



REPORT TO PLANNING COMMISSION

To: Honorable Chair and Members of the Planning Commission

From: Damaris Abraham, Interim Assistant Community Development Director

Prepared by: Carlos Serna, Assistant Planner

Date: May 16, 2023

Subject: **Planning Application No. 2022-26 (Ringside Sports Bar and Grill) – A Request for a Conditional Use Permit to establish a new Bar and Restaurant facility in an existing, recently rehabilitated 2,776 sq. ft. building and a Design Review for minor onsite modifications located at 31502 Riverside Drive**

Applicant: Hector Rivera

Recommendation

1. Find that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities);
2. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2022-26 (CONDITIONAL USE PERMIT NO. 2022-22) TO ESTABLISH A BAR AND RESTAURANT FACILITY IN AN EXISTING, RECENTLY REHABILITATED 2,776 SQ. FT. BUILDING LOCATED AT 31502 RIVERSIDE DRIVE (APN: 379-191-029); and
3. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2022-26 (COMMERCIAL DESIGN REVIEW NO. 2022-15) FOR MINOR ONSITE MODIFICATIONS RELATED TO PARKING LOT LAYOUT, SITE CIRCULATION, AND LANDSCAPING FOR AN EXISTING, RECENTLY REHABILITATED 2,776 SQ. FT. BUILDING LOCATED AT 31502 RIVERSIDE DRIVE (APN: 379-191-029).

Background

In February 2022, a Building Permit (BLDG-2022-00197) was issued to rehabilitate the building located at the subject property that had been partially destroyed by fire and water damage. Work pertaining to the rehabilitation of the structure is currently being completed.

Project Location

The project is located at the southeasterly corner of Riverside Drive and Joy Street, more specifically 31502 Riverside Drive (APN: 379-191-029).

Project Description

The applicant is requesting approval of Conditional Use Permit No. 2022-22 to establish a new bar and restaurant facility (Ringside Sports Bar and Grill) in an existing, recently rehabilitated 2,776 sq. ft. building and Commercial Design Review No. 2022-15 for minor on site modifications to repave the existing parking lot, provide a new parking lot layout and site circulation, install parking lot lighting and a trash enclosure, and install new perimeter landscaping.

The Ringside Sports Bar and Grill includes a 2,776 sq. ft. building with an approximately 2,200 sq. ft. restaurant and 500 sq. ft. kitchen. It will be a 21 years-old and over facility. The bar and grill will employ a total of nine (9) people broken down into three (3) kitchen staff members, two (2) bartenders, one (1) host, and three (3) waitresses.

The hours of operation will be Sunday through Saturday from 11:00 a.m. to 2 a.m. As a sports bar the facility will also be live streaming Pay-Per-View sporting events and various sports programs. Similarly, the bar will have a disk jockey (DJ) Thursday through Saturday and will have live performances two (2) times a month.

The Ringside Sports Bar and Grill is currently in escrow for an existing Type 48 (On-Sale General) through the State of California’s Alcoholic Beverage Control.

Environmental Setting

	EXISTING LAND USE	GENERAL PLAN	ZONING
Project Site	Vacant Bldg.	Commercial Mixed Use (CMU)	Commercial Mixed Use (CMU)
North	Car Wash, Commercial	General Commercial (GC)	General Commercial (C2)
South	Vacant	Commercial Mixed Use (CMU)	Commercial Mixed Use (CMU)
East	Restaurant	Commercial Mixed Use (CMU)	Commercial Mixed Use (CMU)
West	Vacant	Commercial Mixed Use (CMU)	Commercial Mixed Use (CMU)

Analysis

General Plan Consistency

The project has a General Plan Land Use designation of Commercial Mixed Use (CMU) and is located in the Lake Edge District. The CMU designation provides for a mix of residential and non-residential uses within a single proposed development area, with an emphasis on retail, service, civic and professional office uses, and similar and compatible uses. Residential uses are allowed

in a subordinate capacity. The FAR for non-residential uses is 0.80:1 and a minimum of 50% of the total floor area shall be commercial uses. The proposed project, which includes a bar and grill facility, is consistent and compatible with the other intended uses of the CMU Land Use Designation. The proposed project has a 0.19 FAR. Therefore, the Project is consistent with the General Plan.

Municipal Code Consistency

The current zoning for the subject property is Commercial Mixed Use (CMU). Section 17.134.020 (Table of land uses and glossary/definitions) states that Bar, Pubs, and Cocktail lounges are permitted subject to a Conditional Use Permit in the CMU Zone.

The project complies with the onsite parking standards listed in Chapter 17.148 (Parking Requirements) and Section 17.134.070.A (Parking in the CMU district) of the Lake Elsinore Municipal Code (LEMC). Section 17.134.070.A requires no off-street parking for nonresidential uses unless the use exceeds 3,000 square feet of gross floor area, in which case one off-street parking space is required for every 250 square feet beyond 3,000 square feet. No off-street parking is required for this project since the building is 2,776 sq. ft. in size. The project will have sufficient parking as 16 parking spaces will be provided on site.

The project also complies with applicable sections of the Nonresidential Development Standards (Chapter 17.112) of the LEMC for landscaping, lighting, circulation patterns, and trash enclosures.

The Design Review Committee that includes staff from Planning, Building and Safety, Fire, and Engineering have reviewed the proposed project. Appropriate Conditions of Approval have been included.

Environmental Determination

Staff has determined that the proposed Project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1: Existing Facilities). Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The proposed project will be located in an existing, recently rehabilitated 2,776 sq. ft. building. The site is fully developed, and only minor interior and exterior alterations are planned in association with the proposed use.

Public Notice

Notice of the hearing for this application has been published in the Press-Enterprise newspaper and mailed to property owners within 600 feet of the subject property. As of the writing of this report, no written comments concerning this application have been received by staff.

Attachments

- Attachment 1 – CUP Resolution
- Attachment 2 – CDR Resolution
- Attachment 3 – Conditions of Approval
- Attachment 4 – GIS Exhibits
- Attachment 5 – Design Review Package
- Attachment 6 – Public Notice Materials



RESOLUTION NO. 2023-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2022-26 (CONDITIONAL USE PERMIT NO. 2022-22) TO ESTABLISH A BAR AND RESTAURANT FACILITY IN AN EXISTING RECENTLY REHABILITATED 2,776 SQ. FT. BUILDING LOCATED AT 31502 RIVERSIDE DRIVE (APN: 379-191-029)

Whereas, Hector Rivera has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2022-26 (Conditional Use Permit No. 2022-22 and Commercial Design Review No. 2022-15) to establish a bar and restaurant facility in an existing recently rehabilitated 2,776 sq. ft. building and a design review for minor onsite modifications related to parking lot layout, site circulation, and landscaping (Project). The Project is located at the northeast corner of Joy Street and Riverside Drive (Hwy 74), more specifically 31502 Riverside Drive (APN: 379-191-029);

Whereas, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

Whereas, Section 17.415.070.A of the Lake Elsinore Municipal Code (LEMC) provides that certain uses have operational characteristics that, depending on the location and design of the use, may have the potential to negatively impact adjoining properties, businesses or residents and therefore are permitted subject to the issuance of a Conditional Use Permit, which allows the City to comprehensively review and approve the use;

Whereas, pursuant to Section 17.415.070.B of the LEMC, the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying Conditional Use Permits; and

Whereas, on May 16, 2023, at a duly noticed Public Hearing, the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the Project prior to making a decision and has found it acceptable.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The Project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.
2. The Project is consistent with the Riparian/Riverine Areas, Vernal Pools Guidelines, and the Fuel Management Guidelines as the Project is wholly located within an existing building and does not include any earth disturbing activities therefore Sections 6.1.2 or 6.3.1 of the MSHCP are not applicable.
3. The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines and the Additional Survey Needs and Procedures because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.
4. The Project is consistent with the Fuels Management Guidelines because the Project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.
5. The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.

Section 3: The Commission hereby finds and determines that the Project is categorically exempt from California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq. "CEQA") and CEQA Guidelines (14. Cal. Code Regs. §§15000 et seq.), specifically pursuant to Section 15301 (Class 1 – Existing Facilities), because the Project proposes to establish a bar and entertainment center within an existing recently rehabilitated 2,776 sq. ft. building. The site is fully developed, and only minor alterations are planned in association with the proposed use.

Section 4: That in accordance with LEMC Section 17.415.070.C. Findings, the Commission makes the following findings regarding Conditional Use Permit No. 2022-22:

1. That the proposed use, on its own merits and within the context of its setting, is in accord with the objectives of the General Plan and the purpose of the planning district in which the site is located.

The proposed facility is located in the Commercial Mixed Use General Plan Land use designation and the Commercial Mixed Use (CMU) Zoning designation, which is consistent with the applicable General Plan Land Use Designation. The proposed use is a permitted use subject to the approval of a Conditional Use Permit within the CMU Zoning designation.

2. The proposed use will not be detrimental to the general health, safety, comfort or general welfare of persons residing or working within the neighborhood of the proposed use or the City, or injurious to property or improvements in the neighborhood or the City.

The proposed use is located within an existing building and proposes no exterior uses. The proposed use does not propose either directly or indirectly any detrimental effects to the existing surrounding community. All applicable City departments and agencies have reviewed the conditional use permit. The project has been conditioned as such to avoid any possible negative impacts to the general health, safety, comfort, or general welfare of the surrounding neighborhood or the City.

3. The Site for the intended use is adequate in size and shape to accommodate the use, and for all the yards, setbacks, walls or fences, landscaping, buffers and other features required by this title.

The proposed use has been analyzed and staff has determined that the proposed use meets all applicable sections of the LEMC and will complement the existing uses, based on the submitted plans and attached conditions of approval.

4. The Site for the proposed use relates to streets and highways with proper design both as to width and type of pavement to carry the type and quantity of traffic generated by the subject use.

The proposed use is located within an existing built environment, inclusive of streets. The existing streets are of adequate size to facilitate safe and convenient transportation to and from the site.

5. In approving the subject use at the specific location, there will be no adverse effect on abutting properties or the permitted and normal use thereof.

The Project has been thoroughly reviewed and conditioned by all applicable City departments and outside agencies thereby eliminating the potential for any adverse effects.

6. Adequate conditions and safeguards pursuant to LEMC 17.415.070.B, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the subject project to ensure development of the property in accordance with the objectives of this chapter and the planning district in which the site is located.

Pursuant to Section 17.415.070.B of the LEMC, the Project was considered by the Planning Commission at a duly noticed Public Hearing on May 16, 2023, appropriate and applicable conditions of approval have been included to protect the public health, safety and general welfare.

Section 5: Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby recommends that the Council find that the Project is consistent with the MSHCP.

Section 6: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the Project, the Commission hereby approves Conditional Use Permit No. 2022-22.

Section 7: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 16th day of May, 2023.

Michael Carroll, Vice Chairman

Attest:

Damaris Abraham,
Interim Assistant Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Assistant Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held on May 16, 2023 and that the same was adopted by the following vote:

AYES
NOES:
ABSTAIN:
ABSENT:

Damaris Abraham,
Interim Assistant Community Development Director

RESOLUTION NO. 2023-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2022-26 (COMMERCIAL DESIGN REVIEW NO. 2022-15) FOR MINOR ONSITE MODIFICATIONS RELATED TO PARKING LOT LAYOUT, SITE CIRCULATION, AND LANDSCAPING FOR AN EXISTING RECENTLY REHABILITATED 2,776 SQ. FT. BUILDING LOCATED AT 31502 RIVERSIDE DRIVE (APN: 379-191-029)

Whereas, Hector Rivera has filed an application with the City of Lake Elsinore (City) requesting approval of Planning Application No. 2022-26 (Conditional Use Permit No. 2022-22 and Commercial Design Review No. 2022-15) to establish a bar and restaurant facility in an existing recently rehabilitated 2,776 sq. ft. building and a design review for minor onsite modifications related to parking lot layout, site circulation, and landscaping (Project). The Project is located at the northeast corner of Joy Street and Riverside Drive (Hwy 74), more specifically 31502 Riverside Drive (APN: 379-191-029);

Whereas, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) process to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria;

Whereas, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives;

Whereas, pursuant to Section 17.415.060 (Minor Design Review), Section 17.410.070 (Approving Authority), and Section 17.410.030 (Multiple Applications) of the LEMC, the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying the conditional use permit and the minor design review application; and

Whereas, on May 16, 2023, at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

Section 1: The Commission has considered the Project prior to making a decision and has found it acceptable.

Section 2: That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The Project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.
2. The Project is consistent with the Riparian/Riverine Areas, Vernal Pools Guidelines, and the Fuel Management Guidelines as the Project is wholly located within an existing

building and does not include any earth disturbing activities therefore Sections 6.1.2 or 6.3.1 of the MSHCP are not applicable.

3. The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines and the Additional Survey Needs and Procedures because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.
4. The Project is consistent with the Fuels Management Guidelines because the Project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.
5. The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.

Section 3: The Commission has reviewed and analyzed the proposed Project pursuant to the California Planning and Zoning Laws (Cal. Gov. Code §§ 59000 et seq.), the Lake Elsinore General Plan (GP) and the LEMC and finds and determines that the proposed Project is consistent with the requirements of California Planning and Zoning Law and with the goals and policies of the GP and the LEMC.

Section 4: The Commission hereby finds and determines that the Project is categorically exempt from California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq. "CEQA") and CEQA Guidelines (14. Cal. Code Regs. §§15000 et seq.), specifically pursuant to Section 15301 (Class 1 – Existing Facilities), because the Project proposes to establish a bar and entertainment center within an existing recently rehabilitated 2,776 sq. ft. building. The site is fully developed, and only minor alterations are planned in association with the proposed use.

Section 5: That in accordance with Section 17.415.050.G of the LEMC, the Commission makes the following findings regarding Commercial Design Review No. 2022-15:

1. The Project, as approved, will comply with the goals and objectives of the General Plan, Specific Plan and the Zoning District in which the Project is located.

The Project has a General Plan Land Use designation of Commercial Mixed Use. The Commercial Mixed Use Land Use This designation provides for a mix of residential and non-residential uses within a single proposed development area, with an emphasis on retail, service, civic and professional office uses. The FAR for non-residential uses is 0.80:1 and a minimum of 50% of the total floor area shall be commercial uses. The Project is proposing to establish a bar and restaurant facility in an existing recently rehabilitated 2,776 square feet building and minor modifications to the parking lot layout, circulation, and landscaping with 0.19 FAR. Therefore, the Project is consistent with the General Plan.

The current zoning for the subject site is Commercial Mixed Use (CMU). Section 17.134.020 states that Bar, Pubs, and Cocktail lounges are permitted with a Conditional Use Permit in the Commercial Mixed Use Zone.

2. The Project complies with the design directives contained in the General Plan and all other applicable provisions of the LEMC.

The proposed exterior modification complies with the Nonresidential Development Standards (Chapter 17.112) of the LEMC. The proposed parking lot layout and parking modifications comply with the Parking Requirements (Chapter 17.148) of the LEMC and the

Commercial Mixed-Use parking requirements Section 17.134.070.A of the LEMC. In addition, safe and efficient circulation has been achieved onsite.

- 3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

Pursuant to Section 17.415.050.E of the LEMC, the Project was considered by the Planning Commission at a duly noticed Public Hearing held on May 16, 2023. The Project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.

Section 6: Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby recommends that the Council find that the Project is consistent with the MSHCP.

Section 7: Based upon the evidence presented, the above findings, and the Conditions of Approval imposed upon the Project, the Commission hereby approves Commercial Design Review No. 2022-15.

Section 8: This Resolution shall take effect immediately upon its adoption.

Passed and Adopted on this 16th day of May, 2023.

Michael Carroll, Vice Chairman

Attest:

Damaris Abraham,
Interim Asst. Community Development Director

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF LAKE ELSINORE)

I, Damaris Abraham, Interim Asst. Community Development Director of the City of Lake Elsinore, California, hereby certify that Resolution No. 2023-__ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held May 16, 2023 and that the same was adopted by the following vote:

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ABSTAIN:
ABSENT:

Damaris Abraham,
Interim Asst. Community Development Director

CONDITIONS OF APPROVAL

PROJECT: PA 2022-26/CUP 2022-22 & CDR 2022-15
PROJECT NAME: Ringside Bar and Grill
PROJECT LOCATION: 31502 Riverside Drive (APN: 379-191-029)
APPROVAL DATE:
EFFECTIVE DATE:
EXPIRATION DATE:

GENERAL

1. Planning Application No. 2022-26 (Conditional Use Permit No. 2022-22 and Commercial Design Review No. 2022-15) proposes to establish a bar and restaurant facility in an existing recently rehabilitated 2,776 square foot building and minor onsite modifications related to parking lot layout, site circulation, and landscaping. The Project is located at the northeast corner of Joy Street and Riverside Drive (Hwy 74), more specifically 31502 Riverside Drive (APN: 379-191-029).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, Agents, and its Consultants (Indemnitees) from any claim, action, or proceeding against the Indemnitees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning approval, implementation and construction of CUP 2022-22 and CDR-2022-15, which action is sought within the time period provided for in California Government Code Sections 65009 and/or 66499.37, and Public Resources Code Section 21167, including the approval, extension or modification of CUP 2022-22 and CDR 2022-15 or any of the proceedings, acts or determinations taken, done, or made prior to the decision, or to determine the reasonableness, legality or validity of any condition attached thereto. The applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by Indemnitees and costs of suit, claim or litigation, including without limitation attorneys' fees, penalties and other costs, liabilities and expenses incurred by Indemnitees in connection with such proceeding. The City will promptly notify the applicant of any such claim, action, or proceeding against the City. If the project is challenged in court, the City and the applicant shall enter into formal defense and indemnity agreement, consistent with this condition.
3. Within 30 days of Project approval and prior to issuance of any building permits, the applicant shall sign and complete an "Acknowledgement of Conditions," and shall return the executed original to the Community Development Department for inclusion in the case records.

PLANNING DIVISION

4. Conditional Use Permit No. 2022-22 shall lapse and become void two years following the date on which the conditional use permit became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the conditional use permit is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the conditional use permit approval pursuant to subsections (a), (b), and (c) of Lake Elsinore Municipal Code (LEMC) Section 17.415.070.D.2. Subject to the provisions of

LEMC Section 17.415.070.I, a conditional use permit granted pursuant to the provisions of this section shall run with the land and shall continue to be valid upon a change of ownership of the site or structure, which was the subject of the Conditional Use Permit application.

5. Commercial Design Review No. 2022-15 shall lapse and become void two years following the date on which the design review became effective, unless one of the following: (1) prior to the expiration of two years, a building permit related to the design review is issued and construction commenced and diligently pursued toward completion; or (2) prior to the expiration of two years, the applicant has applied for and has been granted an extension of the design review approval pursuant to subsections (1) and (2) of Lake Elsinore Municipal Code (LEMC) Section 17.415.050.I.1. Notwithstanding conditions to the contrary, a design review granted pursuant to LEMC Section 17.415.050.I.2 shall run with the land for this two-year period, subject to any approved extensions, and shall continue to be valid upon a change of ownership of the site, which was the subject of the design review application.
6. The applicant shall at all times comply with Section 17.176 (Noise Ordinance) of the Lake Elsinore Municipal Code (LEMC).
7. The applicant shall meet all applicable City Codes and Ordinances.
8. A business license shall be obtained prior to a certificate of occupancy of the proposed establishment.
9. Business hours shall be seven (7) days a week from 11:00 AM to 2:00AM. In the event the applicant proposes to modify the hours of operation, the modification shall be subject to review by the Community Development Director. The Community Development Director may approve the modification or refer the matter to the Planning Commission if judged to be substantial.
10. Any outdoor activities will require a temporary use permit or special event permit, as applicable, shall be obtained from the City of Lake Elsinore prior to conducting any outdoor events on the subject property.
11. An application for modification, expansion or other change in a Conditional Use Permit shall be reviewed according to the provisions of the Section 17.415.070 of the LEMC, in a similar manner as a new application.
12. If operation of this use raises concerns related to parking, noise, traffic, or other impacts, at the discretion of the Community Development Director, this Conditional Use Permit may be referred back to the Planning Commission for subsequent review at a Public Hearing. If necessary, the Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said Conditional Use Permit.
13. All Conditions of Approval shall be reproduced on page one of building plans prior to their acceptance by the Building and Safety Division, Community Development Department. All Conditions of Approval shall be met prior to the issuance of a Certificate of Occupancy and release of utilities.
14. All future development proposals shall be reviewed by the City on a project-by-project basis. If determined necessary by the Community Development Director or designee, additional environmental analysis will be required.

15. Any proposed minor revisions to the approved plans are subject to review and approval by the Community Development Director or designee. Any proposed substantial revisions to the approved plans shall be reviewed according to the provisions of the Municipal Code in a similar manner as a new application.
16. No individual signs are approved as part of this approval. The applicant or designee shall submit an application for a sign permit, pay appropriate fees and receive approval from the Community Development Department for any sign(s) installed at the project site.
17. There shall be no loitering in or around the establishment.
18. Graffiti shall be removed within 24 hours.
19. The vicinity of the establishment shall be kept free from trash and debris at all times and in no event shall trash and debris remain for more than 24 hours.
20. The applicant shall comply with all necessary California Department of Alcohol Beverage Control (ABC) requirements.
21. The license shall be limited to on-premise beer, wine, distilled spirits. Any change and/or intensification to the type of license will require a new Conditional Use Permit. The sale of alcohol for consumption off the premises is prohibited.
22. Persons under the age of twenty-one (21) years shall not be allowed on the premises of this business. It shall be unlawful and a violation of this CUP for the owner/operator to employ any person who is not at least twenty-one (21) years of age.
23. There shall be no outdoor storage or activities of any kind.
24. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The operator shall institute whatever security and operational measures are necessary to comply with this requirement.
25. All the requirements of the Riverside County Sheriff's Department shall be met and adhered to at all times.
26. If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation.

BUILDING DIVISION

27. The applicant shall meet all applicable building codes in effect at the time, including requirements for the occupancy.
28. A building permit shall be obtained prior to construction of building alterations.

CITY OF LAKE ELSINORE FIRE MARSHAL

29. The applicant/operator shall comply with all requirements of the Riverside County Fire Department Lake Elsinore Office of the Fire Marshal.
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DRAFT

I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above-referenced project and do hereby agree to accept and abide by all Conditions of Approval as approved by the City of Lake Elsinore Planning Commission on _____. I also acknowledge that all Conditions shall be met as indicated.

Date: _____

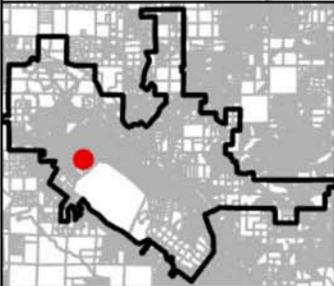
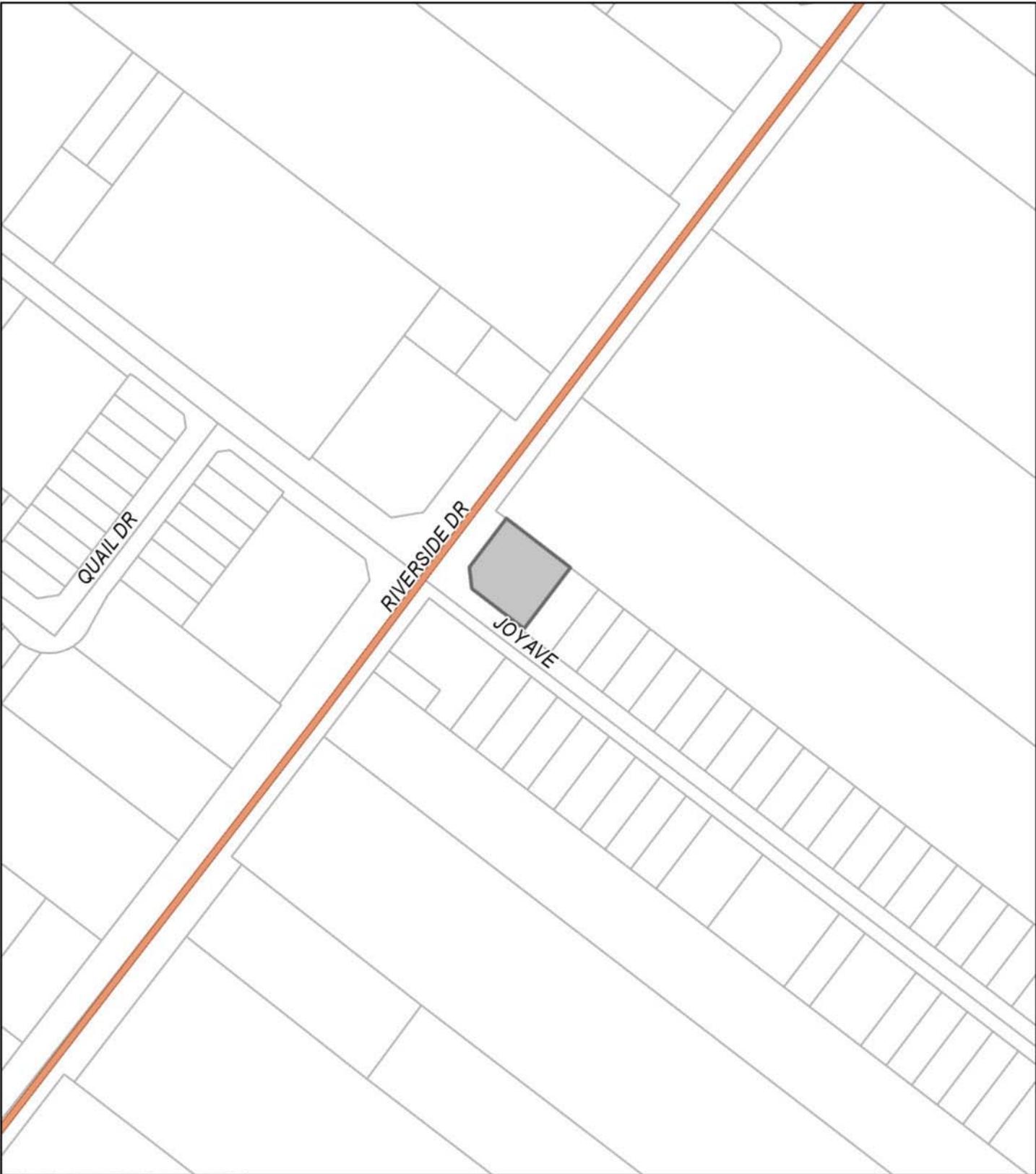
Applicant's Signature: _____

Print Name: _____

Address: _____

Phone Number: _____

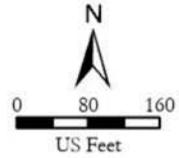
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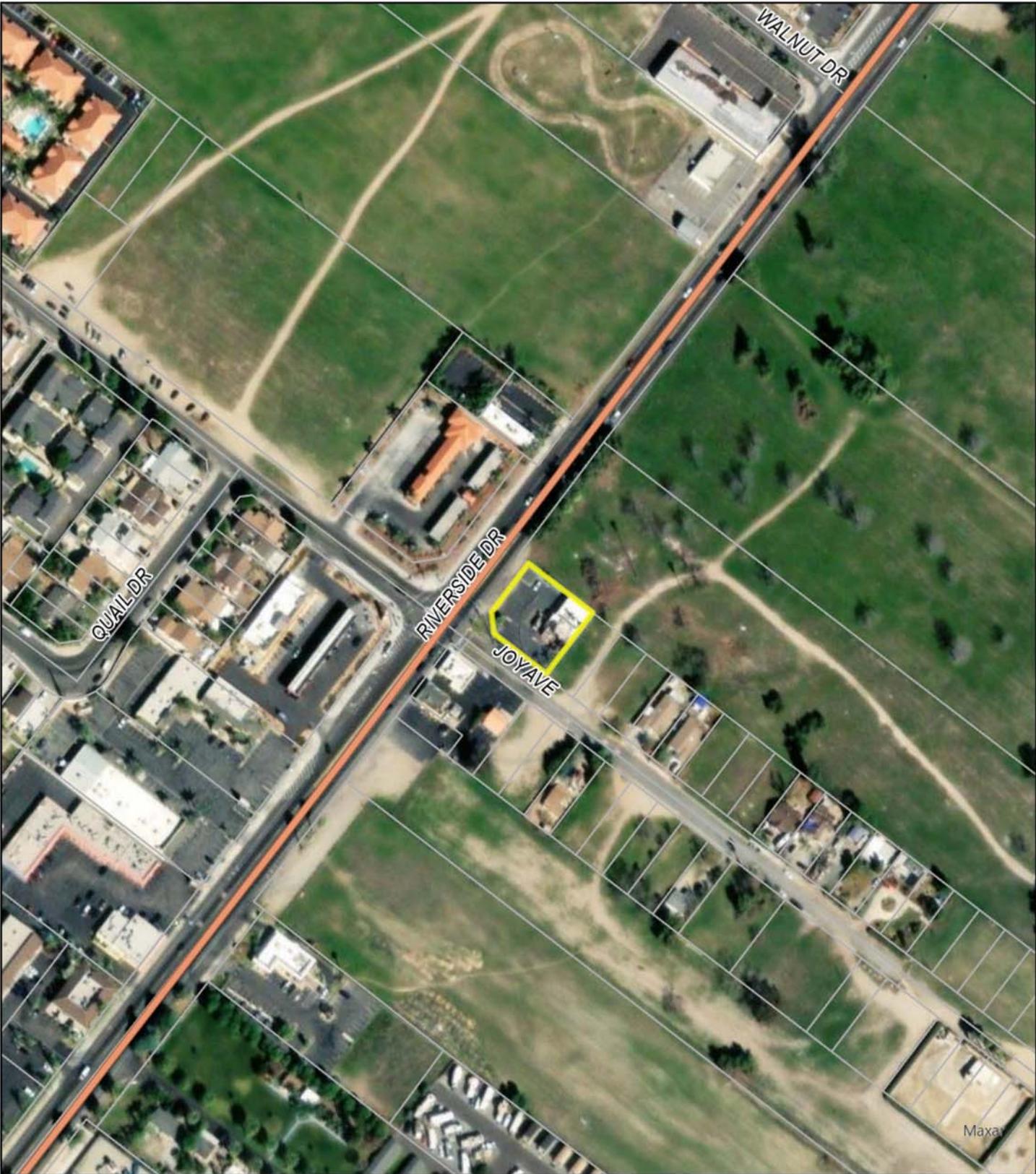


Vicinity Map

Planning Application No. 2022-26
APN: 379-191-029

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

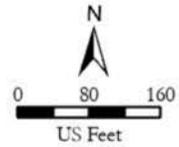


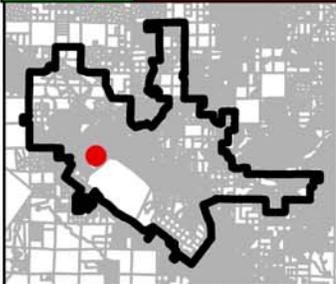
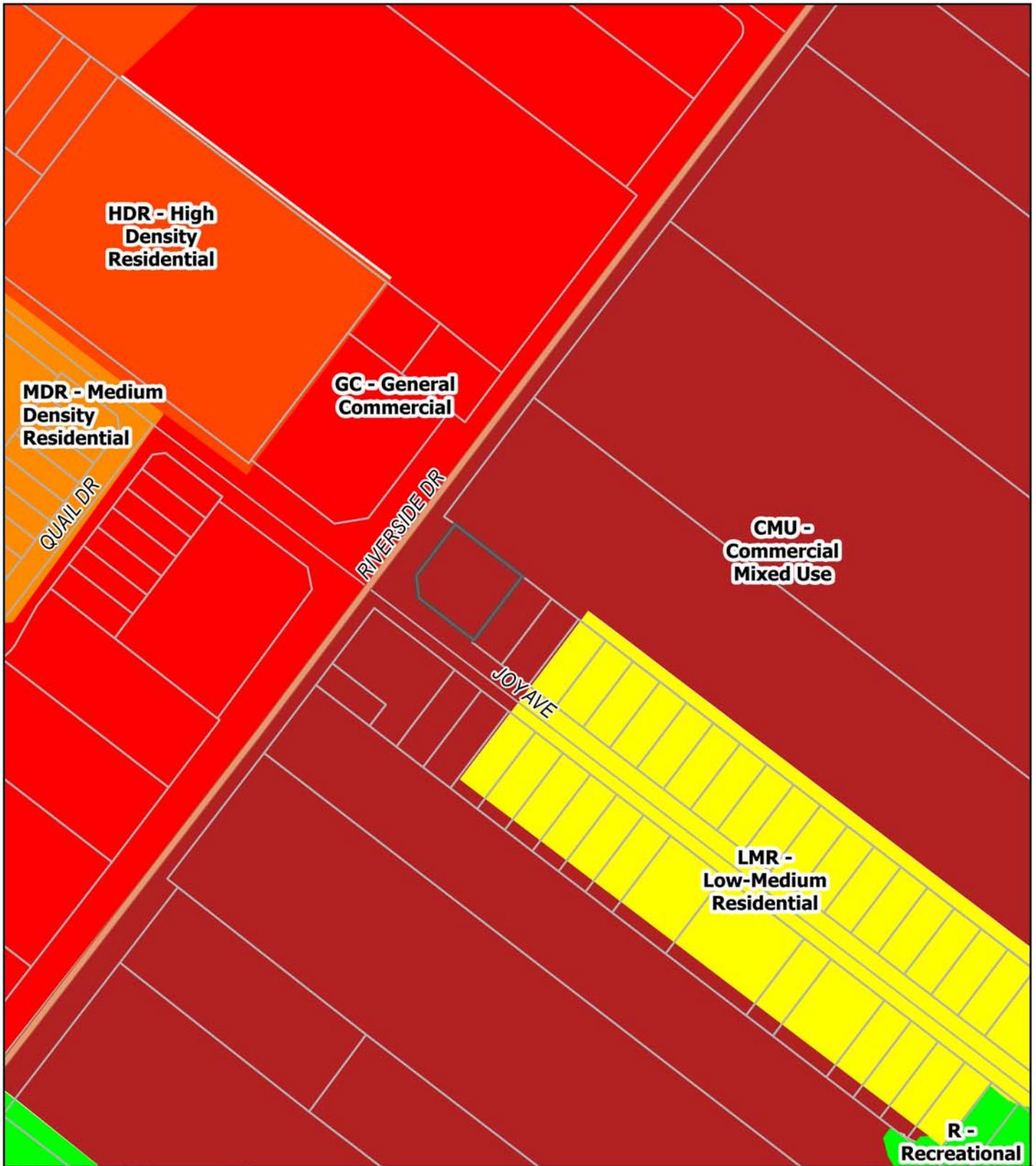


Aerial Map

Planning Application No. 2022-26
APN: 379-191-029

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

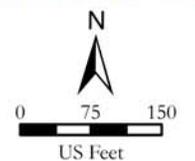


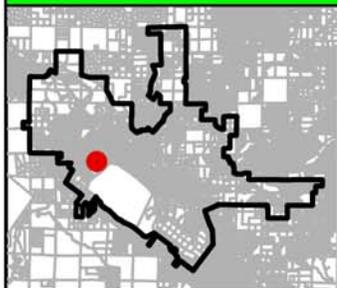
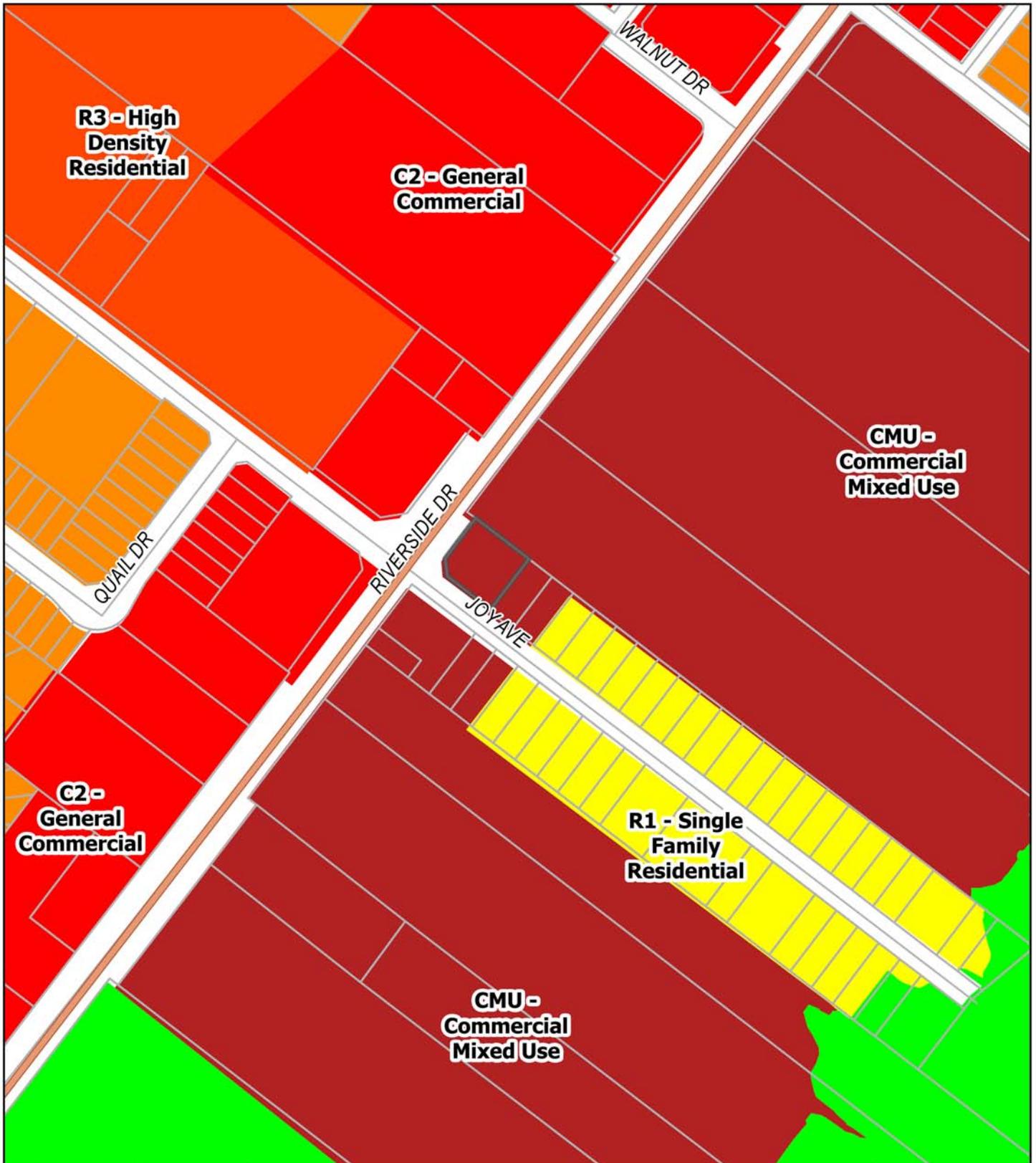


General Plan Exhibit

Planning Application No. 2022-26
 APN: 379-191-029

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet

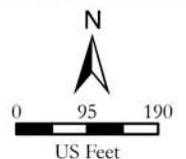




Zoning Exhibit

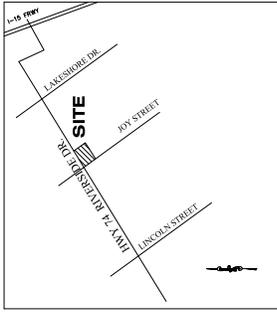
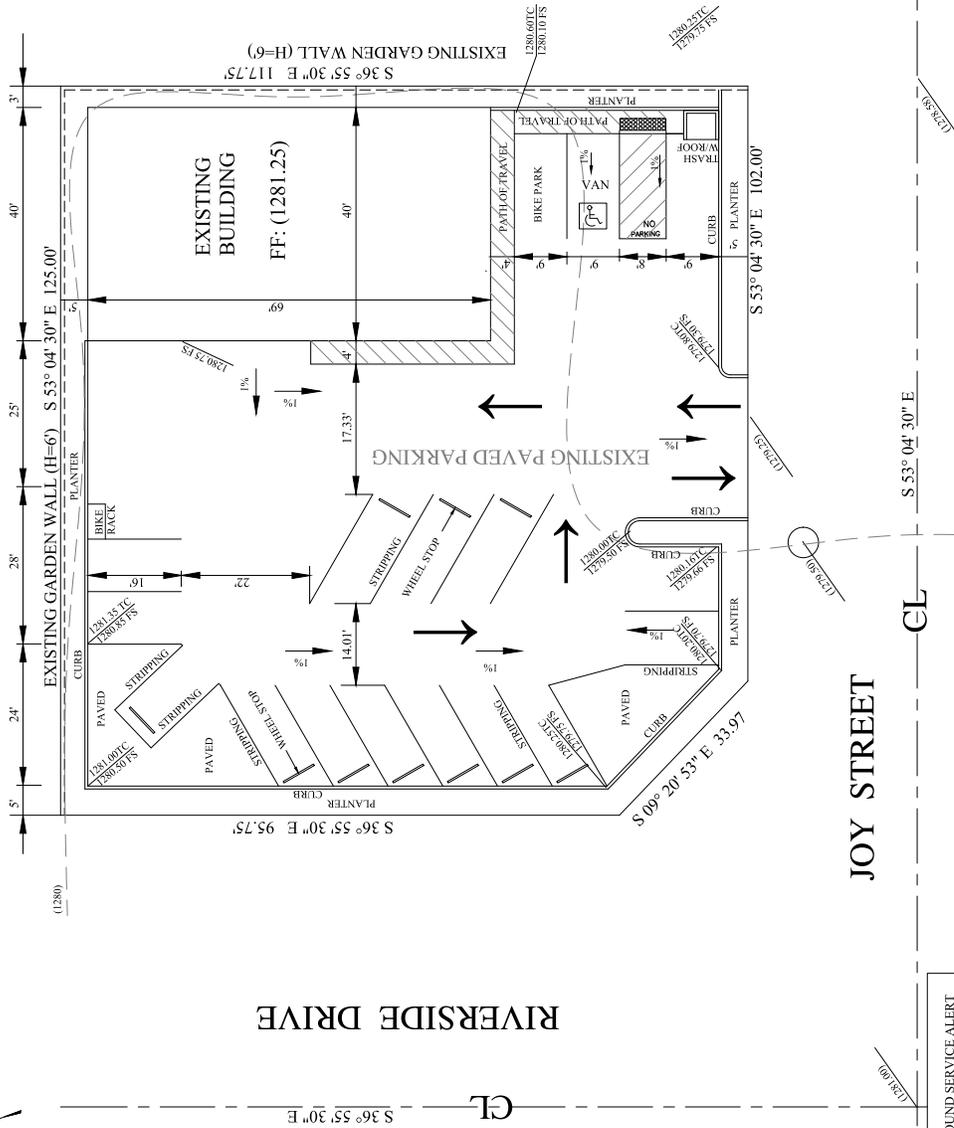
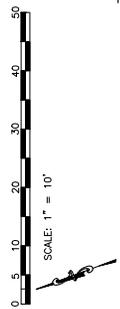
Planning Application No. 2022-26
 APN: 379-191-029

Coordinate System: NAD 1983 StatePlane California VI FIPS 0406 Feet



CITY OF LAKE ELSINORE

DRAINAGE PLAN



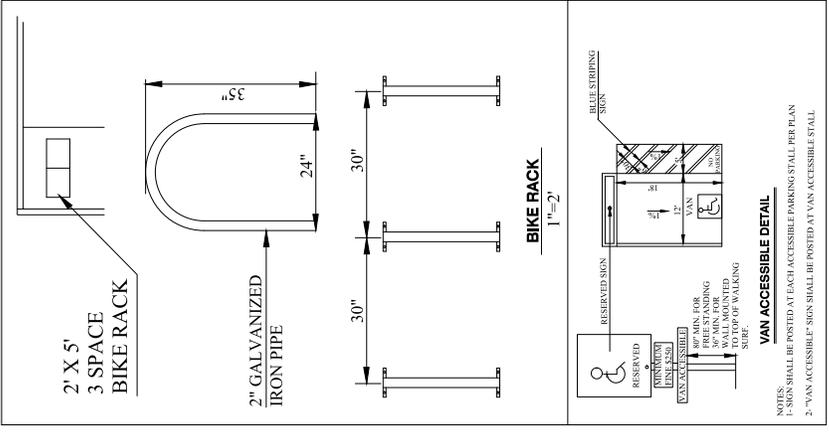
T.B. PAGE MGS-J4
VICINITY MAP NTS
T6SR5W SECT 2

OWNER
MELISSA GARCIA
ROBERT SALGUERO
27795 HILL POINTE
SUN CITY, CA 92585
(951) 603-4510

ESTIMATED QUANTITIES:

PROPOSED CUTS:	0	CY
PROPOSED FILLS:	0	CY
PROPOSED EXPORT:	0	CY
PROPOSED IMPORT:	0	CY

APN: 379-191-029



VAN ACCESSIBLE DETAIL

NOTES:
1- SIGN SHALL BE POSTED AT EACH ACCESSIBLE PARKING STALL PER PLAN
2- "VAN ACCESSIBLE" SIGN SHALL BE POSTED AT VAN ACCESSIBLE STALL

SHEET	1
OF	1
SHEETS	
FILE NO.	

CITY OF LAKE ELSINORE
DRAINAGE PLAN
31502 RIVERSIDE DRIVE
LAKE ELSINORE, CA 92530

SCALE:
1" = 10'
DATE: 4-13-2023

PREPARED BY:
MASSOUD GHAM
2500 GARDEN STREET
LAKE ELSINORE, CA 92526
(951) 397-5410

DATE: 4-13-2023

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE.

REMON HARRIS, P.E. No. 83156
CITY OF LAKE ELSINORE

MARK	REVISIONS	APPR.	DATE

UNDERGROUND SERVICE ALERT
CALL TOLL FREE
1-800-227-2600

THE WORKMANSHIP BUREAU OF THE CITY OF LAKE ELSINORE

NO.	REVISIONS	DATE	BY
1	REVISED 4/10/13		
2	REVISED 7/10/13		

RINGSIDE SPORTS
 31502 RIVERSIDE DR.
 LAKE ELSINORE, CA 92530

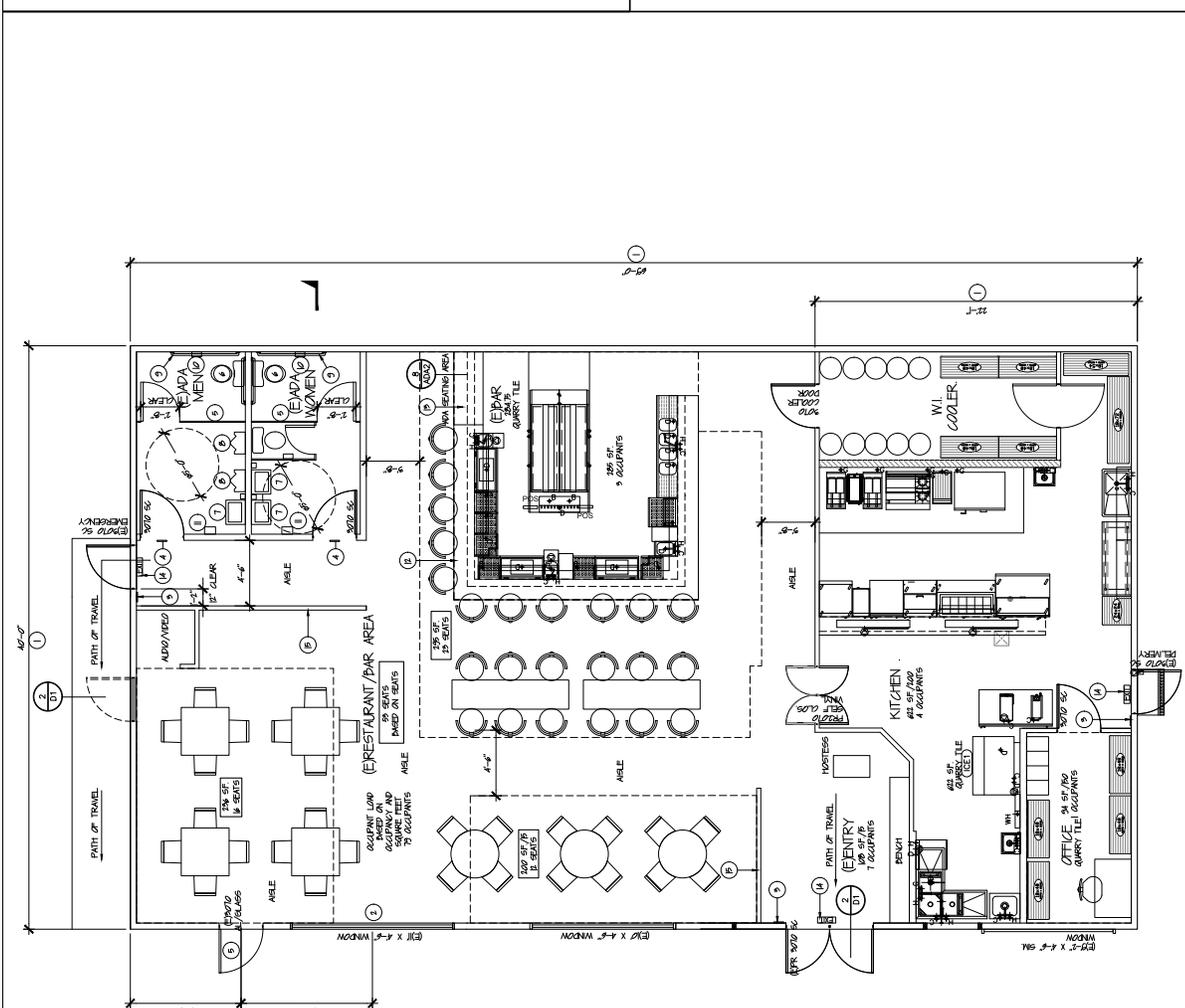
FLOOR PLAN & SEATING PLAN

DESIGN REVIEW-CUP

ARCHANGEL DESIGN
 AND CONSTRUCTION, INC.
 253-B E. PECK ST. LAKE ELSINORE, CA 92530
 CELL 951 252 7707
 fcdesignworks@gmail.com

SCALE	DATE
1/2" = 1'-0"	5/24/12
PROJECT NO.	122-09
A1	

- FLOOR PLAN NOTES**
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE
 - NEW FIXED WINDOW (TEMPERED)
 - EXIT REAR WALL SEE ADA DETAILS
 - ACCESSIBILITY SIGNAGE
 - PARTITION
 - ADA TOILET
 - ADA LAVATORY
 - ADA URINAL
 - ADA GRAB BARS
 - TOILET PAPER DISPENSER
 - PAPER TOWEL DISPENSER
 - STANDARD 48" HIGH COUNTER
 - 5'-0" WIDE ADA ACCESSIBLE COUNTER
 - ILLUMINATED SIGN W/ANTENNA BACK UP
 - NON BEARING PARTITION



- WALL LEGEND**
- EXISTING TO BE DEMO
 - EXISTING TO REMAIN
 - NEW WALLS
 - NEW 4" STEEL GRID FREE WALL

FLOOR PLAN
 1" = 1'-0"

OCCUPANT LOAD
 OCCUPANT LOAD BASED ON OCCUPANCY AND SQUARE FEET
 TO OCCUPANTS
 OCCUPANT LOAD BASED ON SEATS AND WORKERS = 19 OCCUPANTS

46'-0"

40'-0"

9'-0"

7'-0"

4'-0"

4'-0"

4'-0"

4'-0"

4'-0"

4'-0"

4'-0"

4'-0"

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NO.	REVISIONS	DATE	BY
1	REVISED	1/17/13	
2	REVISED	2/27/13	
3			
4			
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6			
7			
8			
9			
10			

RINGSIDE SPORTS
 31502 RIVERSIDE DR.
 LAKE ELSINORE, CA 92530

EXISTING ROOF PLAN

DESIGN REVIEW/CUP

ARCHANGEL DESIGN
 AND CONSTRUCTION, INC.
 253-B E. PECK ST. LAKE ELSINORE, CA 92530
 CELL 951 252 7707
 fcdesignworks@gmail.com

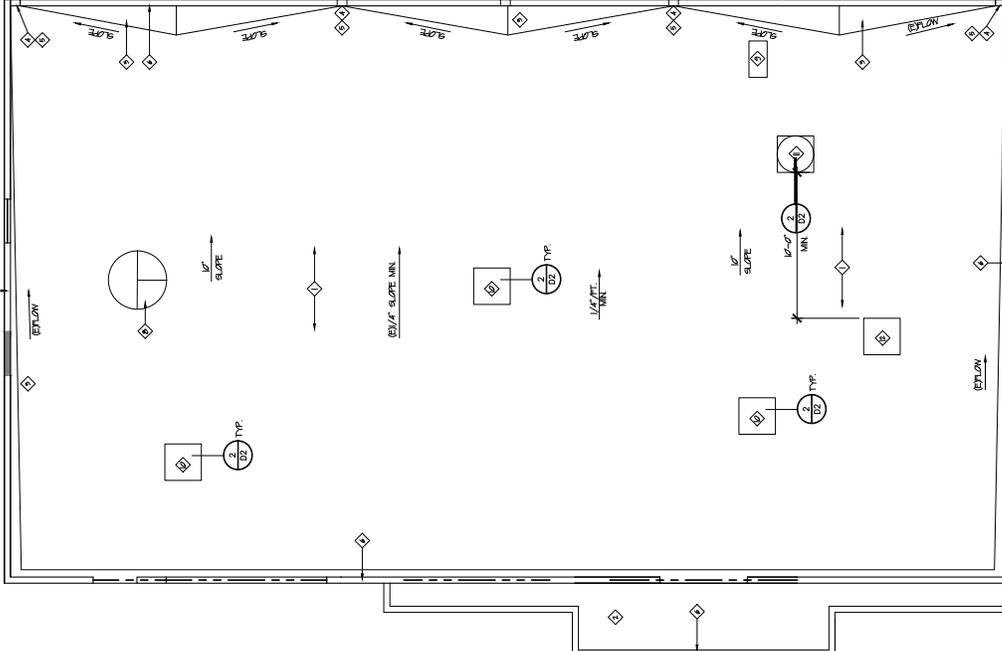


SCALE	DATE
1/2" = 1'-0"	1/17/13
PROJECT NO.	122-09

A2

49 SHEETS

- ROOF DECK PLAN NOTES**
- EXISTING BUILT UP ROOF.
 - EXISTING SLOTT.
 - EXISTING CRACKET
 - EXISTING ROOF DRAIN
 - EXISTING OVERFLOW
 - EXISTING PARAPET
 - EXISTING EXTERIOR BEARING WALL
 - EXISTING 1" DIA. P.V.C. AIR EXHAUST OR R.F.A. AIR EXHAUST
 - EXISTING WALK IN COOLER COMPRESSOR
 - EXISTING AIR ROOF TOP EQUIPMENT
 - EXISTING KITCHEN EXHAUST
 - EXISTING MAKE UP AIR EQUIPMENT



ROOF PLAN
 1/2" = 1'-0"

NO.	REVISIONS	DATE
1	REVISED 7/20/19	
2	REVISED 7/20/19	
3	REVISED 7/20/19	
4	REVISED 7/20/19	
5	REVISED 7/20/19	
6	REVISED 7/20/19	
7	REVISED 7/20/19	
8	REVISED 7/20/19	
9	REVISED 7/20/19	
10	REVISED 7/20/19	
11	REVISED 7/20/19	
12	REVISED 7/20/19	
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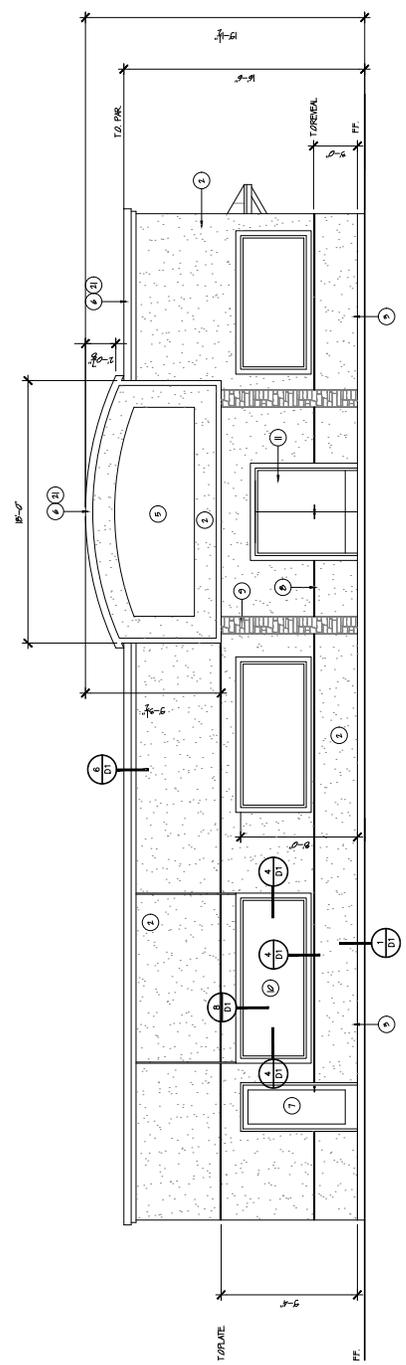
RINGSIDE SPORTS
 31502 RIVERSIDE DR.
 LAKE ELSINORE, CA 92530

BUILDING ELEVATIONS
 DESIGN REVIEW / CUP

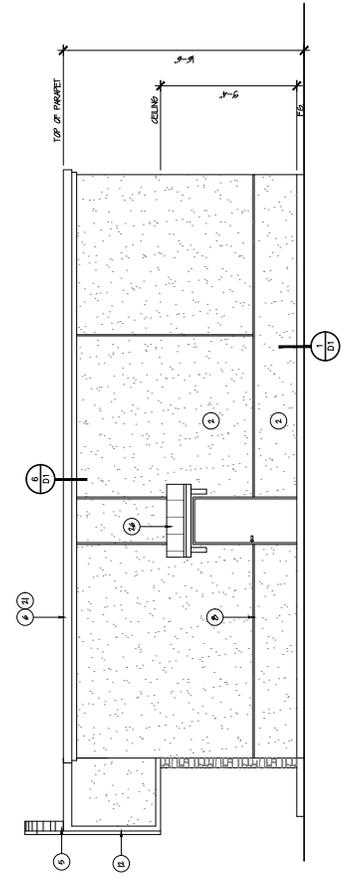
ARCHANGEL DESIGN
 AND CONSTRUCTION, INC.
 253-B E. PECK ST. LAKE ELSINORE, CA 92530
 CELL 951 252 7707
 ecdesignworks@gmail.com

signature
 DATE 7/20/19
 SCALE 1/8" = 1'-0"
 SHEET NO. 122-09
 A3

ELEVATION & SECTION NOTES
 1. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE AVAILABLE TO THE GENERAL CONTRACTOR FOR THE EXISTING SECTION.
 2. COMPARTMENT RAIL UP ROOF OVER 5' OR FLY OVERS PER STRUCTURAL.
 3. SMOOTH EXTERIOR STUCCO FINISH.
 4. STONE VENEER.
 5. NOT USED.
 6. NEW SIGN PER SEPARATE PERMIT.
 7. STUCCO CORNICE.
 8. NEW ROOF.
 9. ALUMINUM RISERLET.
 10. 18" STUCCO SQUARE HALF COLUMN.
 11. 12" X 12" STOREFRONT GLASS WINDOW.
 12. STEEL FRONT ENTRY DOORS.
 13. EXISTING SOTTIT.
 14. TYPE 'X' GYP. BO.
 15. 2" ON CONTIGUOUS TRACK AT INTERMIT.
 16. EXPOSED TRUSSES.
 17. R-10 ENCAPULATED GLASS BATT INSULATION.
 18. LINE OF PARAPET BEYOND.
 19. CRACKET.
 20. GANT STRIP.
 21. 6" I. PARPET CAP.
 22. 4" THIN WANSLOT.
 23. EXISTING REINFORCED CONCRETE SLAB.
 24. EXISTING REINFORCED FOOTING.
 25. FIBER REINFORCED PLASTIC.
 26. METAL ROOF OVER ROOF.
 27. R-15 INSULATION.
 28. 2X DOUBLE TOP PLATE.



WEST ELEVATION
 RIVERSIDE DR.



SOUTH ELEVATION
 JOY ST.

NO.	REVISIONS	DATE	BY
1	REVISED 1/20/19		
2	REVISED 2/20/19		
3	REVISED 4/19/19		

RINGSIDE SPORTS
 31502 RIVERSIDE DR.
 LAKE ELSINORE, CA 92530

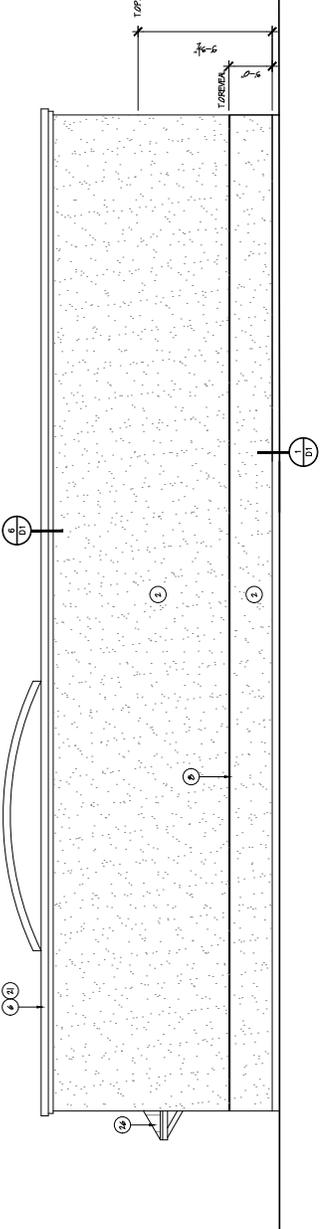
BUILDING ELEVATIONS
 DESIGN REVIEW/CUP

ARCHANGEL DESIGN
 AND CONSTRUCTION, INC.
 253-B E. PECK ST. LAKE ELSINORE, CA 92530
 CELL 951 252 7707
 ecdesignworks@gmail.com

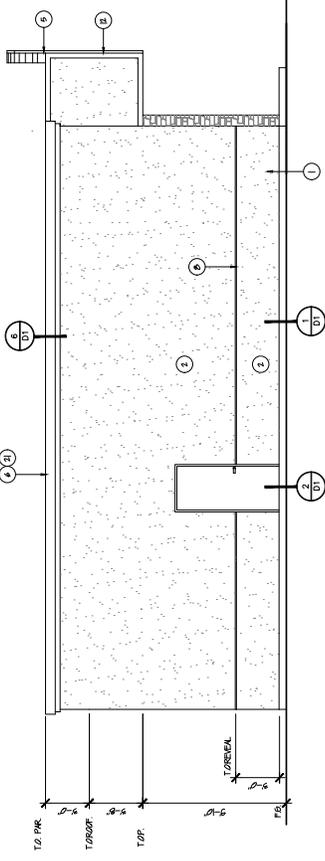
SIGNATURE	DATE
SCALE: 1/4" = 1'-0"	1/23
DATE: 1/23	1/23
PROJECT NO. 122-09	

A4

- ELEVATION & SECTION NOTES
 THIS PLAN ONLY APPLICABLE TO
 THIS PLAN ONLY
- EXISTING SECTION
1. CONCRETE PART OF ROOF OVER F. OR FLY
 CLADDING WITH INSULATION
 2. SMOOTH EXTERIOR STUCCO FINISH
 3. STONE VENEER
 4. NOT USED
 5. NEW SIGN PER SEPARATE PERMIT.
 6. STUCCO CORNICE
 7. NEW DOOR
 8. ALUMINUM RESEAL
 9. 3" STUCCO SQUARE HALF COLUMN
 10. 1/2" X 4-1/2" STAINLESS STEEL WINDOW
 11. STEEL FRAM ENTRY DOORS
 12. EXISTING SWHIT
 13. 1/2" TYPE 'X' GIP BR
 14. 1/2" TRACK OR 3/4" WOOD SILL W/SLIPPING @
 2" ON CENTER
 15. 2" ON CENTER TRACK AT HEIGHT.
 16. EXPOSED TRUSSES
 17. R-40 ENCAPULATED GLASS BATT INSULATION
 18. LINE OF PARAPET BEYOND
 19. CRACKET
 20. GANT STRIP
 21. 6. 1" PARPET CAP
 22. 4" THICK WANSLOT
 23. EXISTING REINFORCED CONCRETE SLAB
 24. EXISTING REINFORCED FOOTING
 25. PERK REINFORCED PLANTIC
 26. METAL ROOF OVER DOOR
 27. R-15 INSULATION
 28. 2X DOUBLE TOP PLATE



EAST ELEVATION



NORTH ELEVATION

NO.	REVISIONS	DATE	BY
1	REVISED 4/15/10		
2	REVISED 1/16/10		
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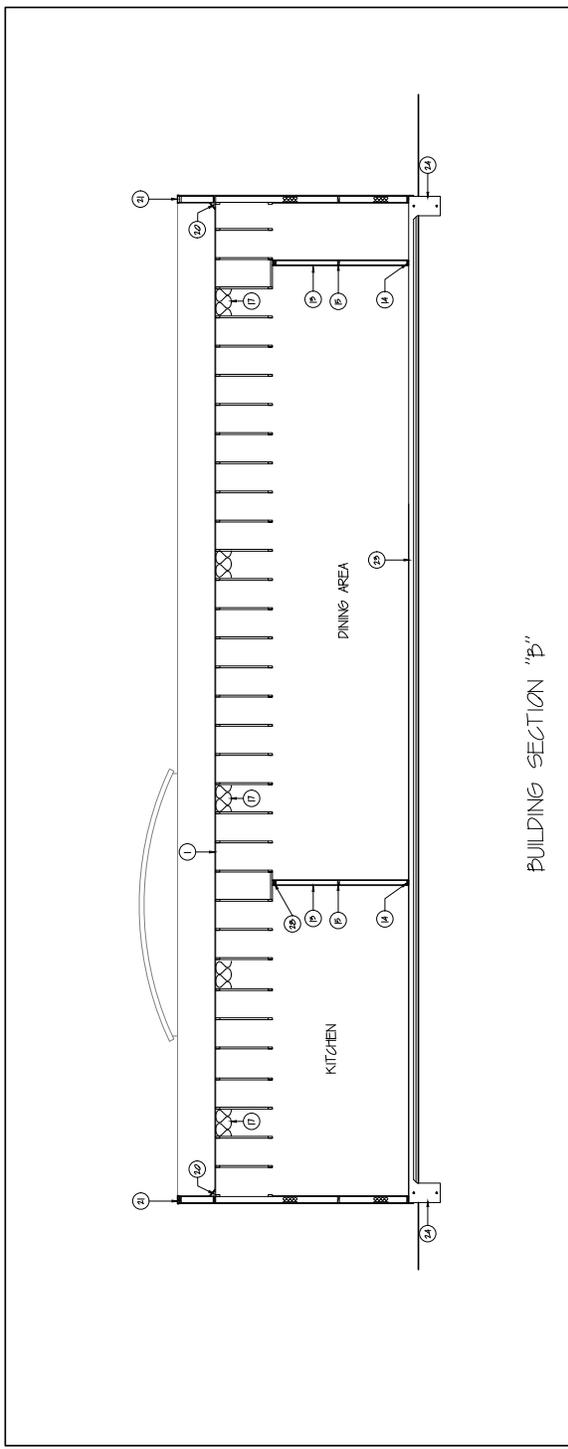
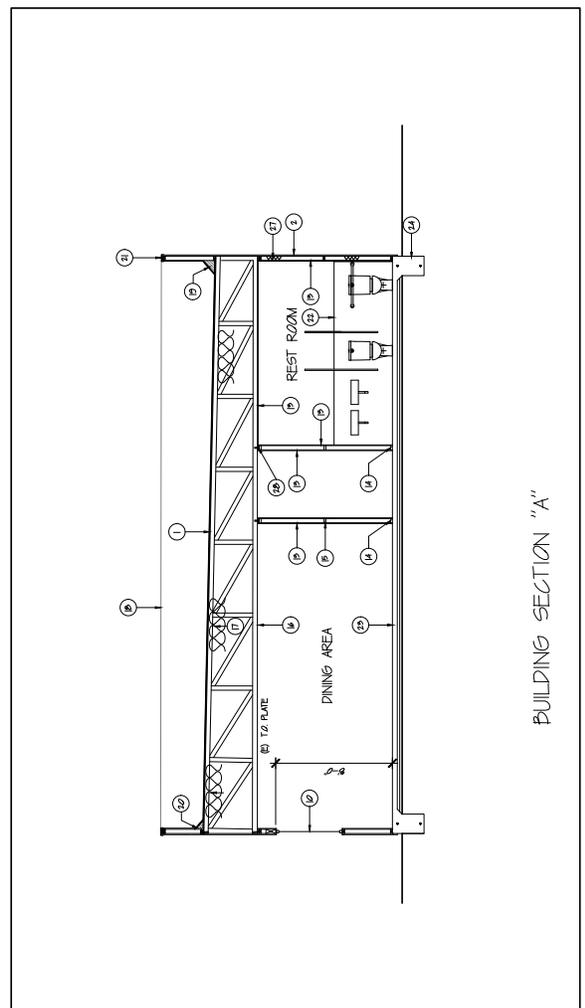
RINGSIDE SPORTS
 31502 RIVERSIDE DR.
 LAKE ELSINORE, CA 92530

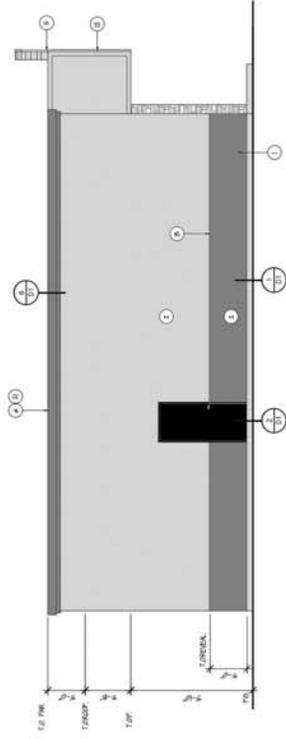
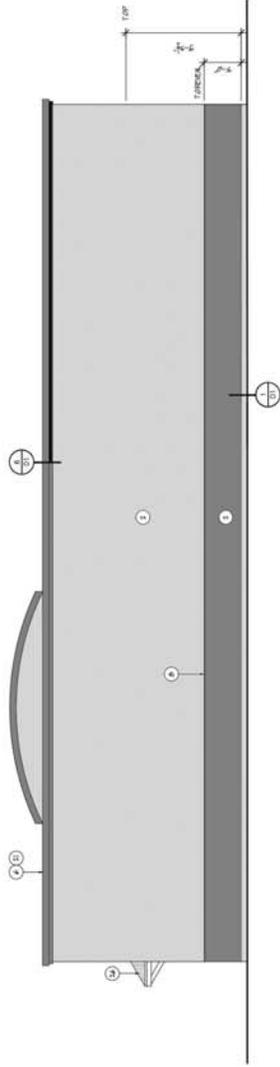
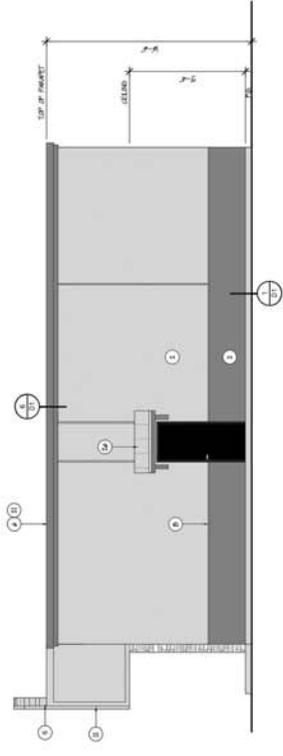
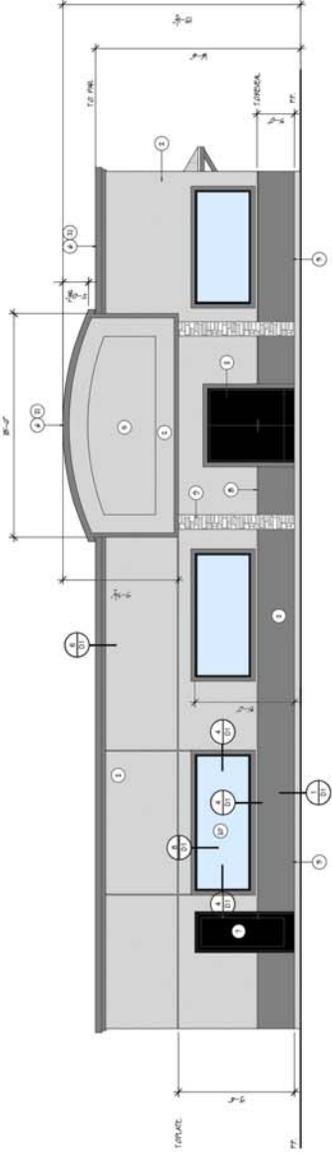
EXISTING BUILDING SECTION
 DESIGN REVIEW /CUP

ARCHANGEL DESIGN
 AND CONSTRUCTION, INC.
 253-B E. PECK ST. LAKE ELSINORE, CA 92530
 CELL 951 252 7707
 signature

DATE	12/12/09
SCALE	1/2" = 1'-0"
SHEET NO.	122-09
A5	
SHEETS	

- ELEVATION & SECTION NOTES
 MATERIALS APPLICABLE TO
 THIS PLAN ONLY
 EXISTING SECTION
1. COMPOSITION BALT UP ROOF OVER 1" OR FLY
 OLDFASH PER STRUCTURAL
 2. SMOOTH EXTERIOR STUCCO FINISH
 3. STONE MANSER
 4. NOT USED
 5. NEW SIGN PER SEPARATE PERMIT
 6. STUCCO CORNICE
 7. NEW DOOR
 8. ALUMINUM REGLET
 9. 3" STUCCO SQUARE HALF COLUMN
 10. 11" X 4" SCHEDULED GLASS WINDOW
 11. STEEL FRONT ENTRY DOORS
 12. EXISTING SMOOTH
 13. 1/2" TYPE "X" GYP. BF.
 14. STEEL TRACK OR 2" WOOD SILL W/SHOOTS @
 32" O.C.
 15. 2" OR CONTINUOUS TRACK AT INTERIET.
 16. EXPOSED TRUSSES
 17. R-9 INSULATED GLASS UNIT INSULATION
 18. LINE OF PARPET BEYOND
 19. CRACKET
 20. GANT STRIP
 21. 5/8" I. PARPET CAP
 22. 4" HIGH MANSEROT
 23. EXISTING REINFORCED CONCRETE SLAB
 24. EXISTING REINFORCED FOOTING
 25. FIBER REINFORCED PLASTIC
 26. METAL ROOF OVER DOOR
 27. R-R INSULATION
 28. 3X DOUBLE TOP PLATE





RINGSIDE SPORTS BAR & RESTAURANT



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on May 16th, 2023, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

Planning Application No. 2022-26 (Ringside Sports Bar and Grill): A request by Hector Rivera requesting approval of Conditional Use Permit No. 2022-22 to establish a bar and restaurant facility in an existing recently rehabilitated 2,776 sq. ft. building and Commercial Design Review No. 2022-15 for minor onsite modifications related to parking lot layout, site circulation, and parking (Project). The Project is located at the northeast corner of Joy Street and Riverside Drive (Hwy 74), more specifically 31502 Riverside Drive (APN: 379-191-029).

The proposed Project is exempt from the California Environmental Quality Act (Cal. Pub. Res. Code §§21000 et seq.: "CEQA") and the CEQA Guidelines (14 C.C.R. §§ 15000 et seq.) pursuant to CEQA Guidelines Section 15301 Existing Facilities. The Project proposes only minor alterations to existing facility and is requesting a conditional use permit for the operation of an indoor bar the project.

ALL INTERESTED PERSONS are invited to submit written information, express opinions or otherwise submit written evidence by email to dlongoria@Lake-Elsinore.org.

If you wish to legally challenge any action taken by the City on the above matter, you may be limited to raising only those issues you or someone else at the Public Hearing described in this notice, or in written correspondence delivered to the City prior to or at the Public Hearing. If you require accommodation to participate in a Public Hearing, please contact the Administrative Secretary at (951) 674-3124 ext. 297. All Agenda materials are available for review on the City's website at www.lake-elsinore.org the Friday before the Public Hearing.

FURTHER INFORMATION on this item may be obtained by contacting Carlos Serna, Assistant Planner in the Planning Division at, cserna@lake-elsinore.org or (951) 674-3124, ext. 916.

Damaris Abraham
Interim Assistant Community Development Director

THE PRESS-ENTERPRISE

KEEP YOUR EYES ON THE 'PRISE

pe.com

3512 14 Street
Riverside, California 92501
(951) 368-9229
neller@scng.com

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

<i>Account Number:</i>	5209153
<i>Ad Order Number:</i>	0011601168
<i>Customer's Reference/PO Number:</i>	
<i>Publication:</i>	The Press-Enterprise
<i>Publication Dates:</i>	05/05/2023
<i>Total Amount:</i>	\$323.95
<i>Payment Amount:</i>	\$0.00
<i>Amount Due:</i>	\$323.95
<i>Notice ID:</i>	8Ys8gTqyV6XP0yCSrMF3
<i>Invoice Text:</i>	

THE PRESS-ENTERPRISE

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The Press-Enterprise
3512 14 Street
Riverside, California 92501
(951) 368-9229

City of Lake Elsinore
130 South Main Street
Lake Elsinore, California 92530

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011601168

FILE NO. 0011601168

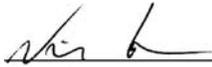
PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

05/05/2023

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: May 5, 2023.
At: Riverside, California



Signature



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Lake Elsinore, California, will hold a Public Hearing on May 16th, 2023, at the Lake Elsinore Cultural Center, 183 North Main Street, Lake Elsinore, California, 92530, at 6:00 p.m., or as soon thereafter as the matter may be heard, to consider the following:

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Damaris Abraham
Interim Assistant Community Development Director
The Press-Enterprise
Published: 5/5/23

**Property Owners
Certification**

I, KARIN L MESTAS, certify that on 04/28/2023 , the attached property owners' list was prepared by Stewart Title of California, Inc. Inland Empire Division-Major Projects Dept., pursuant to application requirements furnished by the City of Lake Elsinore / County of Riverside planning Department. Said list is a complete and true compilation of owner of the subject property and all other property owners within 600 feet of the property involved in the application and is based upon the latest equalized assessment rolls.

I further certify that the information filed is true and correct to the best of my knowledge; I understand that incorrect or erroneous information may be ground for rejection or denial of application.

Stewart Title of California, Inc.

Corporate Office

Major Projects Department

11870 Pierce Street Suite 100

Riverside Ca 92505

(800) 220-6886

Signature: Karin L Mestas

Karin L. Mestas / Customer Service

Date: 04/28/2023

Case/Prelim Number:

Subject Assessor's Parcel Number(s): ~~349-191-029~~ Correct Assessor's Parcel Number(s): 379-191-029

Typo

Prepared for:

Phone:

Fax:

E-mail:

Prepared by:

Reference:

Account Rep:

Phone:

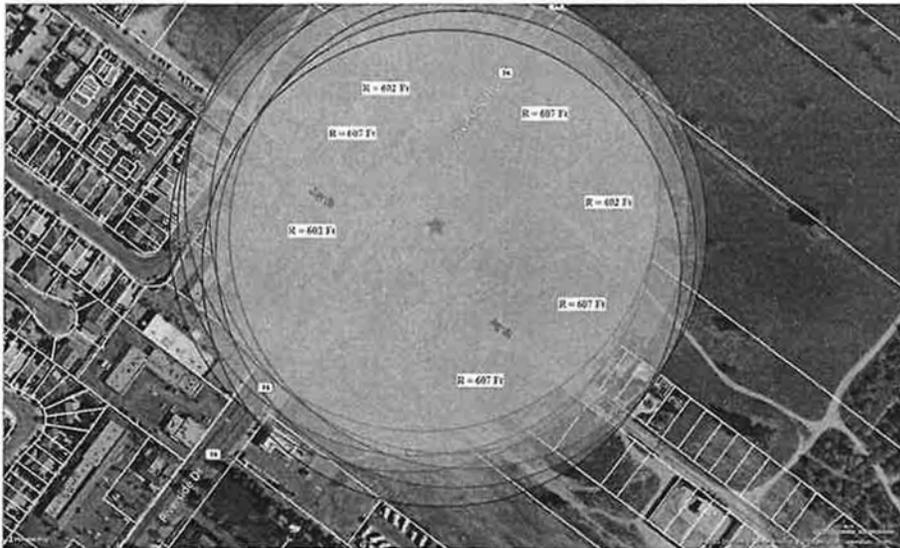
Fax:

Email:

----Search Criteria ----

State/County:

Parcel Number: 379191029



Output: All Records (43 of 43 Records)

Total Count: 43

4/28/2023

The Information contained herein is deemed reliable, but without guaranty of accuracy. Black Knight and its suppliers will not be liable for any claims arising from Client's use of Farm 2.0 and the information contained therein.

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379-131-019
Charles & Patricia Pearson
23796 Cahuilla Ct
Corona, CA 92883-4191

379-131-021
Clyde Brunner
171 Avenida Vaquero B
San Clemente, CA 92672-3601

379-131-024
William & Helen Rahe
42820 Joshua Tree Ct
Murrieta, CA 92562-8947

379-132-035
Circle K Stores Inc
255 E Rincon St 100
Corona, CA 92879-1368

379-191-004
Hector Rivera
27795 Hillpointe Dr
Menifee, CA 92585-8939

379-191-005
Luis Ingels
15796 Grand Ave
Lake Elsinore, CA 92530-5522

379-191-006
Raul Ramirez
1495 Mateo St
Los Angeles, CA 90021-2523

379-191-007
Rw Commercial Property Holdins Llc
26400 La Alameda 207
Mission Viejo, CA 92691-8578

379-191-009
Etc
196 W Legion Rd A
Brawley, CA 92227-7713

379-191-012
Prop Rmt
31902 Avenida Evita
San Juan Capo, CA 92675-3902

379-191-013
Ernestina Hernandez & Rafael Guzman
9046 Olive St
Carson, CA 90746

379-191-014
Rodolfo Mata
16730 Joy St
Lake Elsinore, CA 92530-7939

379-191-029
Robert Salguero & Melissa Garcia
27795 Hillpointe Dr
Menifee, CA 92585-8939

379-192-005
Tom Chen & Yan Hoeung
15155 Camphor Way
Lake Elsinore, CA 92530-7304

379-192-006
Ramon Hernandez
16693 Joy St
Lake Elsinore, CA 92530-7938

379-192-008
Tom Chen & Hoeung Yan
15155 Camphor Way
Lake Elsinore, CA 92530-7304

379-192-010
Hoeng Yan
15155 Camphor Way
Lake Elsinore, CA 92530-7304

379-192-011
Ht Prop
19227 Samuel Dr
Lake Elsinore, CA 92530-6347

379-192-012
Talal & Yvianne Bakdache
1320 San Pasqual Valley Rd
Escondido, CA 92027-4326

379-192-013
Victor Mikhaeel
3615 Vista Bella 21
Oceanside, CA 92057-7013

379-192-023
Hoeung Yan & Tom Chen
15155 Camphor Way
Lake Elsinore, CA 92530-7304

379-381-045
Alfonso & Hilda Barajas
534 Quail Dr
Lake Elsinore, CA 92530-7916

379-381-046
Wei Liang & Jian Pei
1005 Holiday Dr
West Covina, CA 91791-3482

379-381-047
James & Renate White
654 S Oak Tree Dr
Covina, CA 91723-3611

379-381-048
Felix Luna & Ruth Nolasco
522 Quail Dr
Lake Elsinore, CA 92530-7916

379-381-049
Richard Gall Jr
514 Quail Dr
Lake Elsinore, CA 92530-7916

379-381-050
Laura Gonzalez
512 Quail Dr
Lake Elsinore, CA 92530-7916

379-381-051
David Kidd Barron
504 Quail Dr
Lake Elsinore, CA 92530-7916

379-381-053
31681 Riverside Drive Llc
28656 Old Town Front St
Temecula, CA 92590-2704

379-382-035
Francisco & Amada Ramirez
525 Quail Dr
Lake Elsinore, CA 92530-7919

379-382-036
Shantha & Bernadette Suraweera
11 Las Fieras
Rancho Santa Marga, CA 92688-3502

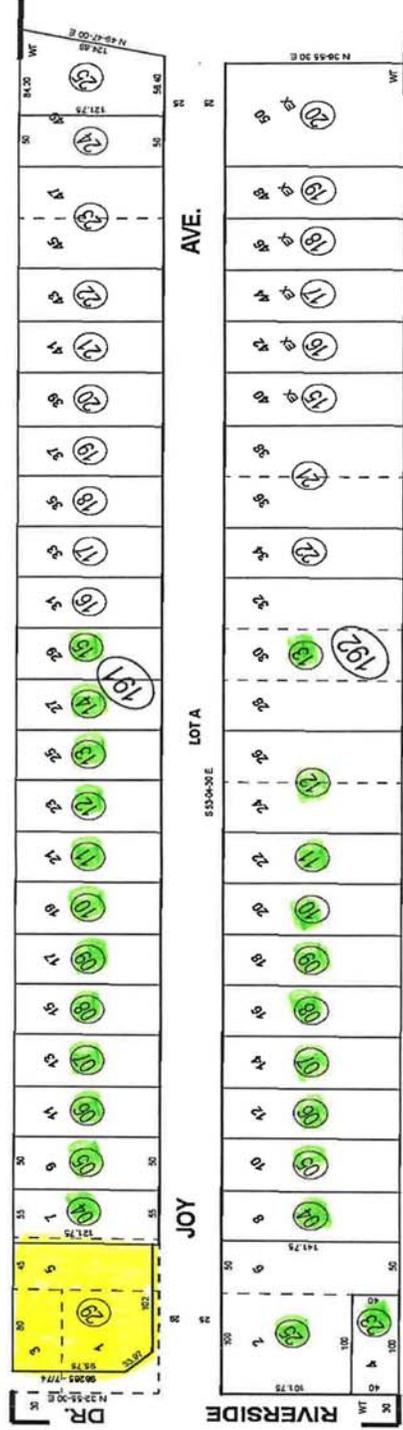
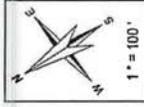
379-382-037
Jorge & Eva Perez
515 Quail Dr
Lake Elsinore, CA 92530-7919

379-382-038
Laurie & Randy Safreed
513 Quail Dr
Lake Elsinore, CA 92530-7919

379-382-039
Lynda Krisko
505 Quail Dr
Lake Elsinore, CA 92530-7919

34 labels printed

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

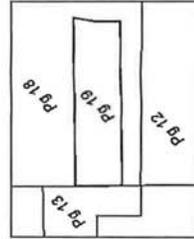


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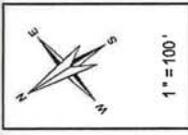
- Lot Lines
- Right-of-Way
- Old Lot Lines
- Reference P.O.W
- Other Elements
- Lease Area
- Subdivision To Mark

Date	Old Num	New Num
3/1/84	18400	26
3/1/84	18402	27
1/1/89	18404	21, 22
3/1/82	18427	26, 27
3/1/82	1843, 28, 29	
6/20/14	182	23, 24
8/20/14	182, 13, 24	25

Map Reference
MB 11/16 WALDYOGEL TRACT

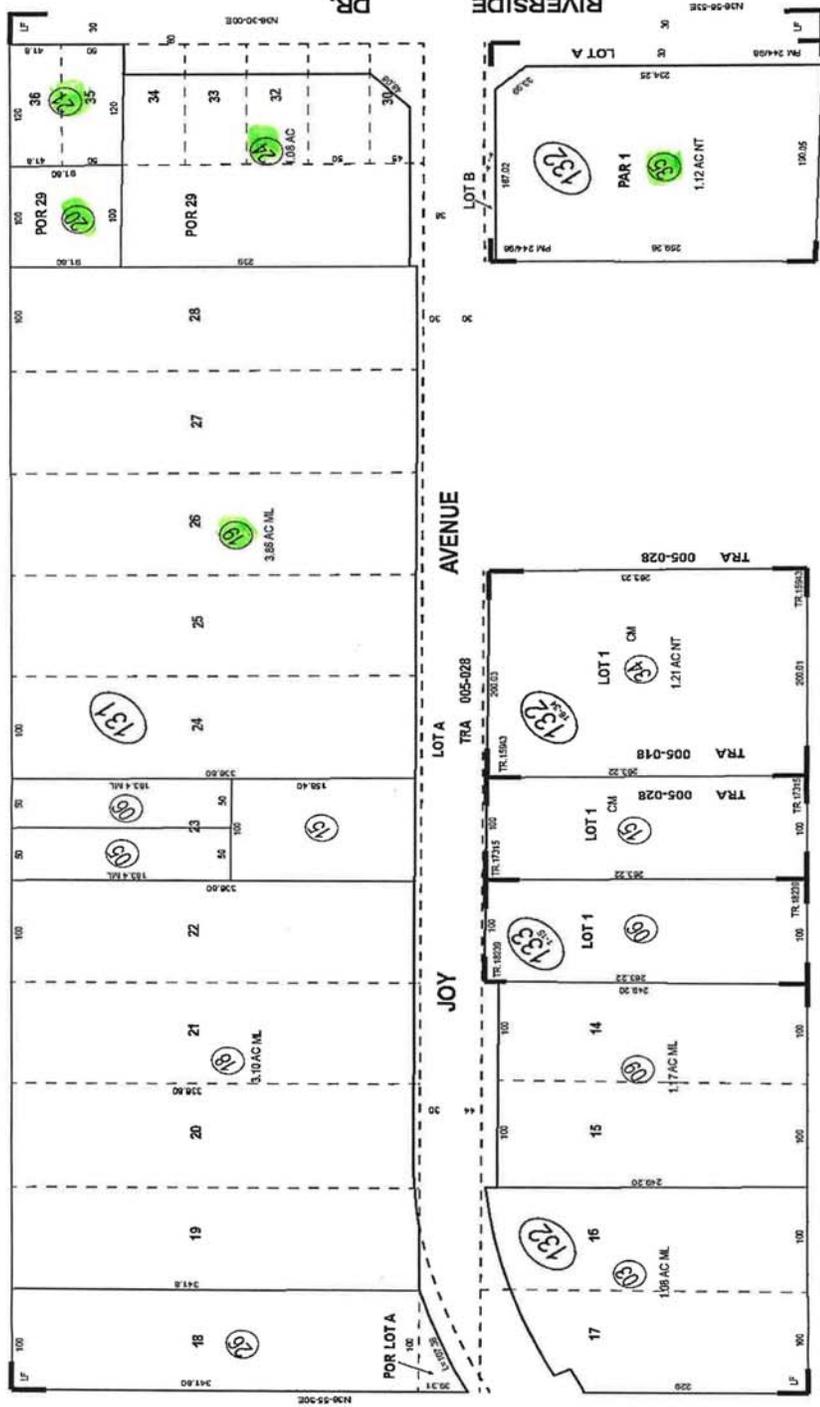


THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.



Legend

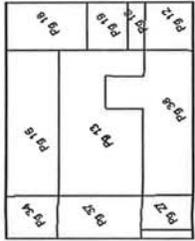
- Lot Line
- Right-of-Way
- Old Lot Line
- Reference R.O.W
- Other Elements
- Lease Area
- Subdivision To Mark



Date	Old Number	New Number
3/17/78	111	7.83
3/17/78	112	2.1
3/17/78	113	9.11
3/17/78	114	4.5
3/17/78	115	6.4
3/17/78	116	9
3/17/78	117	9.11
3/17/78	118	12
3/17/78	119	13.13
3/17/78	120	13.13
3/17/78	121	13.13
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3/17/78	124	13.13
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3/17/78	147	13.13
3/17/78	148	13.13
3/17/78	149	13.13
3/17/78	150	13.13

Map Reference

MB 14441 LA FRANCE ACRES
 MB 12093 TRACT NO. 15943
 CM 3877-79 LOT 1 #230744 12/14/1981
 MB 12169 TRACT NO. 17315
 CM 37169-161 LOT 1 #215046 11/17/1981
 MB 12789 TRACT NO. 18239
 FM 244168-100 PARCEL MAP NO. 37093



Date
8/37/80
PM 85-10



ASSESSOR'S MAP BK379 PG. 13
 Riverside County, Calif.
 Manica Safi

