANFF SPRINGS CLIFFSTONE	MONTECITO CLIFFSTONE
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SLATE PROFILE	1FACS 1132 CHARCOAL BROWN	1FACS 5047 EBONY	1FACS 1430 CHARCOAL BLEND

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NOTE: GUTTERS & DOWNSPOUTS / MANDOORS & VENTS TO BE PAINTED ADJACENT COLOR

NOTE: ALL PAINT BREAKS TO BE TURNED AND FINISHED AT INSIDE CORNERS UNLESS OTHERWISE NOTED INCLUDING UNDER BALCONIES/CANTILEVERS- UNLESS OTHERWISE NOTED

NOTE: SUBSTITUTIONS FOR ANY MATERIALS ARE NOT TO BE MADE WITHOUT THE FINAL APPROVAL FROM MBACI OFFICE.

NOTE: SIDE ENHANCED ELEVATIONS TO RECEIVE TYPICAL TREATMENTS AS FRONT ELEVATIONS. - SEE ELEVATIONS FOR COLOR PLACEMENT

**NOTE: STUCCO has been eye matched to paint by MBACI for rendering use only. Do not use this paint color in field or for an exact match to stucco.

NOTE: All photographs of stone, brick, masonry and roof tiles are for representation only - See actual samples for exact colors.

MBACI not responsible for manufacturer color printed materials being off from actual materials.

Above Color Schemes are exclusive property of MBACI. Any reuse of any C & M Selections other than at above said property must receive approval by MBACI

Fairfield at Alberhill Ranch - Series 2 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022

COLOR SCHEME COLOR APPLICATION		10	11	12
ROOF MATERIAL: LOW 'S' PROFILE				
1VICS 3940 VILLA CLIFFSIDE			1VICS 4464 VILLA CAL MISSION BLEND	1VICS 3182 VILLA GARNET BLEND
STUCCO BODY	To be matched			
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY DO NOT USE PAINT IN FIELD		SW 6070 HERON PLUME	SW 7628 WINDFRESH WHITE	SW 7507 STONELION
WOOD FASCIA / EAVES / CLAY DÉCOR PIPES/ GABLE DÉCOR		SW 7020 BLACK FOX	SW 7047 PORPOISE	SW 9183 DARK CLOVE
ALL TRIM		SW 7020 BLACK FOX	SW 9169 CHATURA GRAY	SW 7033 BRAINSTORM BROWN
GARAGE DOORS		DARK BROWN (OR PAINT SW 9183 DARK CLOVE)	SANDTONE (or paint SW 7633 TAUPE TONE)	DARK BROWN (OR PAINT SW 9183 DARK CLOVE)
ENTRY DOORS / SHUTTERS		SW 2739 CHARCOAL BLUE	SW 6006 BLACK BEAN	SW 6201 THUNDEROUS

A' - Spanish Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Fairfield at Alberhill Ranch - Series 2 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022

COLOR SCHEME
COLOR APPLICATION

13



ROOF MATERIAL:
FLAT SHAKE PROFILE

1FBCJ10300
BRONZE PEARL BLEND

14



1FBCJ1430
CHARCOAL BLEND

15



1FBCJ11132
CHARCOAL BROWN BLEND

STUCCO BODY	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD.	SW 7543 AVENUE TAN
FASCIA / EAVES	SW 7047 PORPOISE
ALL TRIM	SW 2829 CLASSICAL WHITE
STUCCO ACCENT	SW 7053 ADAPTIVE SHADE
GARAGE DOORS	SANDTONE (OR PAINT SW 7633 TAUPE TONE)
ENTRY DOORS	SW 7062 ROCK BOTTOM
SHUTTERS	SW 7725 YEARLING

To be matched	SW 7050 USEFUL GRAY
	SW 7068 GRIZZLE GRAY
	SW 6070 HERON PLUME
	SW 7655 STAMPED CONCRETE
	GRAY (OR PAINT SW 7650 - ELLIE GRAY)
	SW 6990 CAVIAR
	SW 7605 GALE FORCE

To be matched	SW 7023 REQUISITE GRAY
	SW 7019 GAUNTLET GRAY
	SW 7021 SIMPLE WHITE
	SW 9168 ELEPHANT EAR
	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)
	SW 7675 SEALSKIN
	SW 2735 ROCKWEED

B' - Prairie Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Fairfield at Alberhill Ranch - Series 2 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

12.15.2022

COLOR SCHEME
COLOR APPLICATION

16

17

18



ROOF MATERIAL:
FLAT SLATE PROFILE

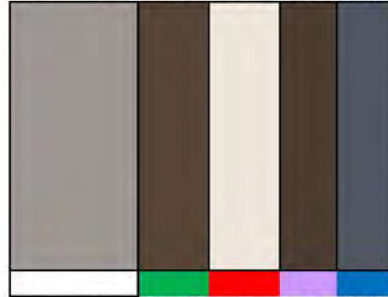
1FACS 1132
CHARCOAL BROWN



1FACS 5047
EBONY



1FACS 1430
CHARCOAL BLEND



STUCCO BODY

STUCCO BODY PAINT MATCH TEST
RENDERING/ BRICKER PURPOSE ONLY
DO NOT USE PAINT IN FIELD

FASCIA / EAVES / CORBELS /
GABLE VERTICAL &
HORIZONTAL TRIM

ALL TRIM

GARAGE DOORS

ENTRY DOORS /
SHUTTERS

To be matched

SW 9167
POLISHED CONCRETE

SW 7027
WELL BRED BROWN

SW 7101
FUTON

DARK BROWN
(or paint SW 9183 DARK CLOVE)

SW 2740
MINERAL GRAY

To be matched

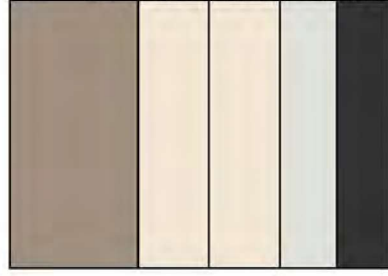
SW 7064
PASSIVE

SW 6236
GRAY'S HARBOR

SW 7004
SNOWBOUND

TRUE WHITE
(OR PAINT SW 7056
RESERVED WHITE)

SW 7630
RAISIN



To be matched

SW 9084
COCOA WHIP

SW 6385
DOVER WHITE

SW 6385
DOVER WHITE

TRUE WHITE
(OR PAINT SW 7056 RESERVED
WHITE)

SW 6991
BLACK MAGIC



STONE VENEER

WHITE BARK
CLIFFSTONE



BANFF SPRINGS
CLIFFSTONE



MONTECITO
CLIFFSTONE

C' - Craftsman Elevations

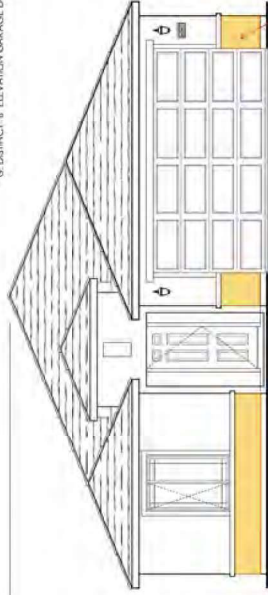
STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Exterior Materials

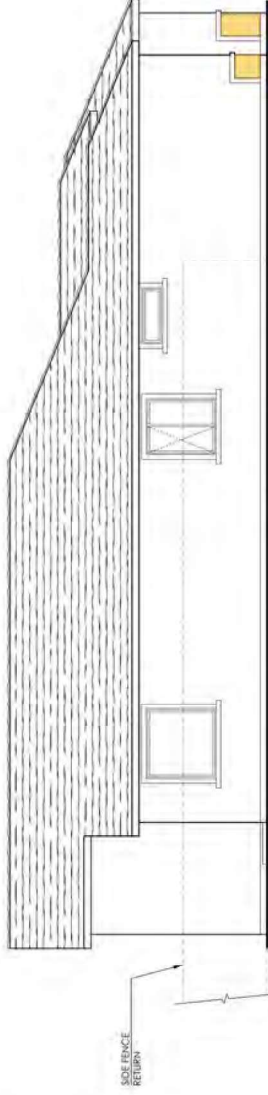
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. STUCCO WINDOW TRIM
- D. STANDARD COACH LIGHT
- E. STANDARD WINDOW TRIM
- F. DISTINCT 'B' ELEVATION WINDOW CROSS
- G. DISTINCT 'B' ELEVATION GARAGE DOOR W/ OPT. WINDOWS

4" TO RIDGE
17' 3"

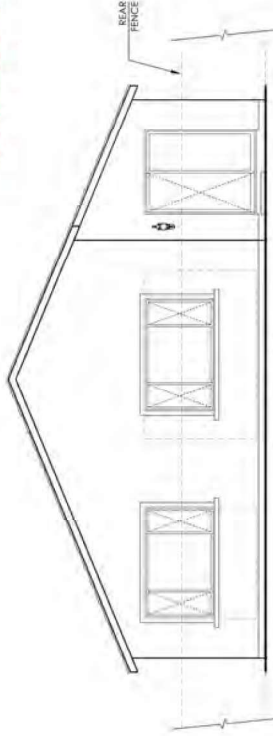


Front Elevation 'B' - Prairie

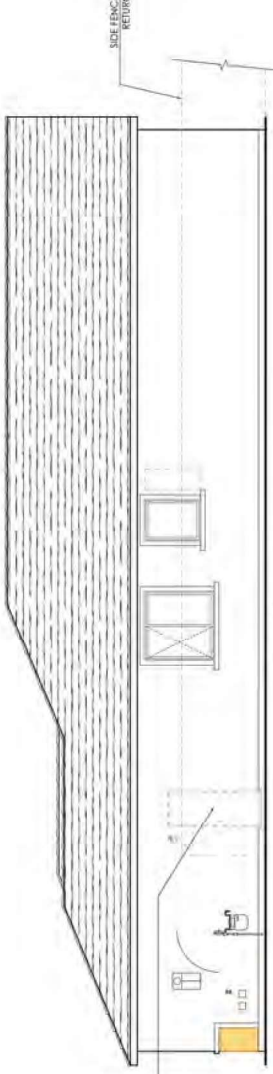
Secondary Stucco
Accent body
Typical all B elevs
12.15.2022



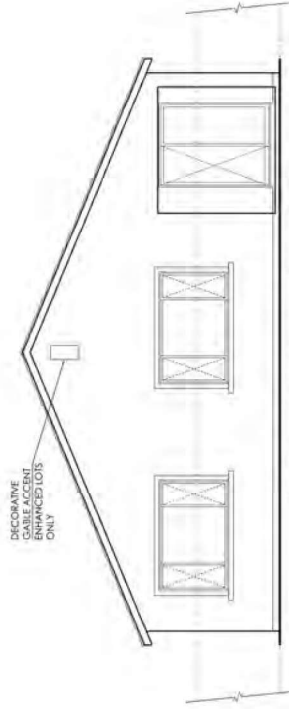
Left Elevation



Rear Elevation



Right Elevation



Rear Elevation shown "Enhanced" and with Optional Covered Patio

Linden at Alberhill Ranch- Series 3 - Lake Elsinore, cA

Pulte Homes

Exterior Color Schemes Document

COLORS BY:  MICHELLE BRIDGES - ARCHITECTURAL COLORS, INC.
SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For approval

STUCCO: Omega Stucco - Lace Finish PAINT: Sherwin Williams or equal ROOF: Boral Roofing or equal GARAGE DOORS: Amarr Gd or equal / or aint	STONE: EL Dorado Stone Veneer or equal BRICK: El Dorado Thin Brick Veneer or equal MORTAR: Orco Blended Products or equal GUTTERS/ DOWNSPOUTS: RGS or equal
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A' - SPANISH ELEVATIONS

COLOR SCHEME COLOR APPLICATION	19	20	21
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7005 PURE WHITE	SW 7628 WINDFRESH WHITE	SW 9165 GOSSAMER VEIL
ENTRY DOORS /WOOD FASCIA / EAVES / CLAY DÉCOR PIPES/ GABLE DÉCOR	SW 7674 PEPPERCORN	SW 7645 THUNDER GRAY	SW 7046 ANONYMOUS
ALL TRIM	SW 7674 PEPPERCORN	SW 9170 ACIER	SW 7004 SNOWBOUND
GARAGE DOORS	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)	GRAY (or paint SW 7650 ELLIE GRAY)	SANDTONE (or paint SW 7633 TAUPE TONE)
SHUTTERS	SW 7069 IRON ORE	SW 0020 PEACOCK PLUME	SW 6144 DAPPER TAN
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: LOW 'S' PROFILE	1VICS 6464 VILLA CAL MISSION BLEND	1VICS 3182 VILLA GARNET BLEND	1VICS 0431 VILLA APPLE BARK

B' - PRAIRIE ELEVATIONS

COLOR SCHEME COLOR APPLICATION	22	23	24
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 6378 CRISP LINEN	SW 7507 STONELION	SW 7643 PUSSYWILLOW
FASCIA / EAVES	SW 7020 BLACK FOX	SW 7048 URBANE BRONZE	SW 6076 TURKISH COFFEE
ALL TRIM	SW 7528 WINDSOR GREIGE	SW 6378 CRISP LINEN	SW 7632 MODERN GRAY
GARAGE DOORS	DARK BROWN (or paint SW 9183 DARK CLOVE)	SANDTONE (or paint SW 7633 TAUPE TONE)	TERRATONE (or paint SW 7055 ENDURING BRONZE)
ENTRY DOORS	SW 7061 NIGHT OWL	SW 7675 SEALSKIN	SW 9182 ROJO MARRON
STONE VENEER TIGHTFIT/DRystack JOINTS	NANTUCKET STACKED STONE	BLACK RIVER STACKED STONE	CHAPEL HILL STACKED STONE
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SHAKE PROFILE	1FBCJ 1132 CHARCOAL BROWN BLEND	1FBCJ 0300 BRONZE PEARL BLEND	1FBCJ 1430 CHARCOAL BLEND

C' - CRAFTSMAN ELEVATIONS

COLOR SCHEME COLOR APPLICATION	25	26	27
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 6255 MORNING FOG	SW 1015 SKYLINE STEEL	SW 6087 TRUSTY TAN
FASCIA / EAVES / CORBELS GABLE VERTICAL & HORIZONTAL TRIM	SW 7757 HIGH REFLECTIVE WHITE	SW 7069 IRON ORE	SW 7002 DOWNY
ALL TRIM	SW 7063 NEBULOUS WHITE	SW 7008 ALABASTER	SW 7002 DOWNY
GARAGE DOORS	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)
ENTRY DOORS / SHUTTERS	SW 6258 TRICORN BLACK	SW 9142 MOSCOW MIDNIGHT	SW 6083 SABLE
STONE VENEER MORTAR FLUSH TO FACE OF STONE	GRAND BANKS LIMESTONE / WHITE MORTAR	ANDANTE FIELDLEDGE / MISTY COVE MORTAR	VERONA HILLSTONE / SOFT TAN MORTAR
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SLATE PROFILE	1FACS 5047 EBONY	1FACS 1430 CHARCOAL BLEND	1FACS 1132 CHARCOAL BROWN

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Linden at Alberhill Ranch - Series 3 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For Approval

COLOR SCHEME
COLOR APPLICATION

19



ROOF MATERIAL:
LOW 'S' PROFILE

1VICS 6464
VILLA CAL MISSION BLEND

STUCCO BODY	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7005 PURE WHITE
ENTRY DOORS / WOOD FASCIA / EAVES / CLAY DECOR PIPES/ GABLE DECOR	SW 7674 PEPPERCORN
ALL TRIM	SW 7674 PEPPERCORN
GARAGE DOORS	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)
SHUTTERS	SW 7069 IRON ORE

20



1VICS 3182
VILLA GARNET BLEND

To be matched	SW 7628 WINDFRESH WHITE
	SW 7645 THUNDER GRAY
	SW 9170 ACIER
	GRAY (or paint SW 7650 ELUE GRAY)
	SW 0020 PEACOCK PLUME

21



1VICS 0431
VILLA APPLE BARK

To be matched	SW 9165 GOSSAMER VEIL
	SW 7046 ANONYMOUS
	SW 7004 SNOWBOUND
	SANDTONE (or paint SW 7633 TAUPE TONE)
	SW 6144 DAPPER TAN

A' - Spanish Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Linden at Alberhill Ranch - Series 3 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For Approval

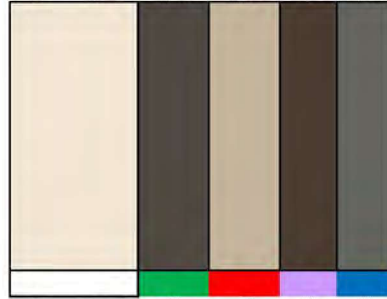
COLOR SCHEME
COLOR APPLICATION

22



ROOF MATERIAL:
FLAT SHAKE PROFILE

1FBCJ 1132
CHARCOAL BROWN BLEND



STUCCO BODY

STUCCO BODY PAINT MATCH FOR
RENDERING/ BINDER PURPOSE ONLY
DO NOT USE PAINT IN FIELD

FASCIA / EAVES

ALL TRIM

GARAGE DOORS

ENTRY DOORS

To be matched

SW 6378
CRISP LINEN

SW 7020
BLACK FOX

SW 7528
WINDSOR GREIGE

DARK BROWN
(or paint SW 9183 DARK CLOVE)

SW 7061
NIGHT OWL

To be matched

SW 7507
STONEUION

SW 7048
URBANE BRONZE

SW 6378
CRISP LINEN

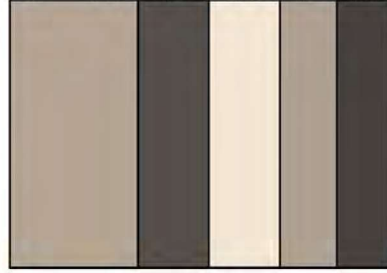
SANDTONE
(or paint SW 7633 TAUPE TONE)

SW 7675
SEALSKIN

23



1FBCJ 0300
BRONZE PEARL BLEND



To be matched

SW 7643
PUSSYWILLOW

SW 6076
TURKISH COFFEE

SW 7632
MODERN GRAY

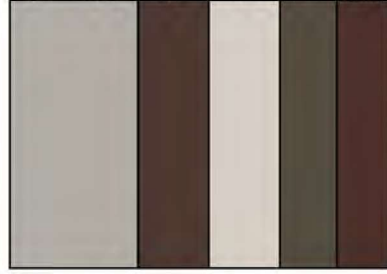
TEBRATONE
(or paint SW 7055 ENDURING
BRONZE)

SW 9182
ROJO MARRON

24



1FBCJ 1430
CHARCOAL BLEND



STONE VENEER

NANTUCKET
STACKED STONE



BLACK RIVER
STACKED STONE



CHAPEL HILL
STACKED STONE

B' - Prairie Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

EXTERIOR COLORS & MATERIALS
MICHELLE BRIDGES
ARCHITECTURAL COLORS, INC.

Linden at Alberhill Ranch - Series 3 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For Approval

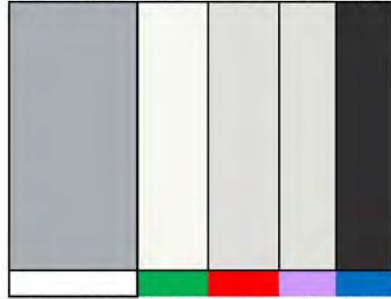
COLOR SCHEME
COLOR APPLICATION

25



ROOF MATERIAL:
FLAT SLATE PROFILE

1FACS 5047
EBONY



STUCCO BODY
STUCCO BODY PAINT MATCH FOR
RENDERING/ BINDER PURPOSES ONLY
DO NOT USE PAINT IN FIELD

FASCIA / EAVES / CORBELS /
GABLE VERTICAL &
HORIZONTAL TRIM

ALL TRIM

GARAGE DOORS

ENTRY DOORS /
SHUTTERS

To be matched

SW 6255
MORNING FOG

SW 7757
HIGH REFLECTIVE WHITE

SW 7063
NEBULOUS WHITE

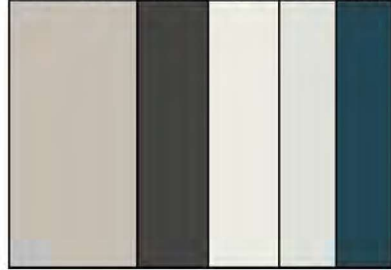
TRUE WHITE
(OR PAINT SW 7056 RESERVED WHITE)

SW 6258
TRICORN BLACK

26



1FACS 1430
CHARCOAL BLEND



To be matched

SW 1015
SKYLINE STEEL

SW 7069
IRON ORE

SW 7008
ALABASTER

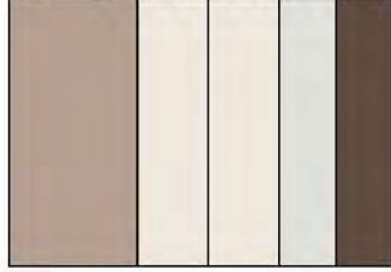
TRUE WHITE
(or paint SW 7056 RESERVED WHITE)

SW 9142
MOSCOW MIDNIGHT

27



1FACS 1132
CHARCOAL BROWN



To be matched

SW 6087
TRUSTY TAN

SW 7002
DOWNY

SW 7002
DOWNY

TRUE WHITE
(or paint SW 7056 RESERVED WHITE)

SW 6083
SABLE



STONE VENEER

GRAND BANKS LIMESTONE /
WHITE MORTAR



ANDANTE FIELDLEDGE /
MISTY COVE MORTAR



VERONA HILLSTONE /
SOFT TAN MORTAR

C' - Craftsman Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Baral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Ridgeline at Alberhill Ranch- Series 4 - Lake Elsinore, cA

Pulte Homes

Exterior Color Schemes Document

COLORS BY:  MICHELLE BRIDGES - ARCHITECTURAL COLORS, INC.
SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For approval

STUCCO: Omega Stucco - Lace Finish PAINT: Sherwin Williams or equal ROOF: Borai Roofing or equal GARAGE DOORS: Amarr Gd or equal / or aint	STONE: EL Dorado Stone Veneer or equal BRICK: El Dorado Thin Brick Veneer or equal MORTAR: Orco Blended Products or equal GUTTERS/ DOWNSPOUTS: RGS or equal
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A' - SPANISH ELEVATIONS

COLOR SCHEME COLOR APPLICATION	28	29	30
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7005 PURE WHITE	SW 7102 WHITE FLOUR	SW 7531 CANVAS TAN
ENTRY DOORS /WOOD FASCIA / EAVES / CLAY DÉCOR PIPES/ GABLE DÉCOR	SW 7674 PEPPERCORN	SW 2849 WESTCHESTER GRAY	SW 6152 SUPERIOR BRONZE
ALL TRIM	SW 7674 PEPPERCORN	SW 7044 AMAZING GRAY	SW 9117 URBAN JUNGLE
GARAGE DOORS	TERRATONE (or paint SW 7055 ENDURING BRONZE)	GRAY (or paint SW 7650 ELLIE GRAY)	WICKERTAN (or paint SW 7533 KHAKI SHADE)
SHUTTERS	SW 7069 IRON ORE	SW 2839 ROYCROFT COPPER RED	SW 6237 DARK NIGHT
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: LOW 'S' PROFILE	1VICS 6464 VILLA CAL MISSION BLEND	1VICS 7970 VILLA RED CASTLE	1VICS 0431 VILLA APPLE BARK

B' - PRAIRIE ELEVATIONS

COLOR SCHEME COLOR APPLICATION	31	32	33
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 7023 REQUISITE GRAY	SW 7507 STONELION	SW 7539 CORK WEDGE
FASCIA / EAVES	SW 7019 GAUNTLET GRAY	SW 7048 URBANE BRONZE	SW 7545 PIER
ALL TRIM	SW 7021 SIMPLE WHITE	SW 6378 CRISP LINEN	SW 7029 AGREEABLE GRAY
GARAGE DOORS	TRUE WHITE (or paint SW 7056 RESERVED WHITE)	SANDTONE (or paint SW 7633 TAUPE TONE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)
ENTRY DOORS	SW 2735 ROCKWEED	SW 7675 SEALSKIN	SW 6097 STURDY BROWN
STONE VENEER TIGHTFIT/DRystack JOINTS	DAYBREAK STACKED STONE	CHAPEL HILL STACKED STONE	NANTUCKET STACKED STONE
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SHAKE PROFILE	1FBCJ 1132 CHARCOAL BROWN BLEND	1FBCJ 0300 BRONZE PEARL BLEND	1FBCJ 3181 SMOKEY TOPAZ

C' - CRAFTSMAN ELEVATIONS

COLOR SCHEME COLOR APPLICATION	34	35	36
STUCCO BODY	To be matched	To be matched	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY. DO NOT USE PAINT IN FIELD	SW 1015 SKYLINE STEEL	SW 6141 SOFTER TAN	SW 7659 GRIS
FASCIA / EAVES / CORBELS / ALL TRIM	SW 7069 IRON ORE	SW 7106 HONIED WHITE	SW 6252 ICE CUBE
GABLE BATTEN SIDING INCLUDE HORIZONTAL TRIM BOARD	SW 7008 ALABASTER	SW 7106 HONIED WHITE	SW 6252 ICE CUBE
GARAGE DOORS	TRUE WHITE (OR PAINT SW 7056 RESERVED WHITE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)
ENTRY DOORS / SHUTTERS	SW 9142 MOSCOW MIDNIGHT	SW 7019 GAUNTLET GRAY	SW 7076 CYBERSPACE
STONE VENEER MORTAR FLUSH TO FACE OF STONE	GRAND BANKS LIMESTONE / MISTY COVE MORTAR	SAN MARINO LIMESTONE / MISTY COVE MORTAR	YORK LIMESTONE / MISTY COVE MORTAR
GUTTERS / DOWNSPOUTS	TBD	TBD	TBD
ROOF MATERIAL: FLAT SLATE PROFILE	1FACS 5047 EBONY	1FACS 1132 CHARCOAL BROWN	1FACS 1430 CHARCOAL BLEND

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MBACI shall not be held liable for any errors or product failure on manufacturers or contractor/subcontractors part in the field (i.e. stucco, masonry, paint manufacturers errors, etc).

NOTE: GUTTERS & DOWNSPOUTS / MANDOORS & VENTS TO BE PAINTED ADJACENT COLOR

NOTE: ALL PAINT BREAKS TO BE TURNED AND FINISHED AT INSIDE CORNERS UNLESS OTHERWISE NOTED INCLUDING UNDER BALCONIES/CANTILEVERS- UNLESS OTHERWISE NOTED

NOTE: SUBSTITUTIONS FOR ANY MATERIALS ARE NOT TO BE MADE WITHOUT THE FINAL APPROVAL FROM MBACI OFFICE.

NOTE: SIDE ENHANCED ELEVATIONS TO RECEIVE TYPICAL TREATMENTS AS FRONT ELEVATIONS. - SEE ELEVATIONS FOR COLOR PLACEMENT

**NOTE: STUCCO has been eye matched to paint by MBACI for rendering use only. Do not use this paint color in field or for an exact match to stucco.

NOTE: All photographs of stone, brick, masonry and roof tiles are for representation only - See actual samples for exact colors.

MBACI not responsible for manufacturer color printed materials being off from actual materials.

Above Color Schemes are exclusive property of MBACI. Any reuse of any C & M Selections other than at above said property must receive approval by MBACI

Ridgeline at Alberhill Ranch - Series 4 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For Approval

COLOR SCHEME
COLOR APPLICATION

28



ROOF MATERIAL:
LOW 'S' PROFILE

1 VICS 6464
VILLA CAL MISSION BLEND

STUCCO BODY	To be matched
STUCCO BODY PAINT MATCH FOR RENDERING/ FINISH PURPOSES ONLY DO NOT USE PAINT IN FIELD	SW 7005 PURE WHITE
ENTRY DOORS / WOOD FASCIA / EAVES / CLAY DÉCOR PIPES/ GABLE DÉCOR	SW 7674 PEPPERCORN
ALL TRIM	SW 7674 PEPPERCORN
GARAGE DOORS	TERRATONE (or paint SW 7055 ENDURING BRONZE)
SHUTTERS	SW 7069 IRON ORE

29



1 VICS 7970
VILLA RED CASTLE

To be matched	SW 7102 WHITE FLOUR
	SW 2849 WESTCHESTER GRAY
	SW 7044 AMAZING GRAY
	GRAY (or paint SW 7650 ELUE GRAY)
	SW 2839 ROYCROFT COPPER RED

30



1 VICS 0431
VILLA APPLE BARK

To be matched	SW 7531 CANVAS TAN
	SW 6152 SUPERIOR BRONZE
	SW 9117 URBAN JUNGLE
	WICKERTAN (or paint SW 7533 KHAKI SHADE)
	SW 6237 DARK NIGHT

A' - Spanish Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted






STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Ridgeline at Alberhill Ranch - Series 4 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For Approval

COLOR SCHEME COLOR APPLICATION		31	32	33
ROOF MATERIAL: FLAT SHAKE PROFILE		 1FBCJ 1132 CHARCOAL BROWN BLEND	 1FBCJ 0300 BRONZE PEARL BLEND	 1FBCJ 3181 SMOKEY TOPAZ
STUCCO BODY STUCCO BODY PAINT MATCH FOR RENDERING/ BINDER PURPOSES ONLY DO NOT USE PAINT IN FIELD	STUCCO BODY	To be matched	To be matched	To be matched
	FASCIA / EAVES	SW 7023 REQUISITE GRAY	SW 7507 STONE/ION	SW 7539 CORK WEDGE
	ALL TRIM	SW 7019 GAUNTLET GRAY	SW 7048 URBANE BRONZE	SW 7545 PIER
	GARAGE DOORS	SW 7021 SIMPLE WHITE	SW 6378 CRISP LINEN	SW 7029 AGREEABLE GRAY
	ENTRY DOORS	TRUE WHITE (or paint SW 7056 RESERVED WHITE)	SANDTONE (or paint SW 7633 TAUPE TONE)	TRUE WHITE (or paint SW 7056 RESERVED WHITE)
STONE VENEER		SW 2735 ROCKWEED	SW 7675 SEALSKIN	SW 6097 STURDY BROWN
		 DAYBREAK STACKED STONE	 CHAPEL HILL STACKED STONE	 NANTUCKET STACKED STONE

B' - Prairie Elevations

EXTERIOR COLORS & MATERIALS

MICHELLE BRIDGES
ARCHITECTURAL COLORS, INC.

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

Ridgeline at Alberhill Ranch - Series 4 - Lake Elsinore, CA



SEE COLOR APPLICATIONS FOR EXACT PLACEMENT OF COLOR

7.25.2022 For Approval

COLOR SCHEME
COLOR APPLICATION

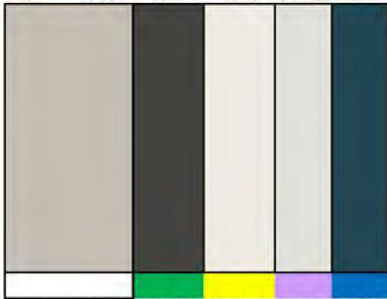
34



ROOF MATERIAL:
FLAT SLATE PROFILE

1FACS 5047
EBONY

STUCCO BODY



STUCCO BODY PAINT MATCH FOR
RENDERING/ BRICKER PURPOSE ONLY
DO NOT USE PAINT IN FIELD

FASCIA / EAVES / CORBELS /
ALL TRIM

GABLE BATTEN SIDING
INCLUDING
HORIZONTAL TRIM BOARD

GARAGE DOORS

ENTRY DOORS /
SHUTTERS

To be matched
SW 1015
SKYLINE STEEL
SW 7069
IRON ORE
SW 7008
ALABASTER
TRUE WHITE
(OR PAINT SW 7056
RESERVED WHITE)
SW 9142
MOSCOW MIDNIGHT



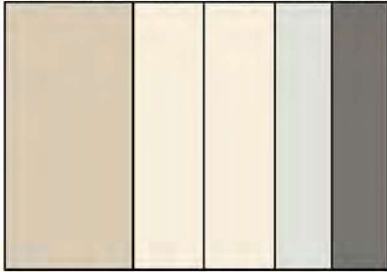
STONE VENEER

GRAND BANKS LIMESTONE /
MISTY COVE MORTAR

35



1FACS 1132
CHARCOAL BROWN



To be matched
SW 6141
SOFTER TAN
SW 7106
HONIED WHITE
SW 7106
HONIED WHITE
TRUE WHITE
(OR PAINT SW 7056
RESERVED WHITE)
SW 7019
GAUNTLET GRAY

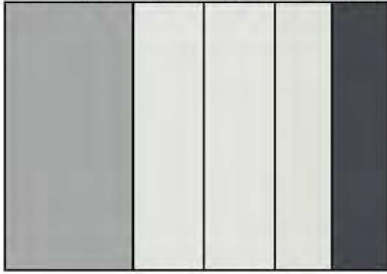


SAN MARINO LIMESTONE /
MISTY COVE MORTAR

36



1FACS 1430
CHARCOAL BLEND



To be matched
SW 7659
GRIS
SW 6252
ICE CUBE
SW 6252
ICE CUBE
TRUE WHITE
(OR PAINT SW 7056
RESERVED WHITE)
SW 7076
CYBERSPACE



YORK LIMESTONE /
MISTY COVE MORTAR

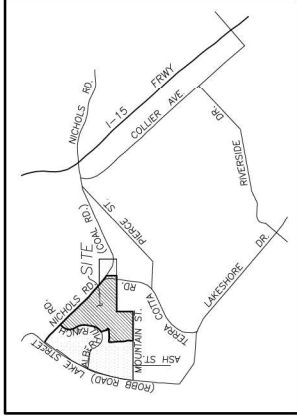
C' - Craftsman Elevations

STUCCO: OMEGA STUCCO - Light Lace Finish
PAINT: Sherwin Williams
ROOF: Boral Roofing
GARAGE DOORS: Amarr - Painted

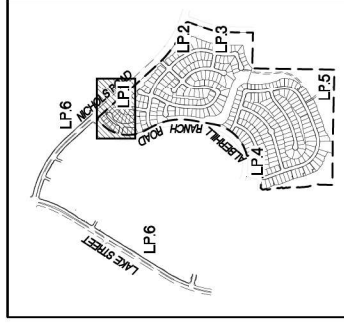
STONE: El Dorado Stone Products
BRICK: El Dorado Thin Brick Products
MORTAR: Grey Mortar OBP Mac or equal
WRT. IRON / METAL DETAILS: SW 6991 Black Magic

MATCH LINE SEE SHEET LP.6

SHEET INDEX	
SHEET	DESCRIPTION
LP.1	PRELIMINARY LANDSCAPE PLAN
LP.2	PRELIMINARY LANDSCAPE PLAN
LP.3	PRELIMINARY LANDSCAPE PLAN
LP.4	PRELIMINARY LANDSCAPE PLAN
LP.5	PRELIMINARY LANDSCAPE PLAN
LP.6	PRELIMINARY LANDSCAPE PLAN
LP.7	PARKS
LP.8	FRONT YARD TYPICALS



VICINITY MAP
SCALE: N/A



KEY MAP
SCALE: N/A

LANDSCAPE GENERAL NOTES

- ALL LANDSCAPE PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE ELSINORE 1926 WATER EFFICIENT LANDSCAPE REQUIREMENTS.
- LANDSCAPE PLANTS WILL BE PROVIDED FOR ALL PRODUCTION FRONT YARD. HOMEOWNER SLOPES 3% AND GREATER AND ALL HOA MAINTAINED AREAS.
- STREET TREES SHALL NOT BE LOCATED:
A. WITHIN A FIRE HYDRANT
B. 10' FROM LIGHT STANDARDS OR POWER POLES
C. 10' FROM WATER AND SEWER LATERALS
D. 15' FROM INTERSECTIONS
- MINIMUM TREE SIZE SHALL BE 15 GAL. 20% BOX OR LARGER TREES SHALL BE 24" OR ALL REQUIRED TREES SHALL BE 24" SLOPE AREAS 3' HT. AND TALLER.
- ALL SHRUBS ARE TO BE 5 GAL. SIZE OR LARGER UNLESS SPECIFIED OTHERWISE.
A. SMALL ACCENT PLANTS MAY BE (1) GAL. SIZE.
B. MAY BE 1 GAL. 9/12.

PLANT LIST

SYMBOL	BOTANICAL NAME / COMMON NAME
STREET TREES	
⊗	CELESTIA T. INERMIS / THORNLESS HONEY LOCUST
⊗	QUERCUS ILEX / HOLLY OAK
HOMEOWNER SLOPE TREES	
⊗	LAGERSTROMIA INDICA / ORANGE MYRTLE
⊗	MEALUCA LINARIFOLIA / FLAXLEAF PAPERBARK
⊗	PARKINSONIA FLORIDUM / BLUE PALM VERDE
⊗	RHUS LANCEA / AFRICAN SUMAC
CFD STREET TREES	
⊗	TRIFOLIUM TIRU / TIRU TREE
⊗	KOELREUTERIA PANICULATA / CHINESE PLANE TREE
⊗	PLATANUS A. BLOODGOOD / LONDON PLANE TREE

HOMEOWNER LANDSCAPE SLOPES

BACCHARIS 'CENTENIAL' / CENTENIAL BACCHARIS	546,249 S.F.
CEANOTHUS G. 'HORIZONTALIS' / CARMEL CREEPER	
CISTUS SP. / ROCKROSE VAR.	
LANTANA 'SUNSHINE GOLD' / TRAILING LANTANA	
LANTANA 'SUNSHINE GOLD' / TRAILING LANTANA	
MULBERRIA CAPILLARIS / PINK MULBERRY	
ROSEMARYNUS O. 'PROSTRATUS' / PROSTRATE ROSEMARY VAR.	
SALVIA GREGGII / AUTUMN SAGE	

HOA LANDSCAPE SLOPES

BACCHARIS PILLULARIS / DWARF COYOTE BUSH	1,06,765 S.F.
CALLIANDRA CALIFORNICA / BALA FAIRY DUSTER	
CISTUS PURPUREUS / ORCHID ROCKROSE	
CISTUS SALICIFOLIUS / SAGELEAF ROCKROSE	
GALVEZIA SPECIOSA / ISLAND BUSH SNAPDRAGON	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
TEUCRIUM FRUTICOSA / BUSH GERMANDER	

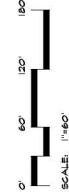
CFD PARKWAYS

BACCHARIS PILLULARIS / DWARF COYOTE BUSH	134,916 S.F.
CALLIANDRA CALIFORNICA / BALA FAIRY DUSTER	
CISTUS PURPUREUS / ORCHID ROCKROSE	
CISTUS SALICIFOLIUS / SAGELEAF ROCKROSE	
GALVEZIA SPECIOSA / ISLAND BUSH SNAPDRAGON	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
TEUCRIUM FRUTICOSA / BUSH GERMANDER	

ALBERHILL RANCH TRACT 28214-9
PRELIMINARY LANDSCAPE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY

LP.1

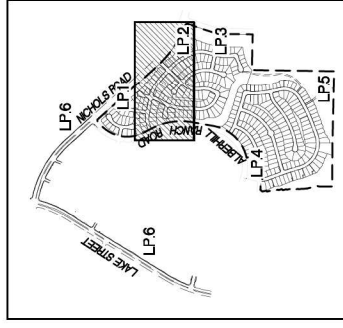
HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
PH (760) 775-9331
FAX (760) 777-9332



DATE: 9-22-23

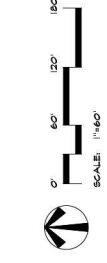
MATCH LINE SEE SHEET LP.1

MATCH LINE SEE SHEET LP.3



KEY MAP
SCALE N.T.S.

LP.2

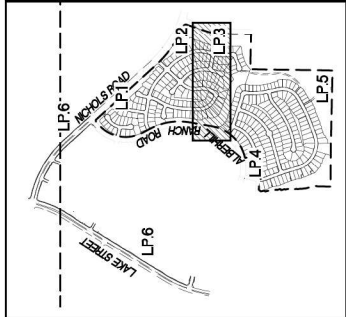


ALBERHILL RANCH TRACT 28214-9
PRELIMINARY LANDSCAPE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY

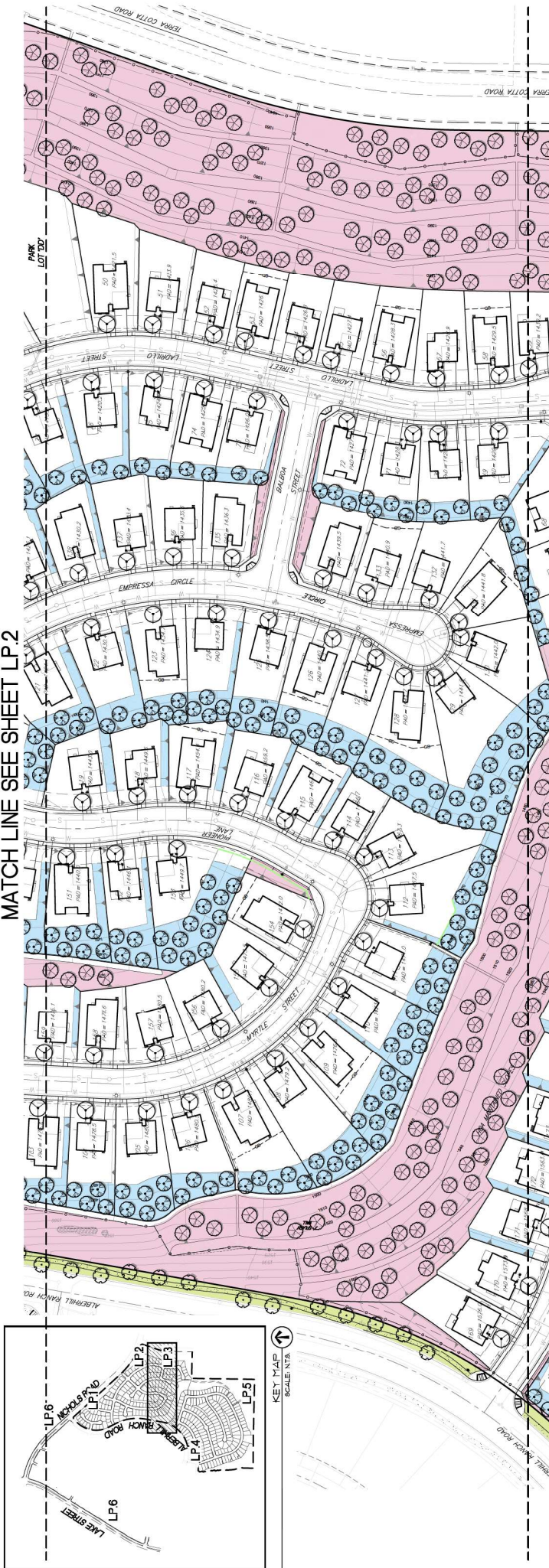


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FAX (760) 777-9432

DATE: 9/22/23



MATCH LINE SEE SHEET LP.2



MATCH LINE SEE SHEET LP.4

PLANT LIST

SYMBOL	BOTANICAL NAME / COMMON NAME
⊗	STREET TREES
⊗	GEVURA PARVIFOLIA / AUSTRALIAN WILLOW
⊗	KOELREUTERIA BIPINNATA / CHINESE PLANE TREE
⊗	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE
⊗	LIQUIDAMBAR LACINIOSA / FLAME TREE
⊗	LIQUIDAMBAR LACINIOSA / AMERICAN SWEETGUM
⊗	PLATANUS A. 'BLOODGOOD' / LONDON PLANE TREE
⊗	FRAXINUS C. KRAUTER VESUVIUS / FLOWERING PLUM TREE
⊗	HOA SLOPE TREES
⊗	GLADSTONIA T. 'NEMESIS' / THORNLESS HONEY LOCUST
⊗	QUERCUS ILEX / HOLLY OAK
⊗	HOMEOWNER SLOPE TREES
⊗	LAGERSTROMIA INDICA / CRABE MYRTLE
⊗	MEALOEUCALYNNA FLORIDA / FLAXLEAF PAPERBARK
⊗	PARKINSONIA FLORIDA / BLUE PALM VERDE
⊗	RHUS LANCEA / AFRICAN SUMAC
⊗	CFD STREET TREES
⊗	TRIFOLIUM TIRU / TIRU TREE
⊗	KOELREUTERIA PANICULATA / CHINESE PLANE TREE
⊗	PLATANUS A. 'BLOODGOOD' / LONDON PLANE TREE

HOMEOWNER LANDSCAPE SLOPES	546,249 S.F.
BACCHARIS 'CENTENIAL' / CENTENIAL BACCHARIS	
CEANOTHUS G. 'HORIZONTALIS' / CARMEL CREEPER	
CISTUS SP. / ROCKROSE VARI	
LANTANA 'SWEETENESS' / GOLD TRAILING LANTANA	
LANTANA 'SWEETENESS' / GOLD TRAILING LANTANA	
MULBERGIA CAPILLARIS / PINK MULBERRY	
ROSEMARINUS O. 'PROSTRATUS' / PROSTRATE ROSEMARY VAR.	
SALVIA GREGGII / AUTUMN SAGE	
HOA LANDSCAPE SLOPES	1,06,765 S.F.
BACCHARIS PILLULARIS / DWARF COYOTE BUSH	
CALLANDRA CALIFORNICA / BABA FAIRY DUSTER	
CISTUS PURPUREUS / ORCHID ROCKROSE	
CISTUS SALVIFOLIUS / SAGELEAF ROCKROSE	
GALVEZIA SPECIOSA / ISLAND BUSH SNAFDRAGON	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
SAVIA LEUCANTHA / MEXICAN BUSH SAGE	
TEUCRIUM FRUTICOSA / BUSH GERIANDER	
CFD PARKWAYS	134,976 S.F.
BACCHARIS PILLULARIS / DWARF COYOTE BUSH	
CALLANDRA CALIFORNICA / BABA FAIRY DUSTER	
CISTUS PURPUREUS / ORCHID ROCKROSE	
CISTUS SALVIFOLIUS / SAGELEAF ROCKROSE	
GALVEZIA SPECIOSA / ISLAND BUSH SNAFDRAGON	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
MYRTILLUS SP. / MONKEYFLOWER VAR.	
SAVIA LEUCANTHA / MEXICAN BUSH SAGE	
TEUCRIUM FRUTICOSA / BUSH GERIANDER	

- EROSION CONTROL NOTES (SLOPES 3' HT. AND GREATER)**
- ALL SLOPES SHALL BE PLANTED WITH SHRUBS AT A MINIMUM OF 15% COVER OR 15 SHRUBS / 1000 S.F. WHICHEVER IS GREATER.
 - ALL SLOPES SHALL BE PLANTED WITH (2) TREES PER 1000 S.F. OR (1) PER 50 S.F. WHICHEVER IS GREATER. 15% SHALL BE (15) 7 GAL. IN SIZE. THE REMAINDER TO BE 24" BOX.
 - ALL SLOPES TO UTILIZE PERMANENT IRRIGATION THAT PROVIDES FOR 100% SLOPE COVERAGE.
 - ALL SLOPES SHALL BE IRRIGATED WITH AN AUTOMATIC SPARK IRRIGATION SYSTEM WITH USE OF LOW PRECIPITATION HEADS AND ANTI-DRIP VALVES.
 - WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LAKE ELSINORE LANDSCAPE MANUAL AND THE ELSINORE VALLEY STANDARDS SPECIFICATIONS / DRAWINGS MANUAL AND THE ELMUD RULES / REGULATIONS FOR EXCEPTED AREAS. THE CITY ENGINEER'S SPECIAL REQUIREMENTS SHALL PREVAIL IN ANY SUSPECT MATTER. THE CITY ENGINEER OR HIS REPRESENTATIVE SHALL DETERMINE WHICH SPECIAL CONDITION OR CODE SHALL GOVERN.

ALBERHILL RANCH TRACT 28214-9

PRELIMINARY LANDSCAPE PLANS

CITY OF LAKE ELSINORE

PULTE HOME COMPANY



HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
PH (760) 775-9431
FAX (760) 777-9432



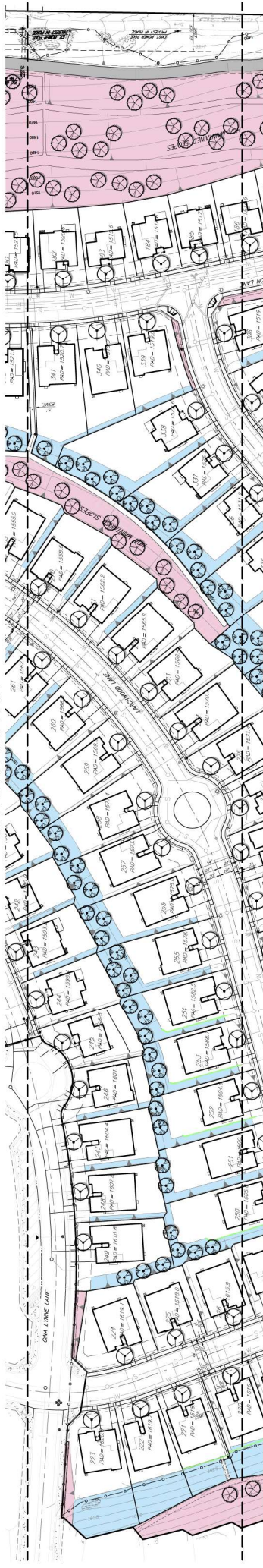
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MATCH LINE SEE SHEET LP.3

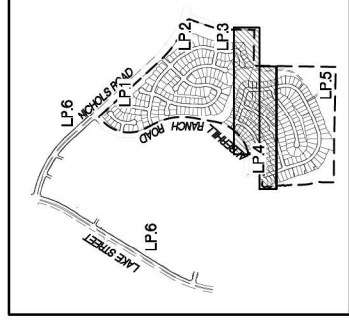


MATCH LINE AA

MATCH LINE AA



MATCH LINE SEE SHEET LP.5

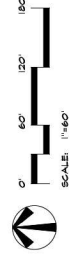


KEY MAP
SCALE: N.T.S.

LP.4

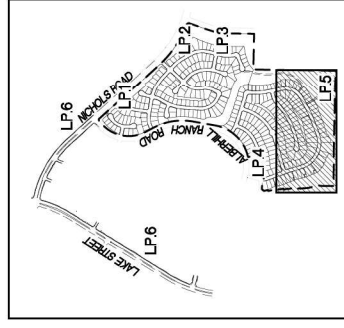
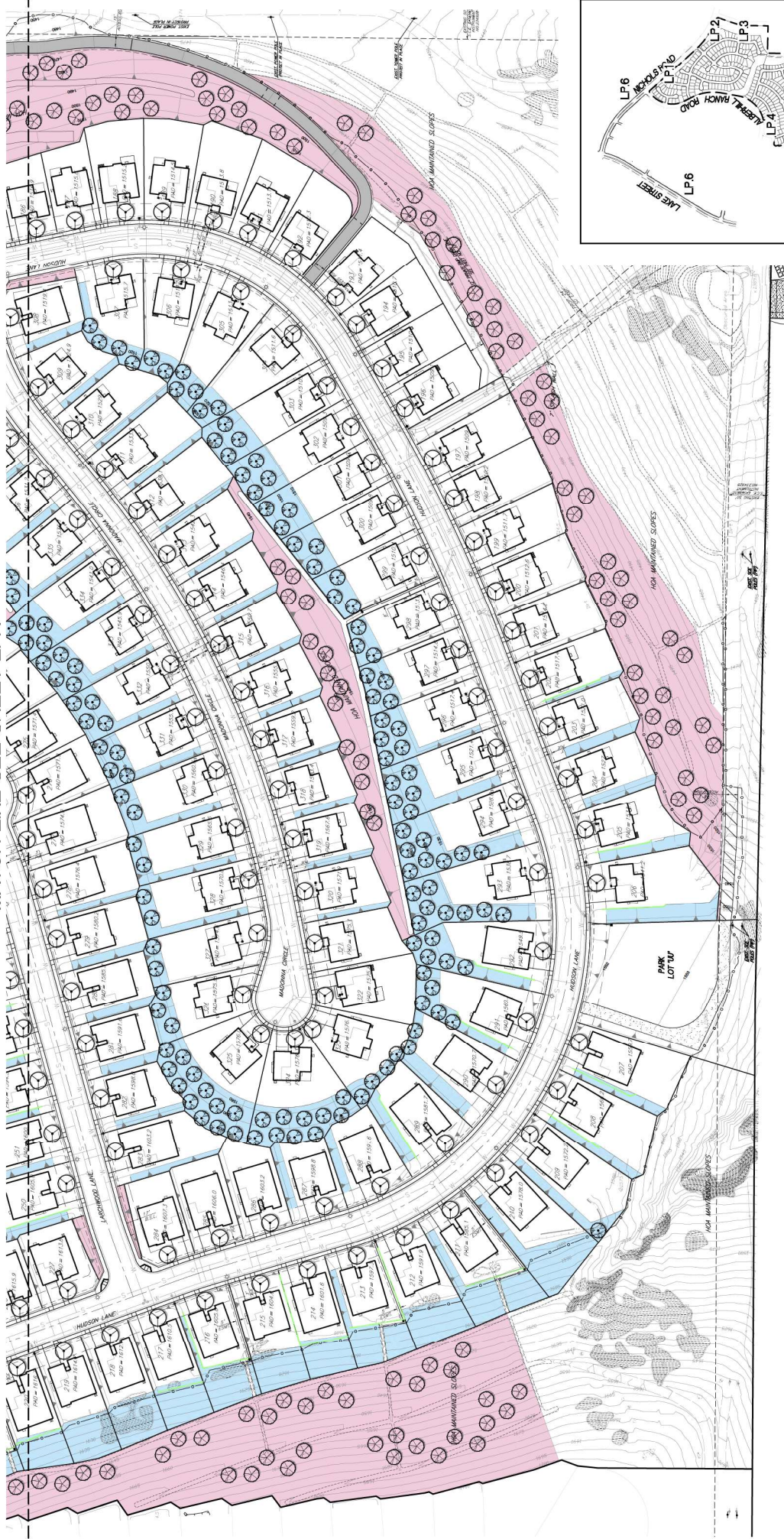
ALBERHILL RANCH TRACT 28214-9
PRELIMINARY LANDSCAPE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY

HJG
HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
PH (760) 777-9431
FAX (760) 777-9432



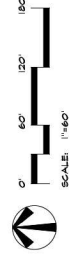
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MATCH LINE SEE SHEET LP.4



KEY MAP
SCALE: N.T.S.

LP.5

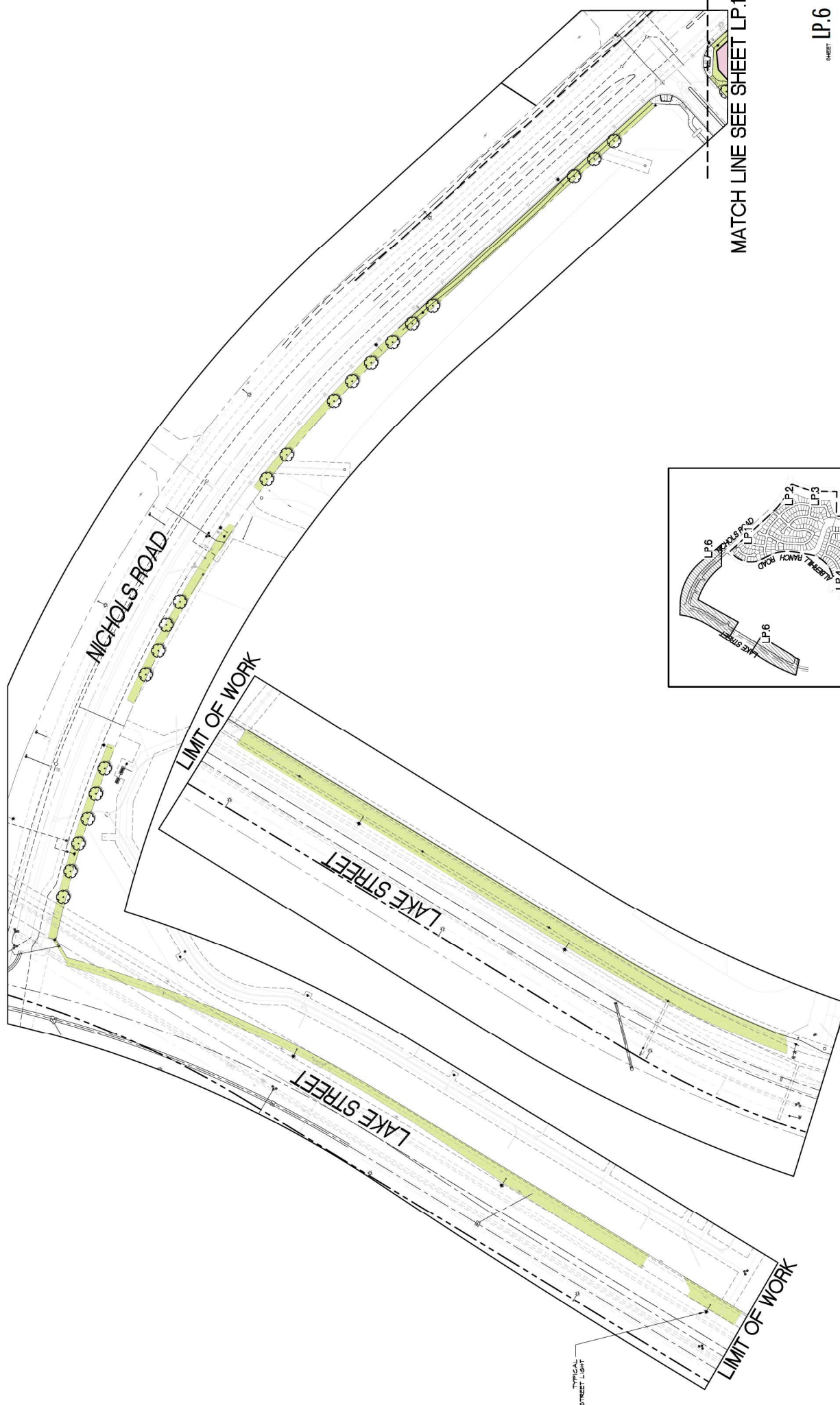


ALBERHILL RANCH TRACT 28214-9

PRELIMINARY LANDSCAPE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY

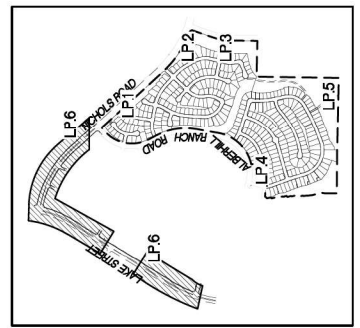
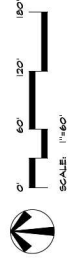
HJG
HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
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FAX (760) 777-9432

DATE: 9/22/23

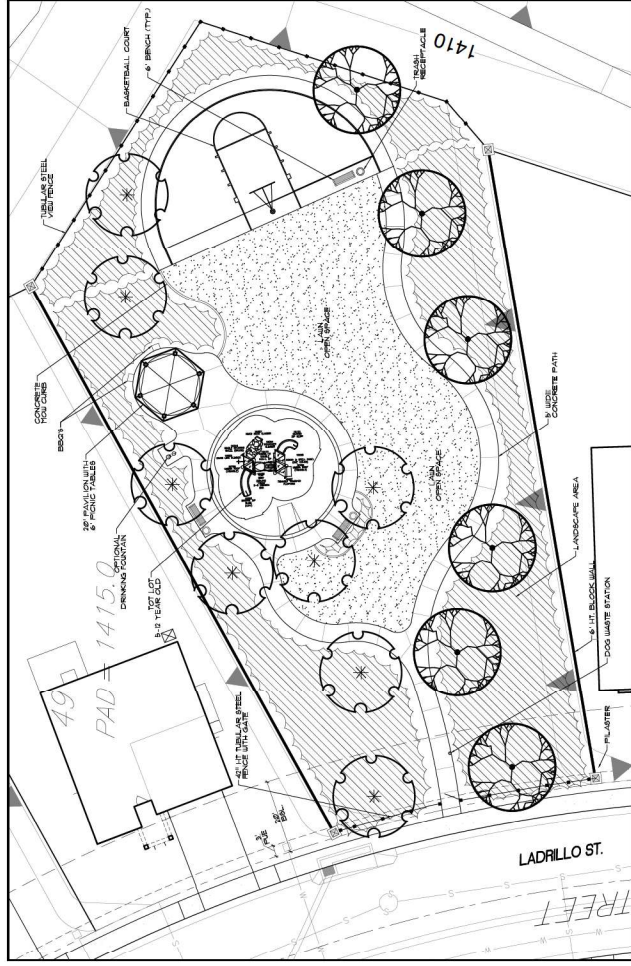


ALBERHILL RANCH TRACT 28214-9
 PRELIMINARY LANDSCAPE PLANS
 CITY OF LAKE ELSINORE
 PULTE HOME COMPANY

LP.6
 SHEET
 HERMANN DESIGN GROUP
 77899 WOLF RD.
 SUITE 102
 PALMDALE, CA 92311
 LIC# 2754 EXP 04-30-24
 PH (760) 777-9131
 FAX (760) 777-9132



KEY MAP
 SCALE: N.T.S.



LOT DD
SCALE: 1/8" = 1'-0"

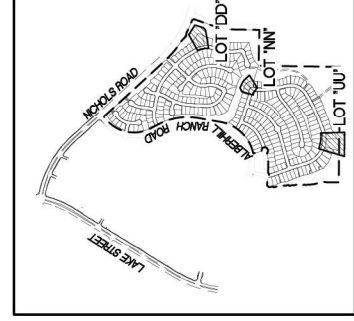


LOT NN
SCALE: 1/8" = 1'-0"

ALBERHILL RANCH TRACT 28214-9 PRELIMINARY LANDSCAPE PLANS - PARKS CITY OF LAKE ELSINORE PULTE HOME COMPANY



LOT UU
SCALE: 1/8" = 1'-0"



LP.7

HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
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FAX (760) 777-9432

DATE: 9/22/23

ALBERHILL RANCH TRACT 28214-9 PRELIMINARY LANDSCAPE PLANS - FRONT YARD TYPICALS CITY OF LAKE ELSINORE PULTE HOME COMPANY

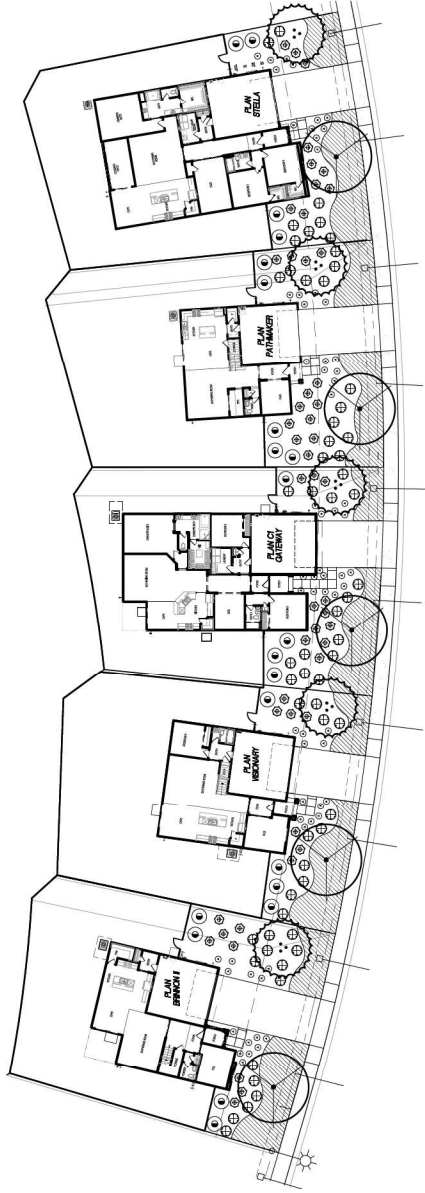
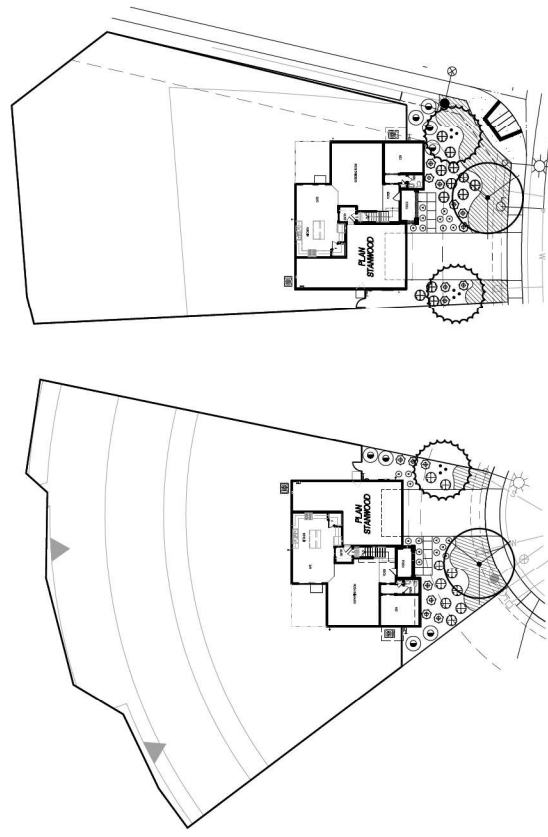
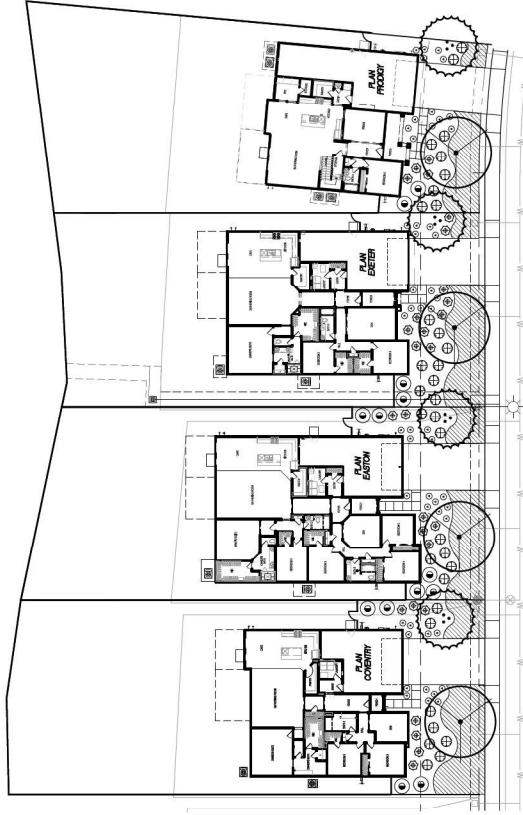
IP.8



HERMANN DESIGN GROUP
77589 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
PH (760) 775-9131
FAX (760) 775-9132



DATE: 9-22-25



PRODUCTION FRONT YARD LANDSCAPE CONCEPTS

PROPOSED PLANT PALETTE
SYMBOL BOTANICAL NAME / COMMON NAME

PROPOSED PLANT PALETTE
SYMBOL BOTANICAL NAME / COMMON NAME

STREET TREES

STREET TREES

ACCENT TREES (24\"/>

ACCENT TREES (24\"/>

ACCENT TREES (24\"/>

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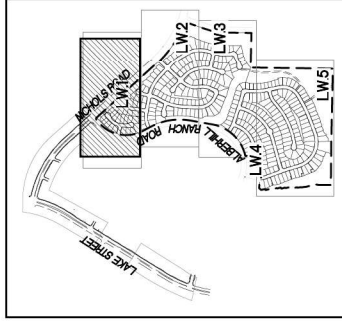
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ACCENT TREES (24\"/>

ACCENT TREES (24\"/>

WALL & FENCE LEGEND

- 6' HT. THEME MALL - SLIPSTONE BLOCK WITH SAND FINISH
PRECISION FINISH ON OPPOSING SIDE
TAN COLOR
- 6' HT. INTERIOR VINYL FENCE
- 6' HT. INTERIOR SLIPSTONE BLOCK MALL WITH SAND FINISH
PRECISION FINISH ON OPPOSING SIDE
TAN COLOR
- 6' HT. TUBULAR STEEL FENCE
- 9' WIDE VINYL GATE / TAN COLOR
- 6'-6" HT. CMU PILASTER
PLASTER WITH PRECAST CAP
- 10' WIDE TUBULAR STEEL GATES



KEY MAP
SCALE NTS

LW.1



HERRMANN DESIGN GROUP
77-899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04-2024
PH (760) 777-9131
FAX (760) 777-9132



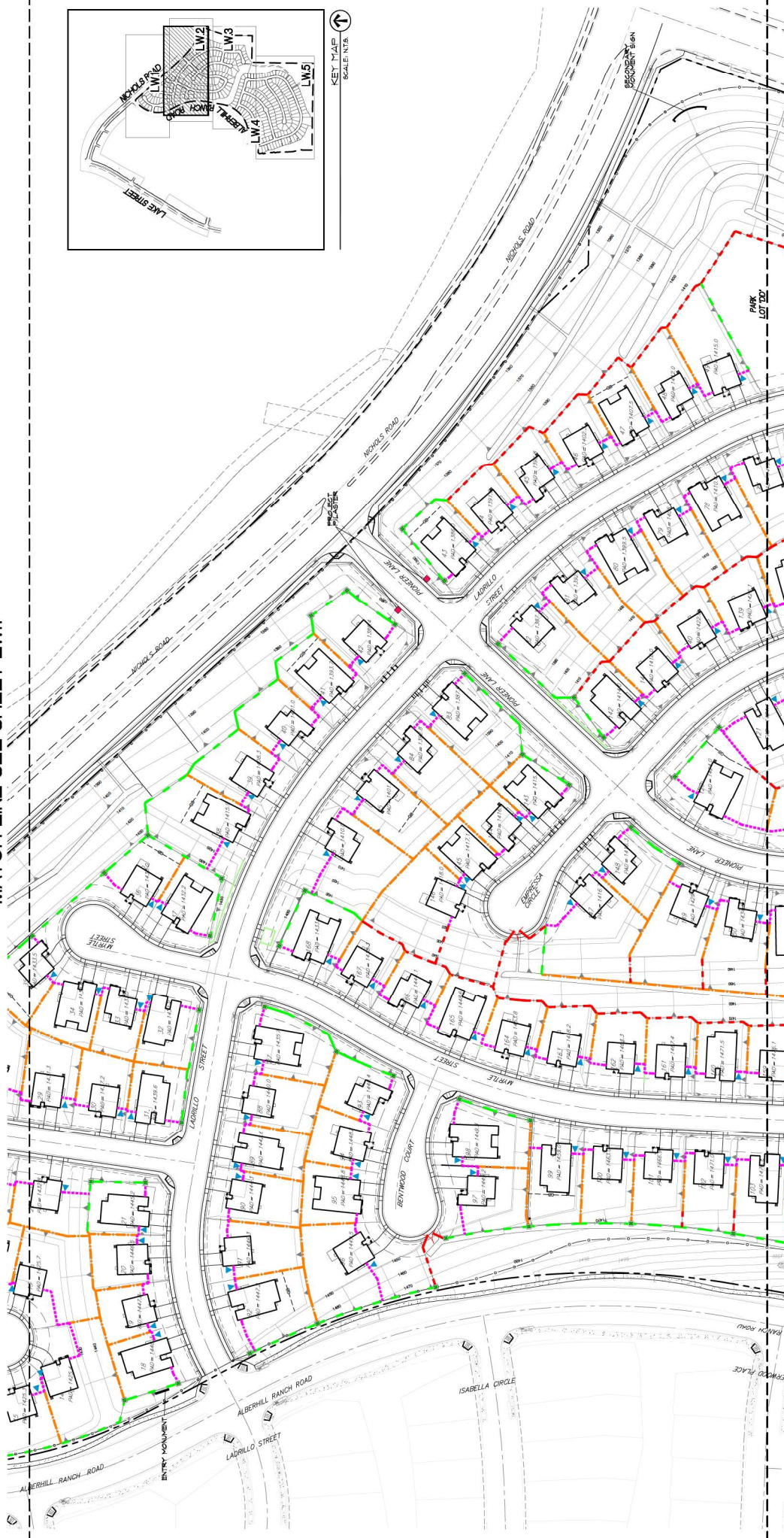
SCALE 1"=60'

DATE 9-22-25

ALBERHILL RANCH TRACT 28214-9 PRELIMINARY WALL & FENCE PLANS CITY OF LAKE ELSINORE PULTE HOME COMPANY

MATCH LINE SEE SHEET LW.2

MATCH LINE SEE SHEET LW.1



MATCH LINE SEE SHEET LW.3

WALL & FENCE LEGEND

- 6" HT. TREX WALL - SLUMPSTONE BLOCK WITH SAND FINISH
STREET SIDE ONLY w/ PRE-CAST DECORATIVE TAN COLOR CAP
PRECISION FINISH ON OPPOSING SIDE
TAN COLOR
- 6" HT. INTERIOR VINYL FENCE
- 6" HT. INTERIOR SLUMPSTONE BLOCK WALL WITH SAND FINISH
STREET SIDE ONLY w/ PRE-CAST DECORATIVE TAN COLOR CAP
PRECISION FINISH ON OPPOSING SIDE
TAN COLOR
- 6" HT. TUBULAR STEEL FENCE
- 3" WIDE VINYL GATE / TAN COLOR
- 6"-8" HT. CMU PILASTER
PIASTER WITH PRECAST CAP
- 10" WIDE TUBULAR STEEL GATES

LW.2

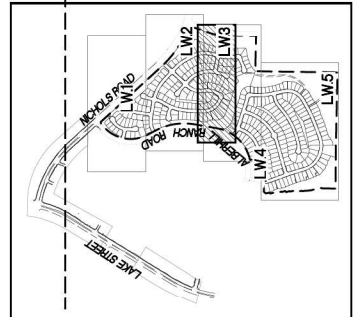
ALBERHILL RANCH TRACT 28214-9
PRELIMINARY WALL & FENCE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY



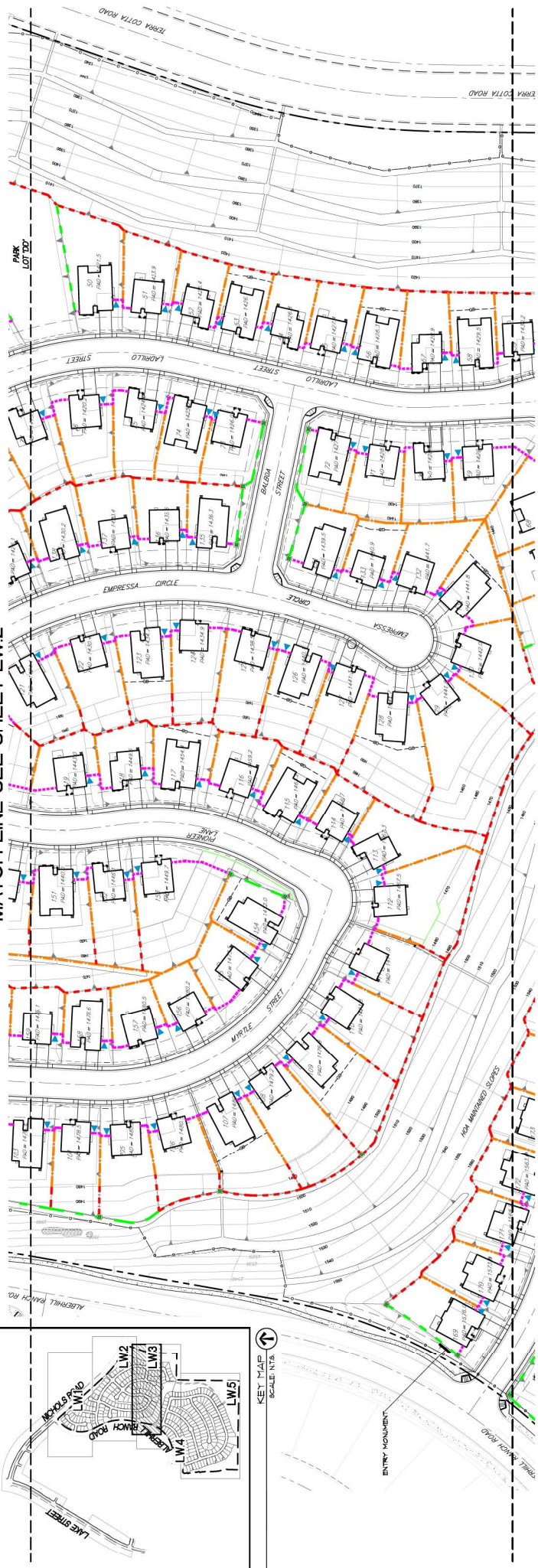
HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/2024
PH (760) 775-9131
FAX (760) 777-9132



DATE: 9/22/23



MATCH LINE SEE SHEET LW.2



MATCH LINE SEE SHEET LW.4

WALL & FENCE LEGEND

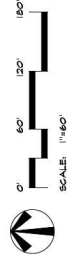
- 6' HT. TYPICAL WALL - SLUMPSTONE BLOCK WITH SAND FINISH
STREET SIDE ONLY / PRE-CAST DECORATIVE TAN COLOR CAP
PRECISION FINISH ON OPPOSING SIDE
TAN COLOR
- 6' HT. INTERIOR VINYL FENCE
TAN COLOR
- 6' HT. INTERIOR SLUMPSTONE BLOCK WALL WITH SAND FINISH
PRECISION FINISH ON OPPOSING SIDE
PRECISION FINISH ON OPPOSING SIDE
TAN COLOR
- 6' HT. TUBULAR STEEL FENCE
- 8' WIDE VINYL GATE / TAN COLOR
- 6'-8" HT. CMU PILASTER
PLASTER WITH PRECAST CAP
- 10' WIDE TUBULAR STEEL GATES

ALBERHILL RANCH TRACT 28214-9 PRELIMINARY WALL & FENCE PLANS CITY OF LAKE ELSINORE PULTE HOME COMPANY

LW.3



HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
PH (760) 777-9131
FAX (760) 777-9132



DATE: 9/22/23

MATCH LINE SEE SHEET LW.3

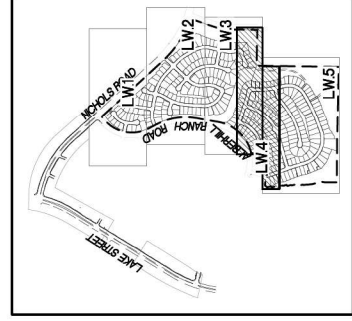


MATCH LINE AA

MATCH LINE AA



MATCH LINE SEE SHEET LW.5

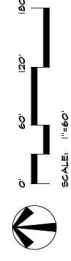


KEY MAP
SCALE: N.T.S.

ALBERHILL RANCH TRACT 28214-9
PRELIMINARY WALL & FENCE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY

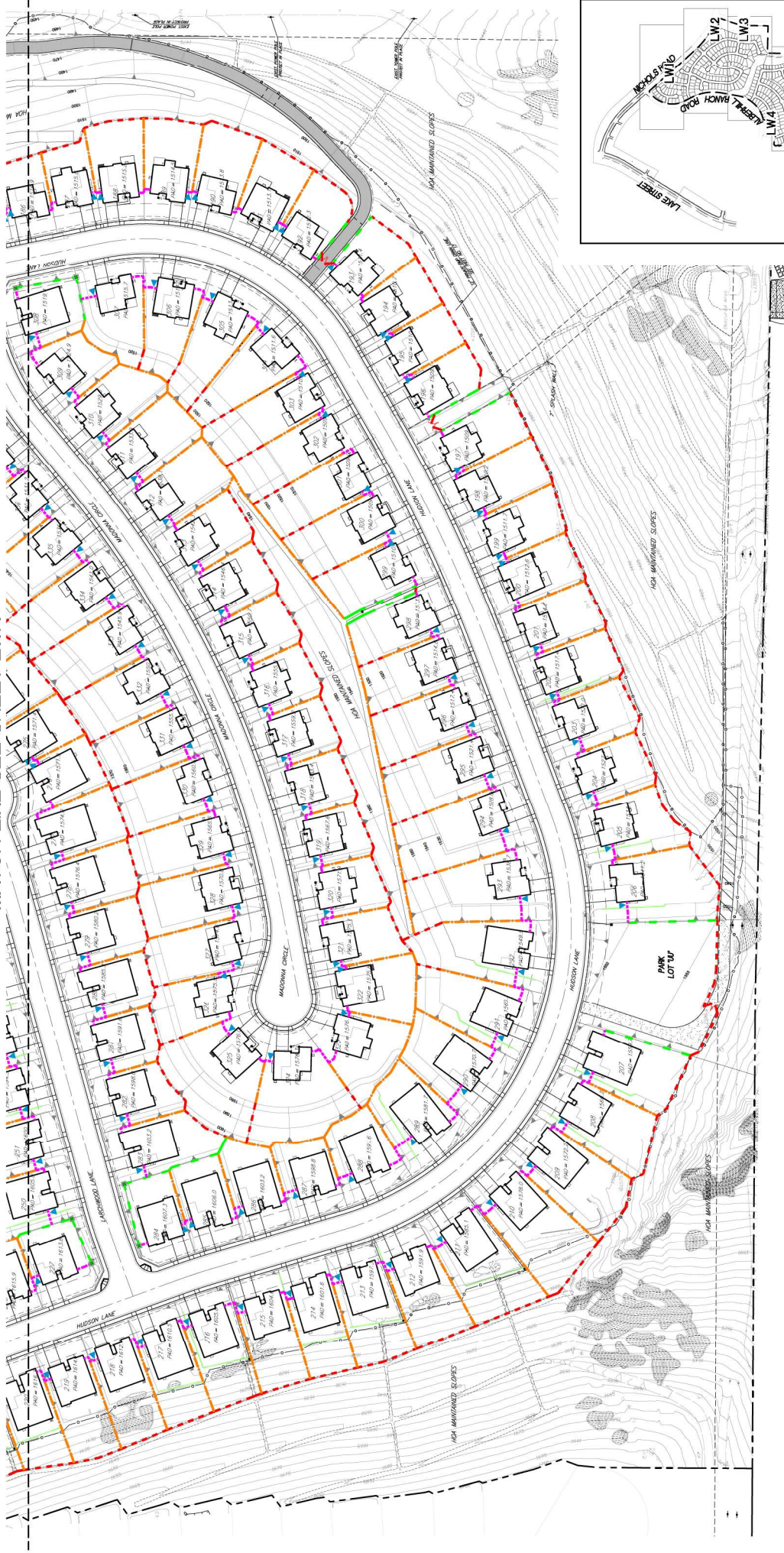
LW.4

HERMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALMDALE, CA 92311
LIC# 2754 EXP 04/30/24
PH (760) 777-9431
FAX (760) 777-9432



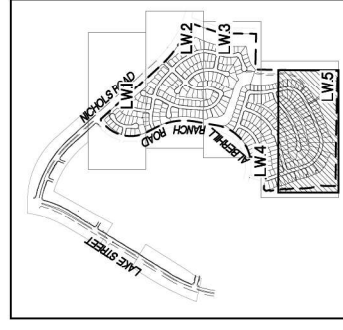
DATE: 9/22/23

MATCH LINE SEE SHEET LW.4

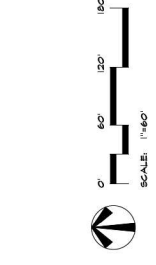


WALL & FENCE LEGEND

- 6 FT. STONE WALL - STONE BLOCK WITH SAND FINISH
STRENGTHENED WITH REINFORCING STEEL
PRECIS ON FINISH ON OPPOSING SIDE
TAN COLOR
- 6 FT. INTERIOR VINYL FENCE
- 6 FT. EXTERIOR VINYL FENCE
- 6 FT. INTERIOR STONE BLOCK WALL WITH SAND FINISH
STRENGTHENED WITH REINFORCING STEEL
PRECIS ON FINISH ON OPPOSING SIDE
TAN COLOR
- 6 FT. VINYL GATE / TAN COLOR
- 6'-6" HT. CMU PILASTER
PILASTER WITH PRECAST CAP
- 10' WIDE TUBULAR STEEL GATES



KEY MAP
SCALE: N.T.S.



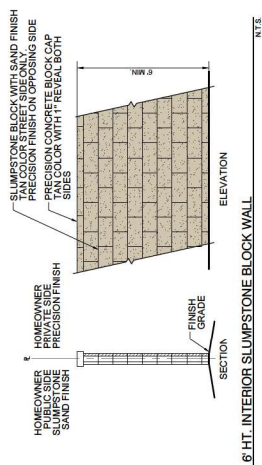
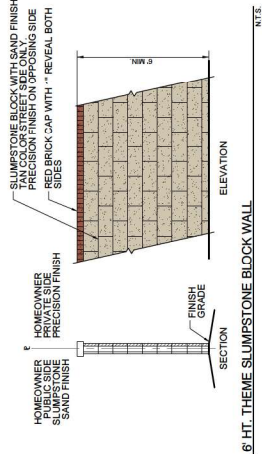
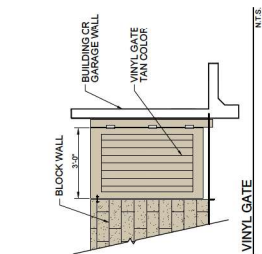
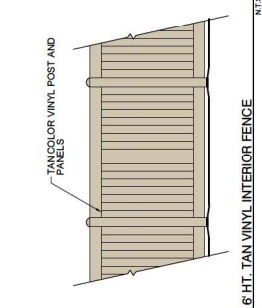
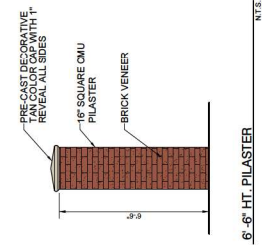
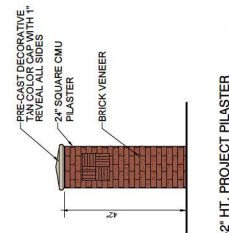
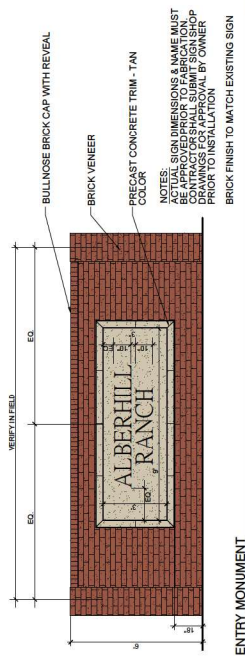
LW.5



HERRMANN DESIGN GROUP
77899 WOLF RD.
SUITE 102
PALM BEACH, FL 33411
LIC# 2754 EXP 04/2024
PH (760) 775-9131
FAX (760) 777-9132

ALBERHILL RANCH TRACT 28214-9
PRELIMINARY WALL & FENCE PLANS
CITY OF LAKE ELSINORE
PULTE HOME COMPANY

DATE: 9/22/23



ALBERHILL RANCH TRACT 28214-9

PRELIMINARY WALL & FENCE PLANS

CITY OF LAKE ELSINORE

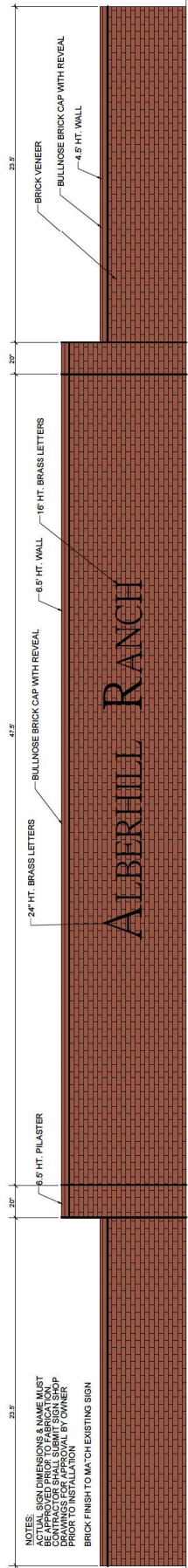
PULTE HOME COMPANY

LW.6

HERMANN DESIGN GROUP
 77-899 WOLF RD.
 SUITE 102
 PALMDALE, CA 92311
 LIC# 2754 EXP 04-30-24
 PH (760) 777-9131
 FAX (760) 777-9132

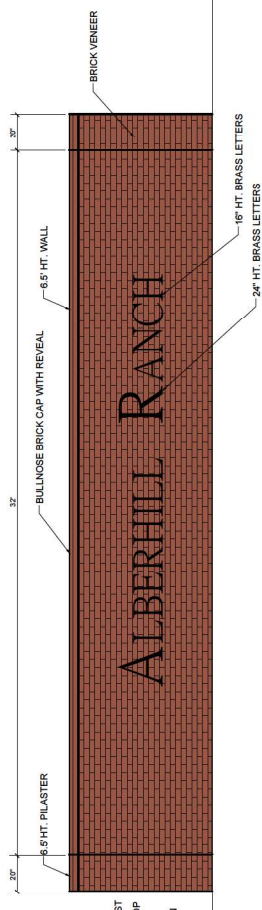


DATE: 9-22-23



PRIMARY MONUMENT

N.T.S.



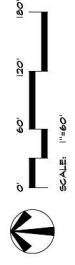
SECONDARY MONUMENT

N.T.S.

NOTES:
 ACTUAL SIGN DIMENSIONS & NAME MUST
 BE APPROVED PRIOR TO FABRICATION.
 ALL DIMENSIONS ARE TO FACE UNLESS
 OTHERWISE NOTED.
 DRAWINGS FOR APPROVAL BY OWNER
 PRIOR TO INSTALLATION.
 BRICK FINISH TO MATCH EXISTING SIGN

ALBERHILL RANCH TRACT 28214-9

PRELIMINARY WALL & FENCE PLANS
 CITY OF LAKE ELSINORE
 PULTE HOME COMPANY



HERMANN DESIGN GROUP
 77-899 WOLF RD.
 SUITE 102
 PALMDALE, CA 92311
 LIC# 2754 EXP 04/30/24
 PH (760) 777-9131
 FAX (760) 777-9132

LW.7

DATE: 9/22/25



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on April 18, 2023 at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following item:

Planning Application No. 2018-64 (VTTM 28214): A request for approval of Residential Design Review No. 2022-06 proposing the design and construction of 344 single-family detached residential units, preliminary plotting, conceptual landscaping, conceptual wall and fence plan and related improvements in Tract No. 28214-9. The proposed development is configured into four community groups each containing three one-to two-story floor plans overall ranging in size from 1,959 to 3,337 square feet and features three architectural styles (Spanish, Prairie and Craftsman). The project site consists of Tract No. 28214-9 located on the south side of Nichols Road between Alberhill Ranch Road and Terra Cotta Road in Planning Area 1 of the Murdock Alberhill Ranch Specific Plan (APNs: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054).

Pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15162, the project would not have a significant effect on the environment and no new environmental documentation is necessary because all potentially significant effects have been adequately analyzed in a previously certified Addendum No. 2 to the Alberhill Ranch Specific Plan Final Environmental Impact Report. Addendum No. 2 to the Alberhill Ranch Specific Plan Final EIR, prepared for VTTM 28214, was certified by the City Council on January 13, 2004.

ALL INTERESTED PERSONS are invited to submit written information, express opinions or otherwise submit written evidence by email to cserna@lake-elsinore.org.

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124 ext. 297. All Agenda materials are available for review on the City's website at www.lake-elsinore.org the Friday before the Public Hearing.

FURTHER INFORMATION on this item may be obtained by contacting Kevin Beery, Associate Planner, at kbeery@lake-elsinore.org or (951) 674-3124, ext. 805.

Damaris Abraham
Interim Assistant Community Development Director

Posted at City Hall on April 5, 2023
Published in the Press Enterprise on April 5, 2023

THE PRESS-ENTERPRISE

KEEP YOUR EYES ON THE 'PRISE

pe.com

3512 14 Street
Riverside, California 92501
(951) 368-9229
neller@scng.com

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

Account Number:	5209153
Ad Order Number:	0011595269
Customer's Reference/PO Number:	
Publication:	The Press-Enterprise
Publication Dates:	04/05/2023
Total Amount:	\$377.07
Payment Amount:	\$0.00
Amount Due:	\$377.07
Notice ID:	I1gNQcBKjAfcCkuUGSPk
Invoice Text:	

THE PRESS-ENTERPRISE

KEEP YOUR EYES ON THE PRIZE

The Press-Enterprise
3512 14 Street
Riverside, California 92501
(951) 368-9229

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011595269

FILE NO. 0011595269

PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

04/05/2023

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: April 5, 2023.
At: Riverside, California



Signature



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on April 18, 2023 at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following item:

Planning Application No. 2018-64 (VTM 28214): A request for approval of Residential Design Review No. 2022-06) proposing the design and construction of 344 single-family detached residential units, preliminary plotting, conceptual landscaping, conceptual wall and fence plan, and related improvements in Tract No. 28214-9. The proposed development is configured into four community groups each containing three one-to two-story floor plans overall ranging in size from 1,959 to 3,337 square feet and will feature three architectural styles (Spanish, Prairie and Craftsman). The project site consists of Tract No. 28214-9 located on the south side of Nichols Road between Alberhill Ranch Road and Terra Cotta Road in Planning Area 1 of the Murdock Alberhill Ranch Specific Plan (APNs: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054).

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FURTHER INFORMATION on this item may be obtained by contacting Kevin Beery, Associate Planner, at kbeery@lake-elsinore.org or (951) 674-3124, ext. 805.

Damaris Abraham
Interim Assistant Community Development Director

Posted at City Hall on February 24, 2023
Published in the Press Enterprise on February 25, 2023
The Press-Enterprise
Published: 4/5/23

**PLANNING COMMISSION
PUBLIC HEARING NOTICE**

City of Lake Elsinore

A PUBLIC HEARING WILL BE HELD BY THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE ON TUESDAY, APRIL 18, 2023, AT THE LAKE ELSINORE CULTURAL CENTER, 183 NORTH MAIN STREET, LAKE ELSINORE, CA, 92530, AT 6:00 P.M. OR AS SOON THEREAFTER AS THE ITEM MAY BE HEARD TO CONSIDER THE FOLLOWING PROJECT:

Planning Application No. 2018-64 (VTTM 28214): A request for approval of Residential Design Review No. 2022-06 proposing the design and construction of 344 single-family detached residential units, preliminary plotting, conceptual landscaping, conceptual wall and fence plan and related improvements in Tract No. 28214-9. The proposed development is configured into four community groups each containing three one-to two-story floor plans overall ranging in size from 1,959 to 3,337 square feet and features three architectural styles (Spanish, Prairie and Craftsman). The project site consists of Tract No. 28214-9 located on the south side of Nichols Road between Alberhill Ranch Road and Terra Cotta Road in Planning Area 1 of the Murdock Alberhill Ranch Specific Plan (APNs: 389-090-032-035; 389-790-001-048; 389-800-001-024; 389-801-001-031; 389-802-001-020; 389-810-001-035; 389-811-001-011; 389-812-001-017; 389-820-001-007; 389-821-001-007; 389-822-001-037; 389-830-001-022; 389-831-001-019; 389-832-001-011; 389-840-001-024; 389-841-001-054).

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FURTHER INFORMATION on this item may be obtained by contacting Kevin Beery, Associate Planner, at kbeery@lake-elsinore.org or (951) 674-3124, ext. 805.

Damaris Abraham
Interim Assistant Community Development Director

**PLANNING COMMISSION
PUBLIC HEARING NOTICE**

City of Lake Elsinore

A PUBLIC HEARING WILL BE HELD BY THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE ON TUESDAY, APRIL 18, 2023, AT THE LAKE ELSINORE CULTURAL CENTER, 183 NORTH MAIN STREET, LAKE ELSINORE, CA, 92530, AT 6:00 P.M. OR AS SOON THEREAFTER AS THE ITEM MAY BE HEARD TO CONSIDER THE FOLLOWING PROJECT:

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Damaris Abraham
Interim Assistant Community Development Director

City of Lake Elsinore
130 South Main Street
Lake Elsinore, CA 92530



OFFICIAL NOTICE
CITY OF LAKE ELSINORE
COMMUNITY DEVELOPMENT DEPARTMENT

City of Lake Elsinore
130 South Main Street
Lake Elsinore, CA 92530



OFFICIAL NOTICE
CITY OF LAKE ELSINORE
COMMUNITY DEVELOPMENT DEPARTMENT



1250 Corona Pointe Court, Suite 200, Corona, CA 92879

Toll Free (877) 659-4502 - Fax (909) 477-6055

First American Title Insurance Company, a California corporation,

HEREBY CERTIFIES THAT ACCORDING TO THE RECORDS OF A VENDOR SERVICE,
THE ATTACHED LIST CONTAINS THE NAMES AND ADDRESSES OF ALL PERSONS
TO WHOM ALL PROPERTY IS ASSESSED AS THEY APPEAR ON THE LATEST
AVAILABLE ASSESSMENT ROLL, OF THE COUNTY OF RIVERSIDE WITHIN THE
AREA DESCRIBED AND FOR A RADIUS OF 300 FEET FROM THE EXTERIOR
BOUNDARIES OF THE PROPERTY LEGALLY DESCRIBED AS:

APN: 389-090-032 THROUGH 389-090-035, 389-790-001 THROUGH 389-790-048,
389-800-001 THROUGH 389-800-024, 389-801-001 THROUGH 389-801-031,
389-802-001 THROUGH 389-802-020, 389-810-001 THROUGH 389-810-035,
389-811-001 THROUGH 389-811-011, 389-812-001 THROUGH 389-812-017,
389-820-001 THROUGH 389-820-007, 389-821-001 THROUGH 389-821-007,
389-822-001 THROUGH 389-822-037, 389-830-001 THROUGH 389-830-022
389-831-001 THROUGH 389-831-019, 389-832-001 THROUGH 389-832-011
389-840-001 THROUGH 389-840-024, AND 389-841-001 THROUGH 389-841-054

First American Title Company

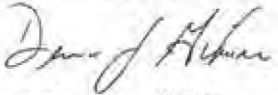
Signature of Preparer: DANIELA CAMPOS Date Prepared: APRIL 10, 2023

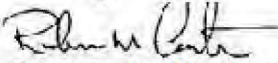
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First American Title Insurance Company

By:  Chief Executive Officer

Attest: 
Ruben Castro - Vice President - Southern California Regional Director



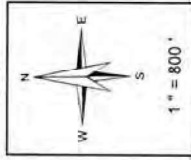
First American Title Company

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SEC. 26, 27 T.5S, R.5W
CITY OF LAKE ELSINORE

TRA 005-053
005-093

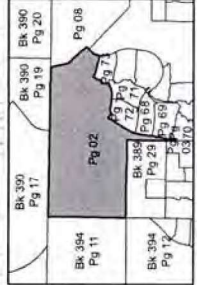
389-02
18-78



Legend

- Lot Lines
- Right-of-Way
- Old Lot Lines
- Reference R.O.W.
- Ordn. Easements
- Leased Area
- Subdivision To Mark

Data
GLO. RS 41/3, 41/83
LLA 3140
LLA 8912
MB 12/23
RS 85/28
ST. VAC. #2021-0607659



Map Reference
MB 396/3 - 7 TRACT NO. 28214-4
MB 446/88 - 105 TRACT MAP NO. 35000

Date	Old Number	New Number
8/1/1977	4	9-12
3/1/1979	808	13
7/1/1979	12	14, 15
8/1/1979	14	16-18
10/1/1979	10	19, 20
8/1/1980	9	21-24
12/1/1980	11	25-28
11/1/1981	21-24	29-31
11/1/1981	20	32-35
11/1/1981	25-28	36-39
11/1/1981	19	40-43
11/1/1981	15-18	44-47
4/1/1986	ADD-ADMT	48-51
12/1/1987	12, 15	52
12/1/1989	3, 6	53
11/1/1990	20	54
3/1/1991	31	55
3/1/1991	7, 13	56
3/1/1991	33	57
7/2/2005	34	58
8/5/2005	38	59
8/5/2005	40	60
4/2/2006	43	61
4/2/2006	44	62
4/2/2006	45	63
4/2/2006	46	64
4/2/2006	47	65
4/2/2006	48	66
4/2/2006	49	67
4/2/2006	50	68
4/2/2006	51	69
4/2/2006	52	70
4/2/2006	53	71
4/2/2006	54	72
4/2/2006	55	73
4/2/2006	56	74
4/2/2006	57	75
4/2/2006	58	76
4/2/2006	59	77
4/2/2006	60	78
4/2/2006	61	79
4/2/2006	62	80
4/2/2006	63	81
4/2/2006	64	82
4/2/2006	65	83
4/2/2006	66	84
4/2/2006	67	85
4/2/2006	68	86
4/2/2006	69	87
4/2/2006	70	88
4/2/2006	71	89
4/2/2006	72	90
4/2/2006	73	91
4/2/2006	74	92
4/2/2006	75	93
4/2/2006	76	94
4/2/2006	77	95
4/2/2006	78	96
4/2/2006	79	97
4/2/2006	80	98
4/2/2006	81	99
4/2/2006	82	100

arroyo

ASSESSOR'S MAP BK389 PG. 02
Riverside County, Calif.

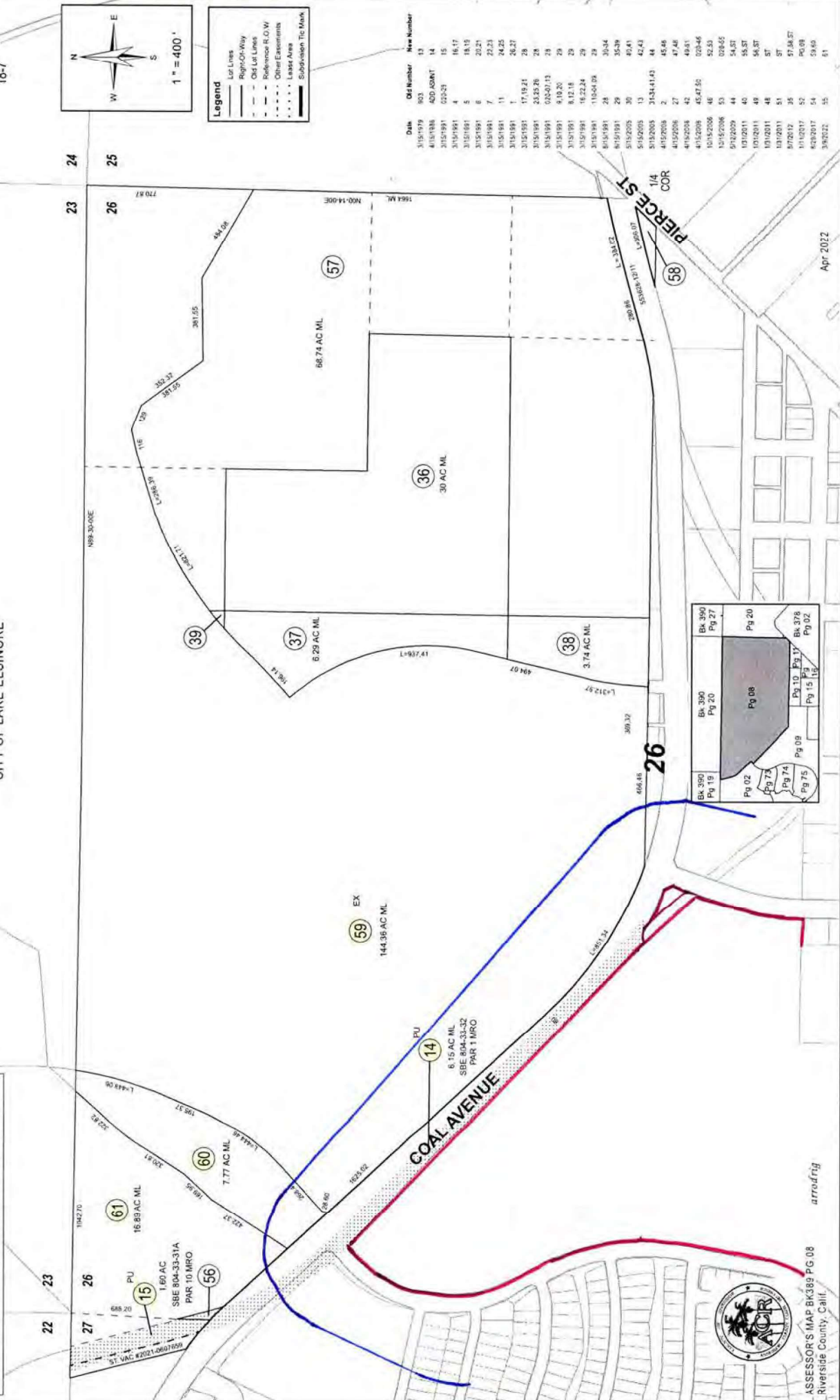
Apr 2022

SEC. 26, 27, T.5S., R.5W.
CITY OF LAKE ELSINORE

TRA 035-053

389-08
18-7

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Date	Old Number	New Number
3/15/1979	903	13
4/15/1986	ADD ASANT	14
3/15/1991	022-23	15
3/15/1991	4	16,17
3/15/1991	5	18,19
3/15/1991	6	20,21
3/15/1991	7	22,23
3/15/1991	11	24,25
3/15/1991	1	26,27
3/15/1991	17,19,21	28
3/15/1991	23,25,26	29
3/15/1991	022-07,13	29
3/15/1991	8,10,20	29
3/15/1991	8,12,18	29
3/15/1991	16,22,24	29
3/15/1991	11,004,08	29
3/15/1991	28	30,34
3/15/1991	29	35,38
3/15/2005	30	40,41
3/15/2005	13	42,43
3/15/2005	2	44
3/15/2005	21,31,41,43	44
4/15/2008	2	45,46
4/15/2008	27	47,48
4/15/2008	42	49,51
4/15/2008	45,47,50	52,53
10/15/2008	46	52,53
10/15/2008	53	52,53
5/15/2009	44	54,57
10/15/2011	40	55,57
10/15/2011	48	56,57
10/15/2011	48	57
5/7/2012	35	57,58,57
1/1/2017	52	57,58,57
5/3/2017	54	59,60
3/9/2022	55	61

arranging

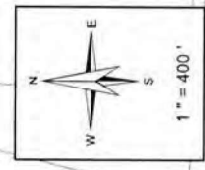
Apr 2022

389-09
18-7
389-02, 08

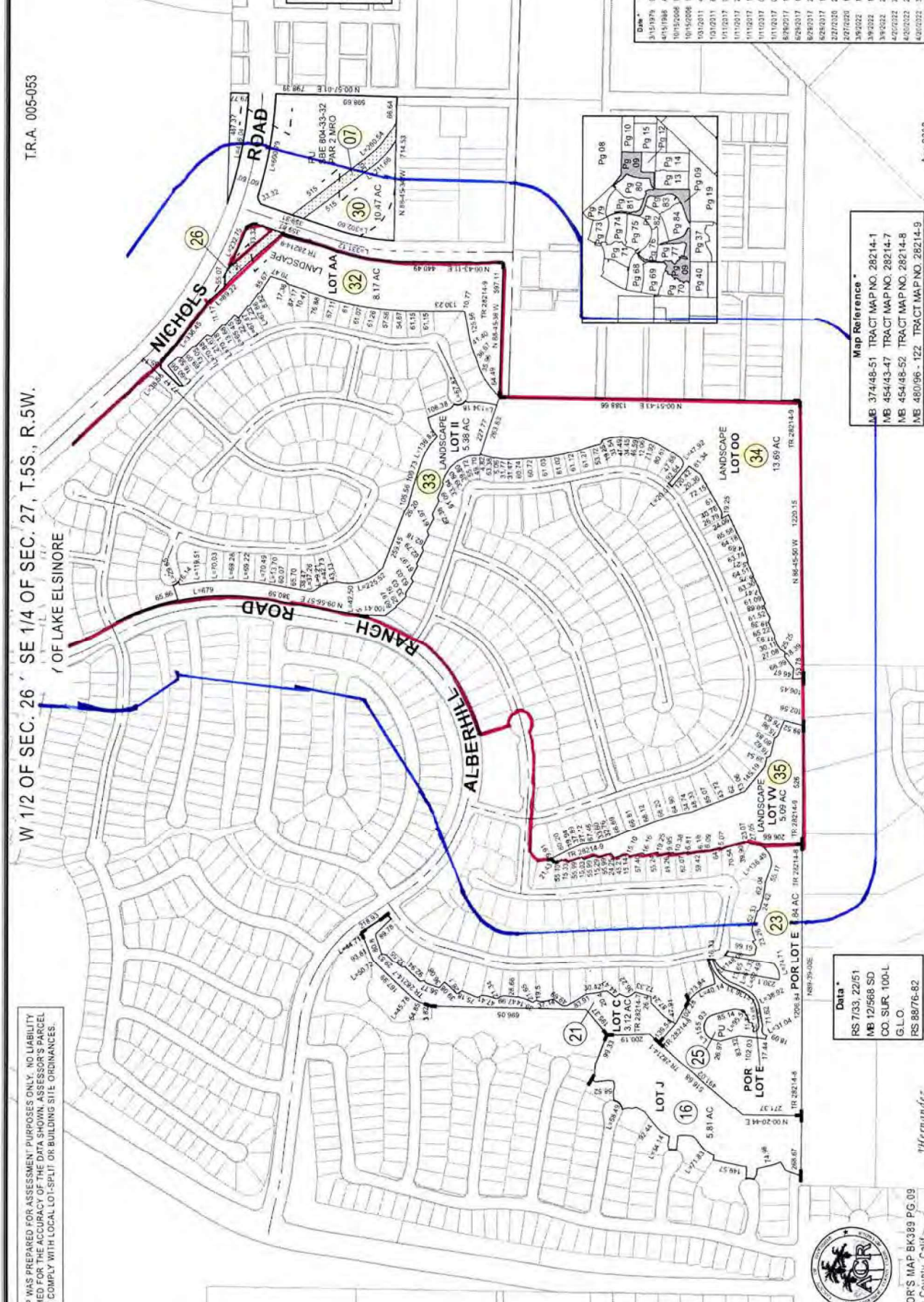
T.R.A. 005-053

W 1/2 OF SEC. 26 ' SE 1/4 OF SEC. 27, T.5S., R.5W.

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- Legend**
- Lot Lines
 - Right-Of-Way
 - Old Lot Lines
 - Reference R.O.W.
 - Other Easements
 - Lease Area
 - Subdivision Tr. Mark



Date	Old Number	New Number
3/15/1978	905	5
4/15/1986	Asst. April	7
10/15/2008	9	205-55
10/15/2008	1	89
10/15/2011	4	13,11,37
10/15/2011	8	12,37
10/15/2011	13,14	13,14
10/15/2017	205-55	15
10/15/2017	2,3,8,10	15
10/15/2017	11,14,20,43,52	15
10/15/2017	205-55	15
5/9/2017	13	17
5/9/2017	19	15,20
5/9/2017	20	21, PG2, PG27
5/9/2017	25	PG6
5/9/2017	18	20,24
2/27/2020	22	25
2/27/2020	17,24	25
2/27/2020	12	25,37
2/27/2020	15	27,37
2/27/2020	27	28
2/27/2020	28	29,30
2/27/2020	29,31,14,5	31
2/27/2020	31	31-35 PG27, PG44

Map Reference *

- MB 374/48-51 TRACT MAP NO. 28214-1
- MB 454/43-47 TRACT MAP NO. 28214-7
- MB 454/48-52 TRACT MAP NO. 28214-8
- MB 480/96 - 122 TRACT MAP NO. 28214-9

Data *

- RS 7/33, 22/51
- MB 12/568 SD
- CO. SUR. 100-L
- G.L.O.
- RS 8876-82

J Hernandez

ASSESSOR'S MAP BK389 PG.09
Riverside County, Calif



Apr 2022

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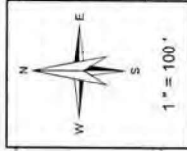
SW 1/4 OF SEC. 26, T.5S., R.5W.

T.R.A. 005-053

389-12

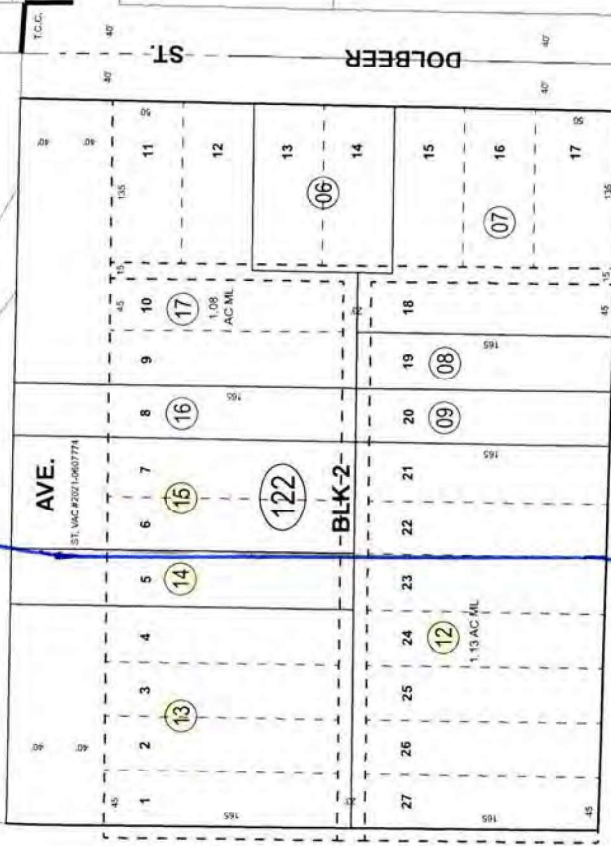
CITY OF LAKE ELSINORE

18-9



Legend

- Lot Lines
- Right-Of-Way
- Old Lot Lines
- Reference R.O.W
- Other Easements
- Lease Area
- Subdivision Tic Mark



KINGS

HWY.

DOLBEER ST.

ST.

T.C.C.

T.C.C.

Date	Old Number	New Number
3/8/2022	122-1	11 ST
3/8/2022	122-10	12 ST
3/8/2022	122-11	13
3/8/2022	122-2	14
3/8/2022	122-3	15
3/8/2022	122-4	16
3/8/2022	122-5	17
3/8/2022	121-2	4 ST
3/8/2022	121-3	5 ST
4/20/2022	121-4	4.5 ST
4/20/2022	121-5	4.5 ST

Map Reference *
NB 4212 SD. TERESA COTTA CITY

Data *
RS 8876-82



ASSESSOR'S MAP BK389 PG.12
Riverside County, Calif.

JHernandez

Apr 2022

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SW 1/4 of SEC. 26, T.5S., R.5W
CITY OF LAKE ELSINORE

TRA 005-053

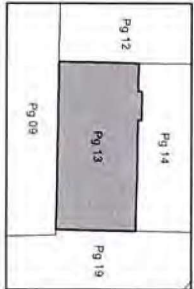
389-13
18-9



ASSESSOR'S MAP BK389 PG. 13
Riverside County, Calif.

atrodfig

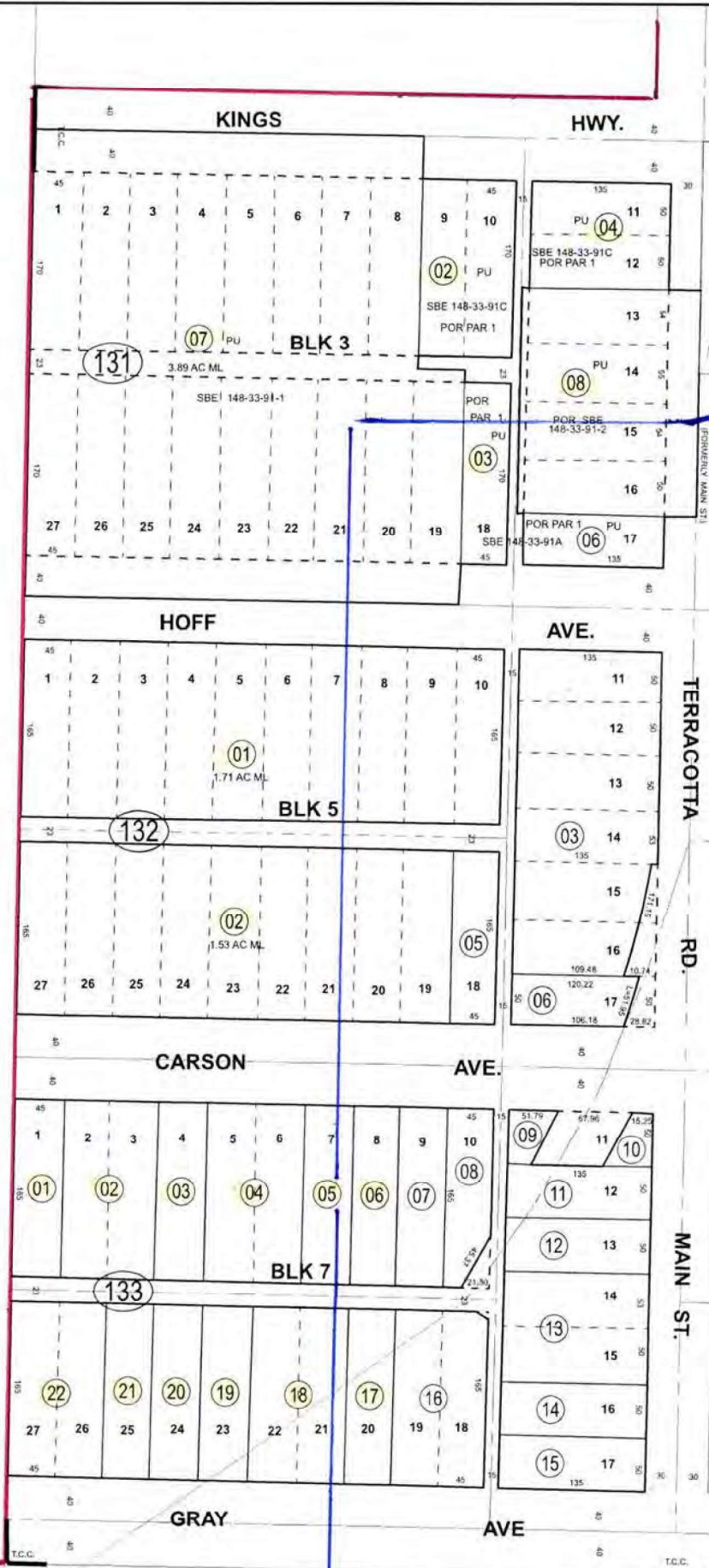
Data *
CO. SUR. 702-4
RS 8876-82



Map Reference *
MB 4212 S.D. TERRA COTTA CITY

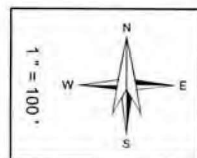
Apr 2022

Data *
004 Number * New Number
3/11/19 131501
3/11/19 131505
2/16/2022 13254
5/57



Legend

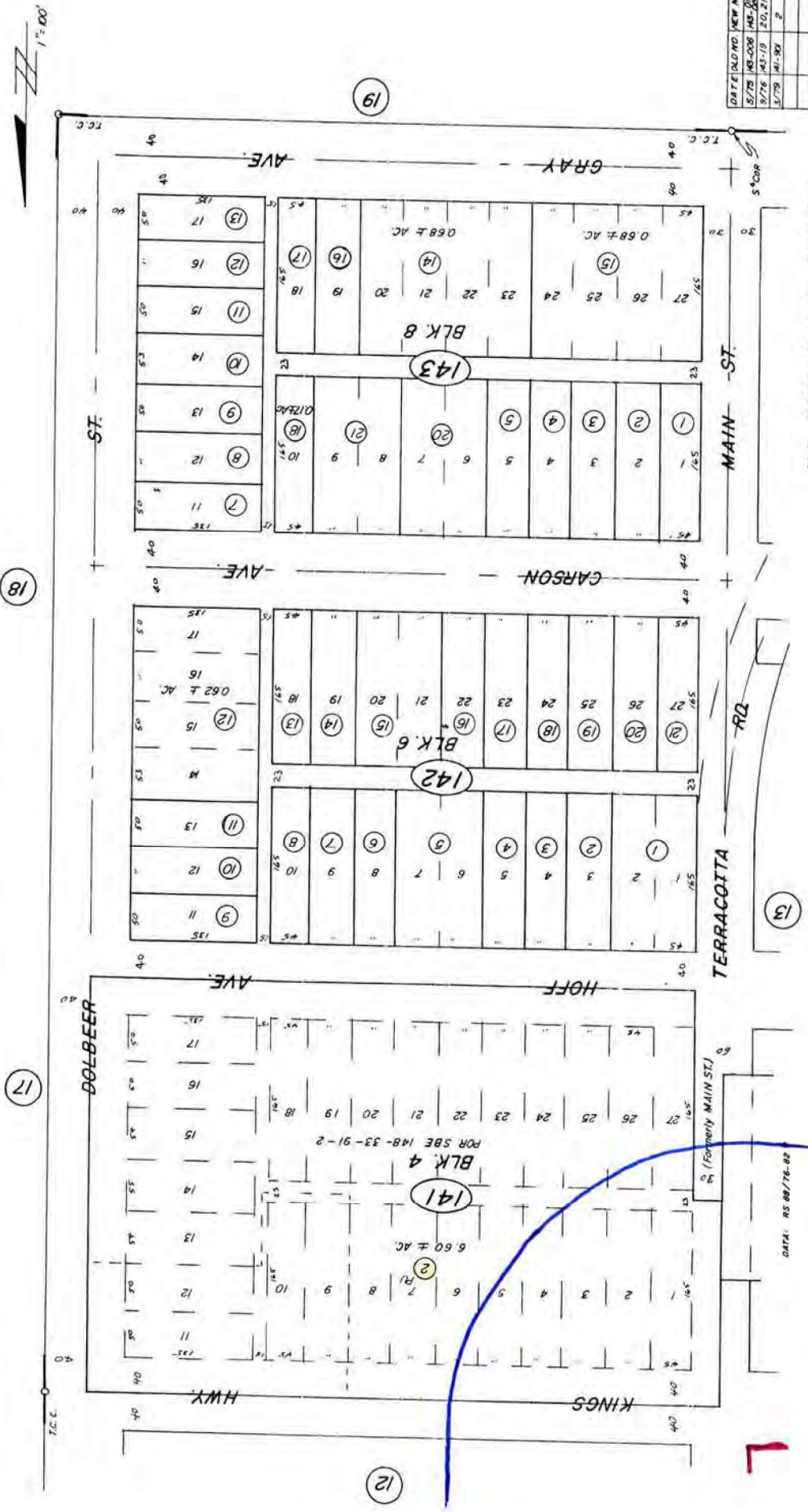
- Lot Lines
- Right-of-Way
- Dist. Lot Lines
- Reference R.O.W.
- Other Easements
- Lease Area
- Subdivision Tie Mark



THIS MAP IS FOR
ASSESSMENT PURPOSES ONLY.

POR. SW 1/4 FRAC. SEC. 26 T.5S.R.5W.

T.R.A. 005-053 389-14
1B-9



DATE	OLD NO.	NEW NO.
5/78	43-008	44-008
9/78	43-10	20, 21
3/79	41-50	2

M.B. 4/2/25.D. Terra Corta City

JULY 1973

ASSESSOR'S MAP BK. 389 PG. 14
RIVERSIDE COUNTY, CALIF.

DATA: RS 88/76-82

FRAC. SEC. 35, & POR. N1/2 SEC. 34 T.5 S.R.5 W.

T.R.A. 005-062
005-021

389-19¹⁸⁻⁷

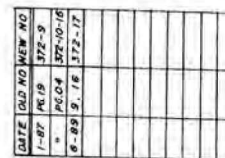


ASSESSOR'S MAP BK. 369 PG. 18
RIVERSIDE COUNTY, CALIF.

JULY 1973

DATE	OLD NO.	NEW NO.
5/84	3	4, 5, 6
"	4	343 (1-19)
"	5	340 (24-35)
"	6	344 (3-14)
"	6	350 (2-9)
"	"	352 (20-26)
3/85	1	7, 8
"	8	"
3-3-85	8	040-28
6-85	9	PG 37
-87	7	PG 37

389-04,19
389-37



M.B. 150/78-80 Tract No. 15020-2
M.B. 150/84-86 " " 15020-4
M.B. 164/46-48 " " 15020

ASSESSORS MAP BK. 389 PG. 37
RIVERSIDE COUNTY, CALIF.

~~JUNE '85~~ JAN: 1987 JE

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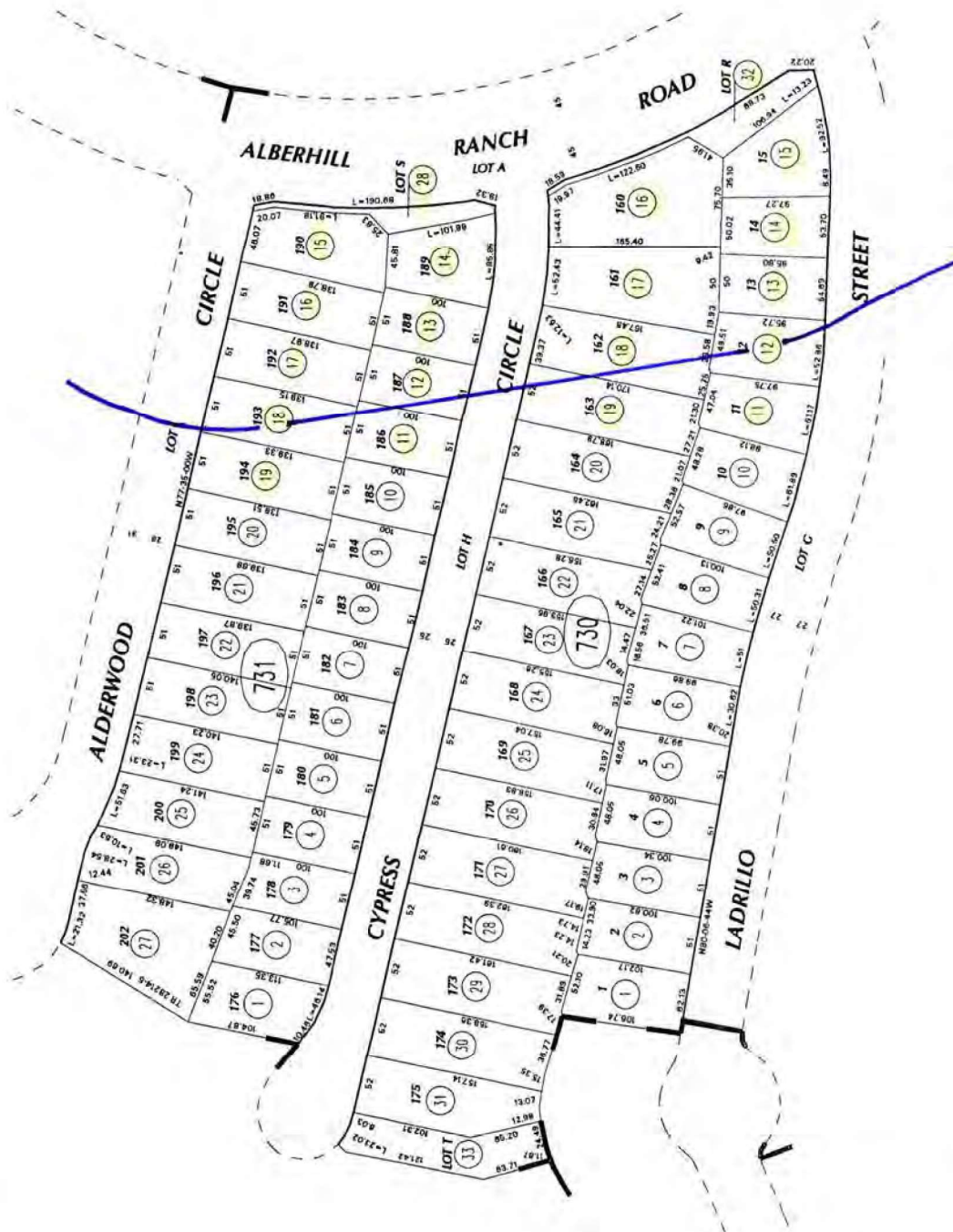
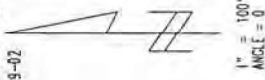
02

SEC. 26 27 T. 5S. R. 5W
CITY OF LAKE ELSINORE

T. R. A. 005-053

389-73
389-92

NOV 18 2006



08

ASSESSOR'S MAP BK388 PG. 73
Riverside County, Calif.

71

74

MB 403/36-43 TRACT NO. 28214-5

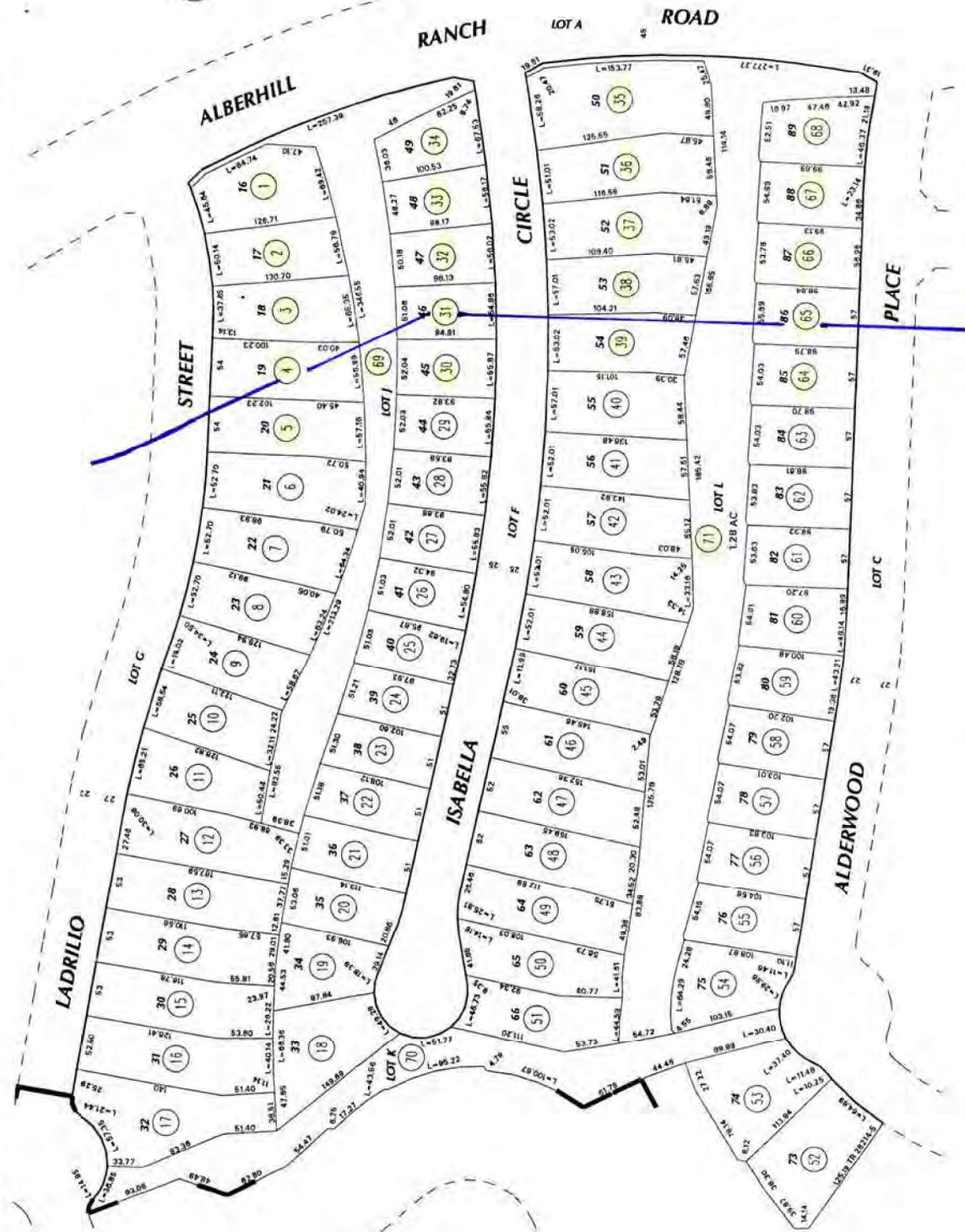
Nov 2006

389-74
389-02

T.R.A. 005-053

NOV 13 2006

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1" = 100'
ANGLE = 0

09

08

Nov 2006

MB 403/36-43 TRACT NO. 28214-5

75

71

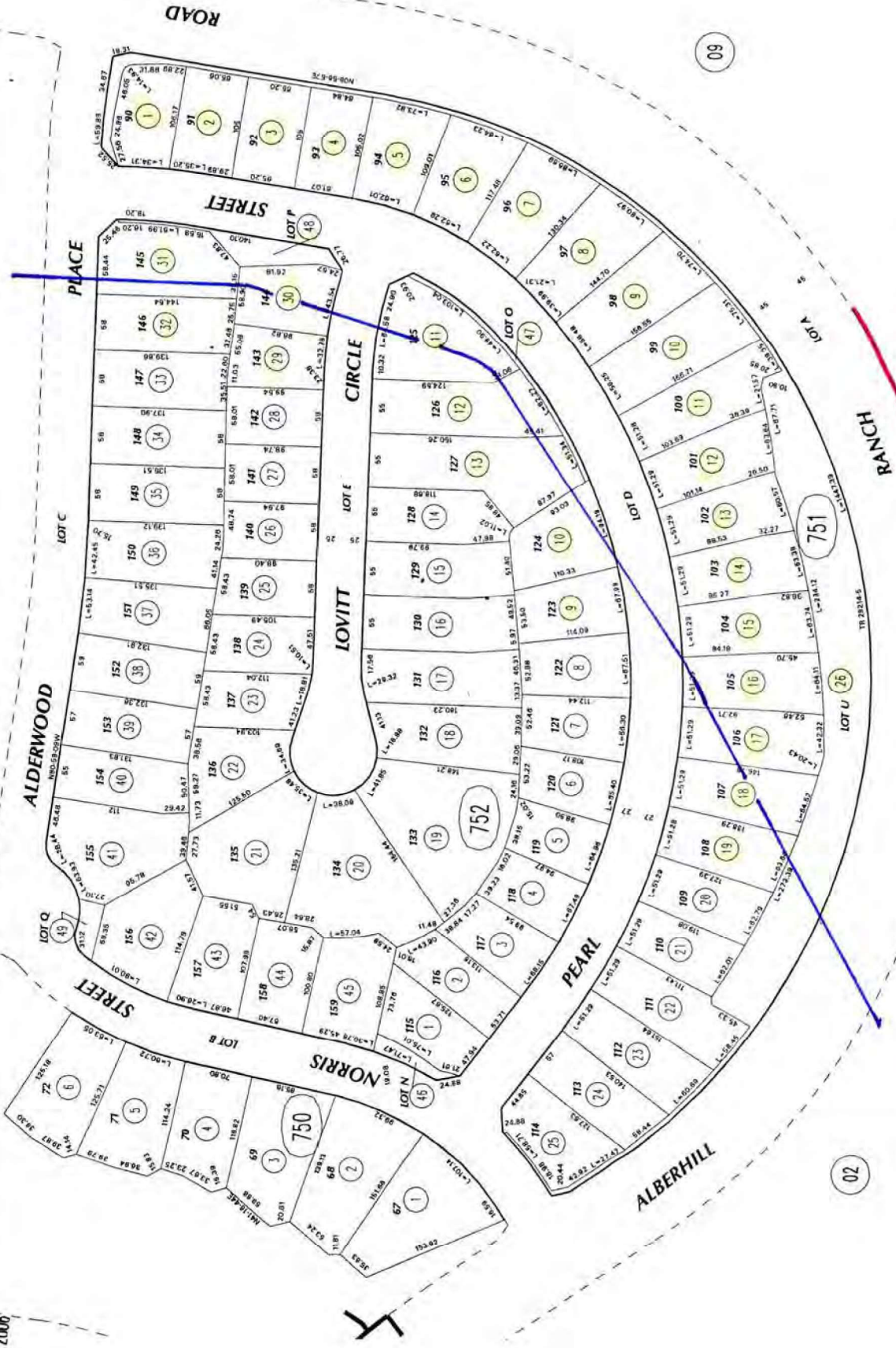
11/10/06

389-75
389-02

I.R.A. 005-053

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NOV 1 8 2006



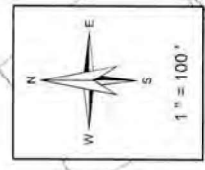
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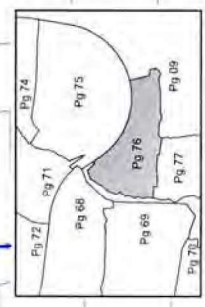
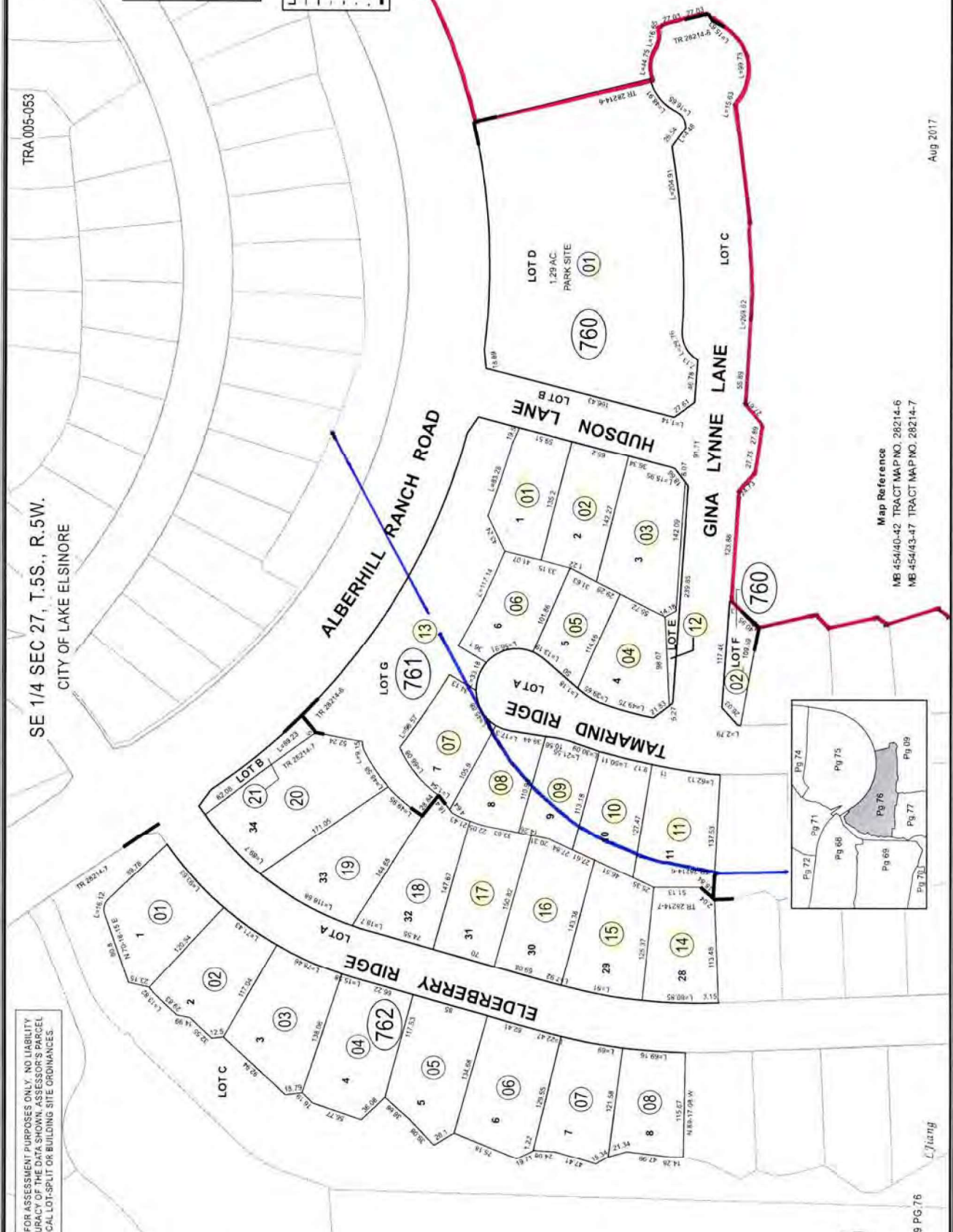
389-76
389-09

SE 1/4 SEC 27, T.5S., R.5W.
CITY OF LAKE ELSINORE

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- Legend**
- Lot Lines
 - Right-Of-Way
 - Old Lot Lines
 - - - Reference R.O.W.
 - ... Other Easements
 - Lateral Area
 - Subdivision Tie Mark



Map Reference
MB 454/40-42 TRACT MAP NO. 28214-6
MB 454/43-47 TRACT MAP NO. 28214-7



ASSESSOR'S MAP BK389 PG.76
Riverside County, Calif.

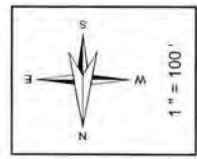
Aug 2017

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SE 1/4 SEC. 27 T.5S, R.5W
CITY OF LAKE ELSINORE

TRA 005-053

389-77
389-09



- Legend**
- Lot Lines
 - Right-of-Way
 - Old Lot Lines
 - Reference R.O.W
 - Other Easements
 - Leased Area
 - Subdivision Block



Map Reference
MB 454/43-47 TRACT MAP NO. 28214-7
MB 454/48-52 TRACT MAP NO. 28214-8

ASSESSOR'S MAP BK389 PG. 77
Riverside County, Calif.

Aug 2017



389-79
389-09

T.R.A. 005-053

W 1/2 OF SEC. 26, T.5S., R.5W.
CITY OF LAKE ELSINORE

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Legend

- Lot Lines
- Right-Of-Way
- Old Lot Lines
- Historic P.O.W.
- Other Easements
- Lease Area
- Subdivision Tie Mark

1" = 100'

NICHOLS

ROAD

ALBERHILL

RANCH

DOUGLAS

LILAH

LOT E

LOT F

MYRTLE ST

LOT C

PIONEER LANE

LABRILLO

ROAD

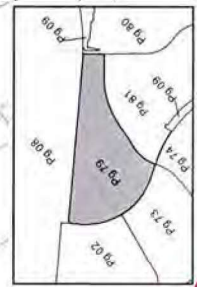
ALDERWOOD LANE



ASSESSOR'S MAP BK389 PG.79
Riverside County, Calif.

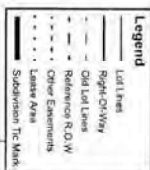
Map Reference *
MB 480/96 - 122 TRACT MAP NO. 28214-9

Apr 2022



389-80

389-12





ASSESSOR'S MAP BK389 PG.81
Riverside County, Calif.
Mfernandes

Map Reference *
MB 480/96 - 122 TRACT MAP NO. 28214-9

Apr 2022



Legend

- Lot Lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W.
- - - Other Easements
- Lease Area
- Subdivision Tric Mark



389-82

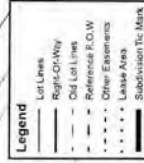
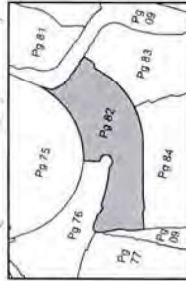
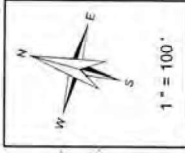
389-09

T.R.A. 005-053

SW 1/4 OF SEC. 26 & SE 1/4 OF SEC. 27, T.5S., R.5W.

CITY OF LAKE ELSINORE

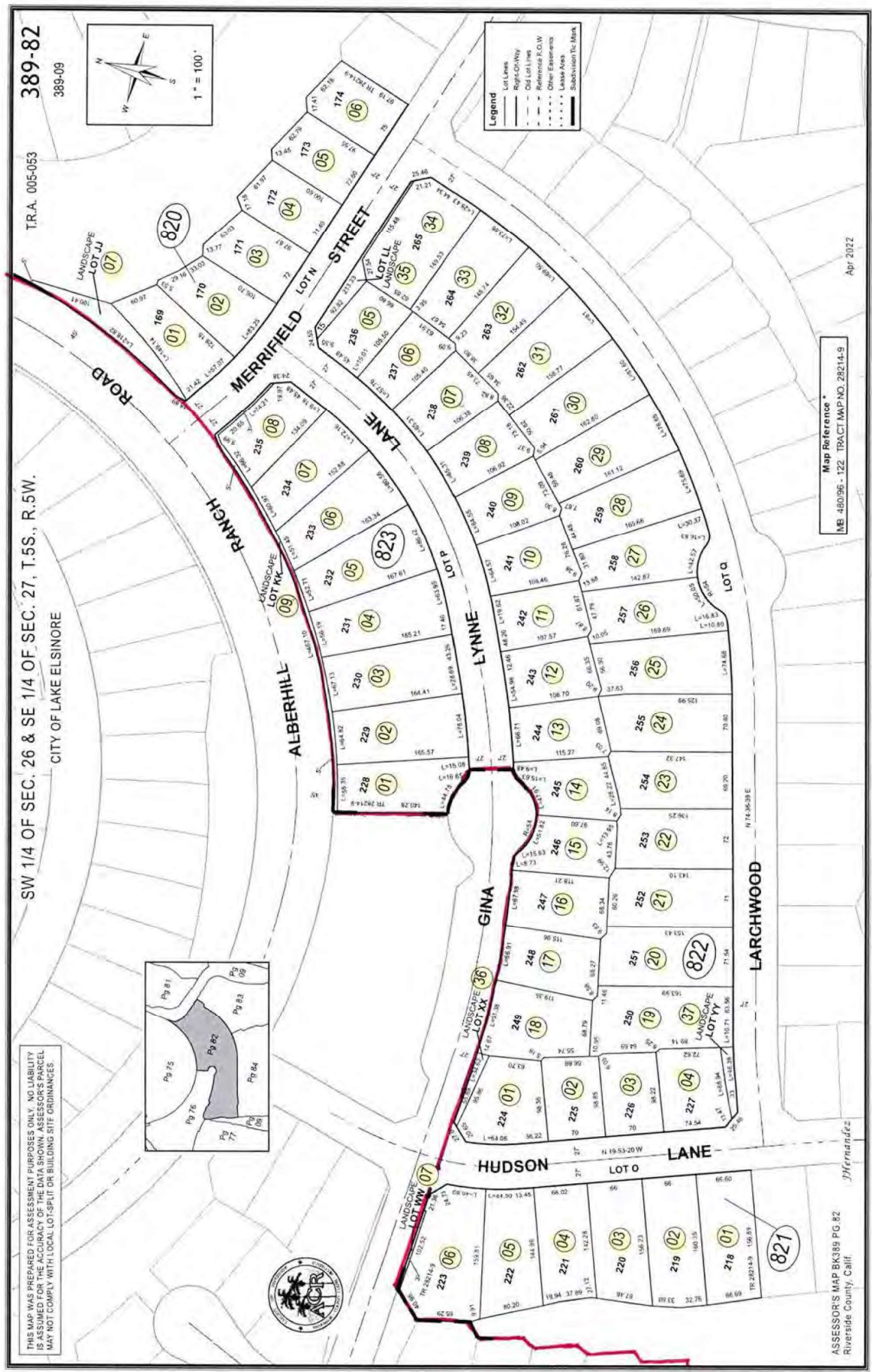
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSORS' PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.



Map Reference *
MB 480/96 - 122 TRACT MAP NO. 28214-9

Apr 2022

ASSESSOR'S MAP BK389 PG 82
Riverside County, Calif.

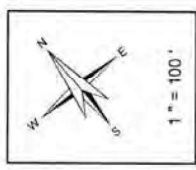


389-83
389-09

T.R.A. 005-053

SW 1/4 OF SEC. 26, T.5S., R.5W.
CITY OF LAKE ELSINORE

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.



- Legend**
- Lot Lines
 - Right-of-Way
 - Old Lot Lines
 - Reference R.O.W.
 - Other Easements
 - Lease Area
 - Subdivision Tie Mark



Map Reference *
ME 48096 - 122 TRACT MAP NO. 28214-9

Apr 2022



ASSESSOR'S MAP BK389 PG.83
Riverside County, Calif.
Jifferman & Co.

APN	OWNER	ADDRESS	CITY	STATE	ZIP
389-020-049	Lake Elsinore Unified School Dist	545 Chaney St	Lake Elsinore	CA	92530-2712
389-080-014	At & Sf Rr	740 Carnegie Dr	San Bernardino	CA	92408-3571
389-080-059	County Of Riverside	Po Box 1180	Riverside	CA	92502-1180
389-080-060	County Of Riverside	3403 10th St #400	Riverside	CA	92501-3658
389-080-061	Alberhill Dev	12671 High Bluff Dr #150	San Diego	CA	92130-3018
389-090-023	Alberhill Ranch Community	16775 Von Karman Ave #100	Irvine	CA	92606-4966
389-131-002	Southern California Edison Co	2131 Walnut Grove Ave #2	Rosemead	CA	91770-3769
389-132-001	Rodriguez Amelia	19273 Consul Ave	Corona	CA	92881-3710
389-133-001	Carrig Vernon D	15306 Casimir Ave	Gardena	CA	90249-4120
389-133-002	Penaloza Maximino	424 E Central Blvd #182	Orlando	FL	32801-1923
389-133-005	Boyle William	8459 Georgian Ct	Manassas	VA	20110-4568
389-133-006	Mulgrew Robert M	30491 Caliente Pl	Canyon Lake	CA	92587-7520
389-133-017	Spectrum Communities Llc	3334 E Coast Highway #605	Corona Del Mar	CA	92625
389-133-019	Vargas Joel Rojas	803 N Gilbert St	Anaheim	CA	92801-3354
389-133-021	Martin and Joanna Lopez Revocable Trust	1091 Cornerstone Way	Corona	CA	92878-5469
389-133-022	Hou Denis M	6353 Saddle Tree Pl	Rancho Cucamonga	CA	91739-9085
389-141-002	C S Reenders Asst Comptroller	Po Box 800	Rosemead	CA	91770
389-190-002	Elsinore Valley Municipal Water District	36310 Inland Valley Dr #300	Wildomar	CA	92595
389-372-010	Mts Capital Llc	20915 Panorama Dr	Los Gatos	CA	95033-8631
389-730-011	Aguirre Octavio P	4186 Ladrillo St	Lake Elsinore	CA	92530-2016
389-730-012	Conje Emelda T	4188 Ladrillo St	Lake Elsinore	CA	92530-2016
389-730-013	Woodson Derrick Wayne	2276 W Colchester Dr #1	Anaheim	CA	92804-4254
389-730-014	Dragosavac Caleb	4192 Ladrillo St	Lake Elsinore	CA	92530-2016
389-730-015	Premmer Shanta Lavon	4194 Ladrillo St	Lake Elsinore	CA	92530-2016
389-730-016	Garza Angelica	4193 Cypress Cir	Lake Elsinore	CA	92530-2034
389-730-017	Dotson Brianna L	4191 Cypress Cir	Lake Elsinore	CA	92530-2034
389-730-018	So Kenneth	4189 Cypress Cir	Lake Elsinore	CA	92530-2034
389-730-019	Lopez Priscilla P	4187 Cypress Cir	Lake Elsinore	CA	92530-2034
389-730-032	Alberhill Ranch Community Assn	6455 Alberhill Ranch Rd	Lake Elsinore	CA	92530-2024
389-731-011	Ventura Jose Daniel	4184 Cypress Cir	Lake Elsinore	CA	92530-2034
389-731-012	Golriz Sean	4186 Cypress Cir	Lake Elsinore	CA	92530-2034
389-731-013	Lee Myung Sook	4188 Cypress Cir	Lake Elsinore	CA	92530-2034
389-731-014	Tabila Edgar Torio	4190 Cypress Cir	Lake Elsinore	CA	92530-2034
389-731-015	Sanchez Cesar D	4191 Brianna Cir	Lake Elsinore	CA	92530-2031
389-731-016	Garcia Leopoldo	4189 Brianna Cir	Lake Elsinore	CA	92530-2031
389-731-017	Vargas Richard	4187 Brianna Cir	Lake Elsinore	CA	92530-2031
389-731-018	Keeney David M	4185 Brianna Cir	Lake Elsinore	CA	92530-2031
389-731-019	Jones Clara Berneice	4183 Brianna Cir	Lake Elsinore	CA	92530-2031
389-740-001	Dela Riva Maricruz	4197 Ladrillo St	Lake Elsinore	CA	92530-2017
389-740-002	Durand Flavio	4195 Ladrillo St	Lake Elsinore	CA	92530-2017
389-740-003	Gant Paige V	4193 Ladrillo St	Lake Elsinore	CA	92530-2017
389-740-004	Castro Monica Y	4191 Ladrillo St	Lake Elsinore	CA	92530-2017
389-740-005	Gutierrez Ruth Castro	4189 Ladrillo St	Lake Elsinore	CA	92530-2017
389-740-030	Salazar Daniel	12155 Tina St	Norwalk	CA	90650-1947
389-740-031	Meyer Ronald H	4180 Isabella Cir	Lake Elsinore	CA	92530-2033
389-740-032	Jaynes Garry A	4182 Isabella Cir	Lake Elsinore	CA	92530-2033
389-740-033	Pierce Michael G	4184 Isabella Cir	Lake Elsinore	CA	92530-2033
389-740-034	Kassir Georgio B	4186 Isabella Cir	Lake Elsinore	CA	92530-2033
389-740-035	Cubberley Bruce F	34912 Oak Way	Julian	CA	92036-9565
389-740-036	Peirce Douglas A	4185 Isabella Cir	Lake Elsinore	CA	92530-2032
389-740-037	Carstens Anthony & Roline Family	4183 Isabella Cir	Lake Elsinore	CA	92530-2032
389-740-038	Ramirez Jose Luis	4181 Isabella Cir	Lake Elsinore	CA	92530-2032
389-740-039	Calderon Eduardo	4179 Isabella Cir	Lake Elsinore	CA	92530-2032
389-740-064	Ball Nichole C	4164 Alderwood Pl	Lake Elsinore	CA	92530-2030
389-740-065	Douglas Christopher	4166 Alderwood Pl	Lake Elsinore	CA	92530-2030
389-740-066	Fron Patricia A	4168 Alderwood Pl	Lake Elsinore	CA	92530-2030
389-740-067	Saleh Hamid	4170 Alderwood Pl	Lake Elsinore	CA	92530-2030
389-740-068	Lopez Miguel Ruiz	4172 Alderwood Pl	Lake Elsinore	CA	92530-2030

389-751-001	Vera Alexander James	4157 Pearl St	Lake Elsinore	CA	92530-2027
389-751-002	Hamilton Steven D	4155 Pearl St	Lake Elsinore	CA	92530-2027
389-751-003	Manjarrez Jorge	4153 Pearl St	Lake Elsinore	CA	92530-2027
389-751-004	Martinez Henry J	4151 Pearl St	Lake Elsinore	CA	92530-2027
389-751-005	Lanni Christopher John	4149 Pearl St	Lake Elsinore	CA	92530-2027
389-751-006	Sobti Neeraj	4147 Pearl St	Lake Elsinore	CA	92530-2027
389-751-007	Balian Andrea Michelle	4145 Pearl St	Lake Elsinore	CA	92530-2027
389-751-008	Shaat Hesham M	4143 Pearl St	Lake Elsinore	CA	92530-2027
389-751-009	Marmolejo 2016 Revocable Family	4141 Pearl St	Lake Elsinore	CA	92530-2027
389-751-010	Lane Stephanie Z	4139 Pearl St	Lake Elsinore	CA	92530-2027
389-751-011	Schumaker Zachary Scott	4137 Pearl St	Lake Elsinore	CA	92530-2027
389-751-012	Seo Hyun Sook	110 Deanna St	La Habra	CA	90631-5123
389-751-013	Chubby Cheek Crew Trust	4133 Pearl St	Lake Elsinore	CA	92530-2026
389-751-014	Ziegler James	4131 Pearl St	Lake Elsinore	CA	92530-2026
389-751-015	Martinez Guadalupe	4129 Pearl St	Lake Elsinore	CA	92530-2026
389-751-016	Seniours Joyce A	4127 Pearl St	Lake Elsinore	CA	92530-2026
389-751-017	Robert Michelle D	4125 Pearl St	Lake Elsinore	CA	92530-2026
389-751-018	Tapia Jose Hernandez	4123 Pearl St	Lake Elsinore	CA	92530-2026
389-751-019	Martinez Donald R	4121 Pearl St	Lake Elsinore	CA	92530-2026
389-752-009	Stowell Laura Belle	4124 Pearl St	Lake Elsinore	CA	92530-2026
389-752-010	Reed David M	4126 Pearl St	Lake Elsinore	CA	92530-2026
389-752-011	Pelayo Marcos	4153 Lovitt Cir	Lake Elsinore	CA	92530-2025
389-752-012	Deribeaux Alfonso E	4151 Lovitt Cir	Lake Elsinore	CA	92530-2025
389-752-013	Warren Martin Craig	4149 Lovitt Cir	Lake Elsinore	CA	92530-2006
389-752-029	Gonzalez Luis Ever	4152 Lovitt Cir	Lake Elsinore	CA	92530-2025
389-752-030	Peters Roy J	4154 Lovitt Cir	Lake Elsinore	CA	92530-2025
389-752-031	Matos Elier David	4165 Alderwood Pl	Lake Elsinore	CA	92530-2030
389-752-032	Whitacre Marty D	4163 Alderwood Pl	Lake Elsinore	CA	92530-2030
389-761-001	Lozada Ritchie Delos Santos	4091 Hudson Ln	Lake Elsinore	CA	92530-2035
389-761-002	Owens Living Tr	4089 Hudson Ln	Lake Elsinore	CA	92530-2035
389-761-003	Alvarado Amanda	4087 Hudson Ln	Lake Elsinore	CA	92530-2035
389-761-004	Gonzales Justin Thomas	4086 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-761-005	Kobylecki Maria Rosana	4088 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-761-006	Scott Robert Paul	4090 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-761-007	Cuevas Patricia	4089 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-761-008	Corona Oscar A Becerra	4087 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-761-009	Sitton Denise Ann	4085 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-761-010	Myers Matthew A	4083 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-761-011	Arce Oscar	4081 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-761-014	Eggleston Matthew Roth	4086 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-761-015	Jones William L	4088 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-761-016	Wambugu David	4090 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-761-017	Cervantes Rogelio	4092 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-772-001	Manis Robert J	4068 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-002	Cadiz Danielle Liza	4070 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-003	Frazier Wayne Glenn	4072 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-004	Ruvalcaba Carina	4074 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-005	Velador Luis Daniel	4076 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-006	Long Erik C	4078 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-007	Shoup Dustin Michael	4080 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-772-008	Herzog Dirk	4082 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-772-009	Young Travis Lee	4084 Elderberry Rdg	Lake Elsinore	CA	92530-2043
389-772-010	Carranza David	4066 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-011	Elkin Howard	4064 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-012	Damaso Oscar A	4062 Elderberry Rdg	Lake Elsinore	CA	92530-2038
389-772-013	Blanco Paul Garcia	4057 Tamarind Rdg	Lake Elsinore	CA	92530-2042
389-772-014	Deharo Mark	4059 Tamarind Rdg	Lake Elsinore	CA	92530-2042
389-772-015	Lindsey Christina Maria	4061 Tamarind Rdg	Lake Elsinore	CA	92530-2042
389-772-016	Clark Gina A	4063 Tamarind Rdg	Lake Elsinore	CA	92530-2042

389-772-017	Villalobos Huber	4065 Tamarind Rdg	Lake Elsinore	CA	92530-2042
389-772-018	Jimenez Jorge	4067 Tamarind Rdg	Lake Elsinore	CA	92530-2042
389-772-019	Burfeind Jennifer	4069 Tamarind Rdg	Lake Elsinore	CA	92530-2042
389-772-020	Jimeno Crisalda Jose	4071 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-772-021	Asuncion Conrad	4073 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-772-022	Nguyen Tim Dinh	4075 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-772-023	Velasco Hector	4077 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-772-024	Velasquez Joseph Albert	4079 Tamarind Rdg	Lake Elsinore	CA	92530-2037
389-773-001	Weybright Lori S	4080 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-773-002	Renteria Jose Adolfo Lemus	4078 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-773-004	Achord Johnnie	4074 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-773-005	Zagala Anika T	2727 Greenfield Dr	Corona	CA	92882-5947
389-773-006	Ladd Family Tr	4070 Tamarind Rdg	Lake Elsinore	CA	92530-2036
389-773-007	Porta Otto R	4068 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-008	Uber Dawn	4066 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-009	Castillo Hilda	4064 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-010	Wisner Bruce	4062 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-011	Berg David J	4060 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-012	Trinidad Ryan	4058 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-013	Aceituno Jose L	4056 Tamarind Rdg	Lake Elsinore	CA	92530-2041
389-773-014	Aguilar Alfredo	4017 Elderberry Rdg	Lake Elsinore	CA	92530-2039
389-773-015	Tang Living Tr	4015 Elderberry Rdg	Lake Elsinore	CA	92530-2039
389-773-016	Aceituno Jose L	Po Box 554	Lake Elsinore	CA	92531
389-773-018	Le Khuong N	4009 Elderberry Rdg	Lake Elsinore	CA	92530-2039

MAILED VIA USPS 1ST CLASS
BY KEVIN BEERY, ASSOCIATE PLANNER
APRIL 5, 2023